

C-1 / RT 32 OZ DISTRICT  
MAP 70 LOT 010-000

# PROPOSED 22 UNIT CONDOMINIUM DEVELOPMENT

245 NORWICH-NEW LONDON ROAD  
(CT ROUTE 32)  
MONTVILLE, CONNECTICUT

APPLICANT  
WESTERN GROUP, LLC  
338 Westport Road  
Wilton, CT

OWNER  
WESTERN GROUP, LLC  
338 Westport Road  
Wilton, CT

## DRAWING LIST

### SITE/CIVIL DRAWINGS

SHEET NO.	SHEET NAME	PLAN DATE	LATEST REVISION
C-0	COVER SHEET	01/25/22	03/08/22
	IMPROVEMENT LOCATION PLAN	01/07/22	03/08/22
C-2.1	SITE LAYOUT PLAN	01/25/22	03/08/22
C-3.1	GRADING, DRAINAGE PLAN	01/25/22	03/08/22
C-3.2	UTILITY PLAN	01/25/22	03/08/22
C-4.1	SOIL EROSION & SEDIMENT CONTROL PLAN	01/25/22	03/08/22
C-4.2	SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS	01/25/22	03/08/22
C-5.1	LANDSCAPE & LIGHTING PLAN	01/25/22	03/08/22
C-6.1	DETAIL SHEET	01/25/22	03/08/22
C-6.2	DETAIL SHEET	01/25/22	03/08/22
C-6.3	DETAIL SHEET	01/25/22	03/08/22

### ARCHITECTURAL DRAWINGS

SHEET NO.	SHEET NAME	PLAN DATE	LATEST REVISION
1	ELEVATIONS UNITS 1 - 9	03/10/22	03/10/22
2	ELEVATIONS UNITS 10-22	03/10/22	03/10/22
3	BASEMENT & FIRST FLOOR	03/10/22	03/10/22
4	SECOND FLOOR & ROOF	03/10/22	03/10/22
5	TYP ELEVATIONS	03/10/22	03/10/22
6	SECTIONS	03/10/22	03/10/22

APPROVED BY THE MONTVILLE INLAND WETLAND COMMISSION

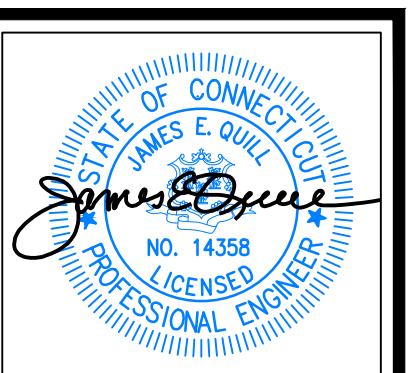
CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY THE MONTVILLE PLANNING AND ZONING COMMISSION

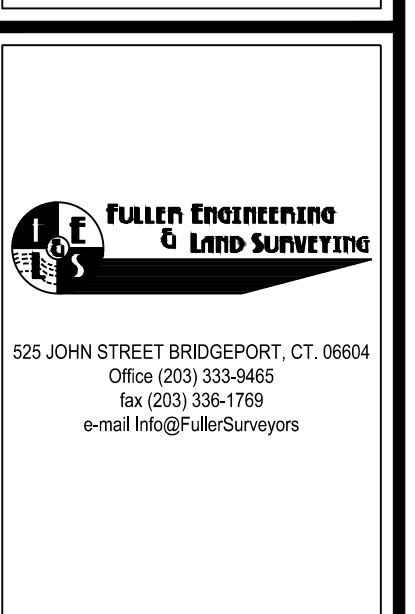
CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

EXPIRATION DATE \_\_\_\_\_

SEC PLAN APPROVAL DATE \_\_\_\_\_



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WILTON'S WAY  
22 UNIT CONDOMINIUM DEVELOPMENT  
245 NORWICH-NEW LONDON ROAD (RT 32)  
MONTVILLE, CONNECTICUT  
PREPARED FOR  
WESTERN GROUP, LLC

Job Number:  
FE22-1700

Job Start Date:  
1/4/22

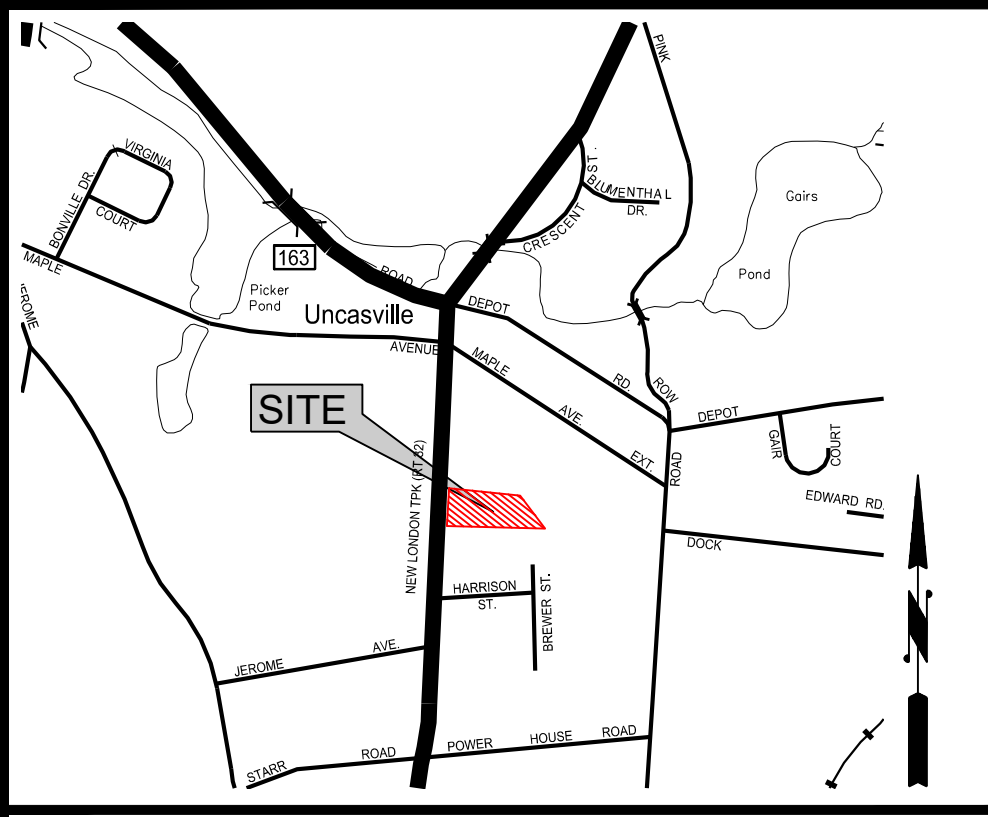
Submission	Date
Staff Comments	03/08/22

Drawn By: Checked By:  
D.R.R. J.E.Q.

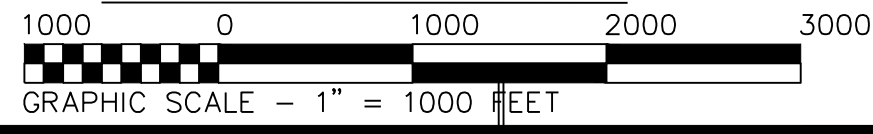
Sheet Title:  
COVER SHEET

Scale:

Sheet Number:  
C-0



**VICINITY MAP**



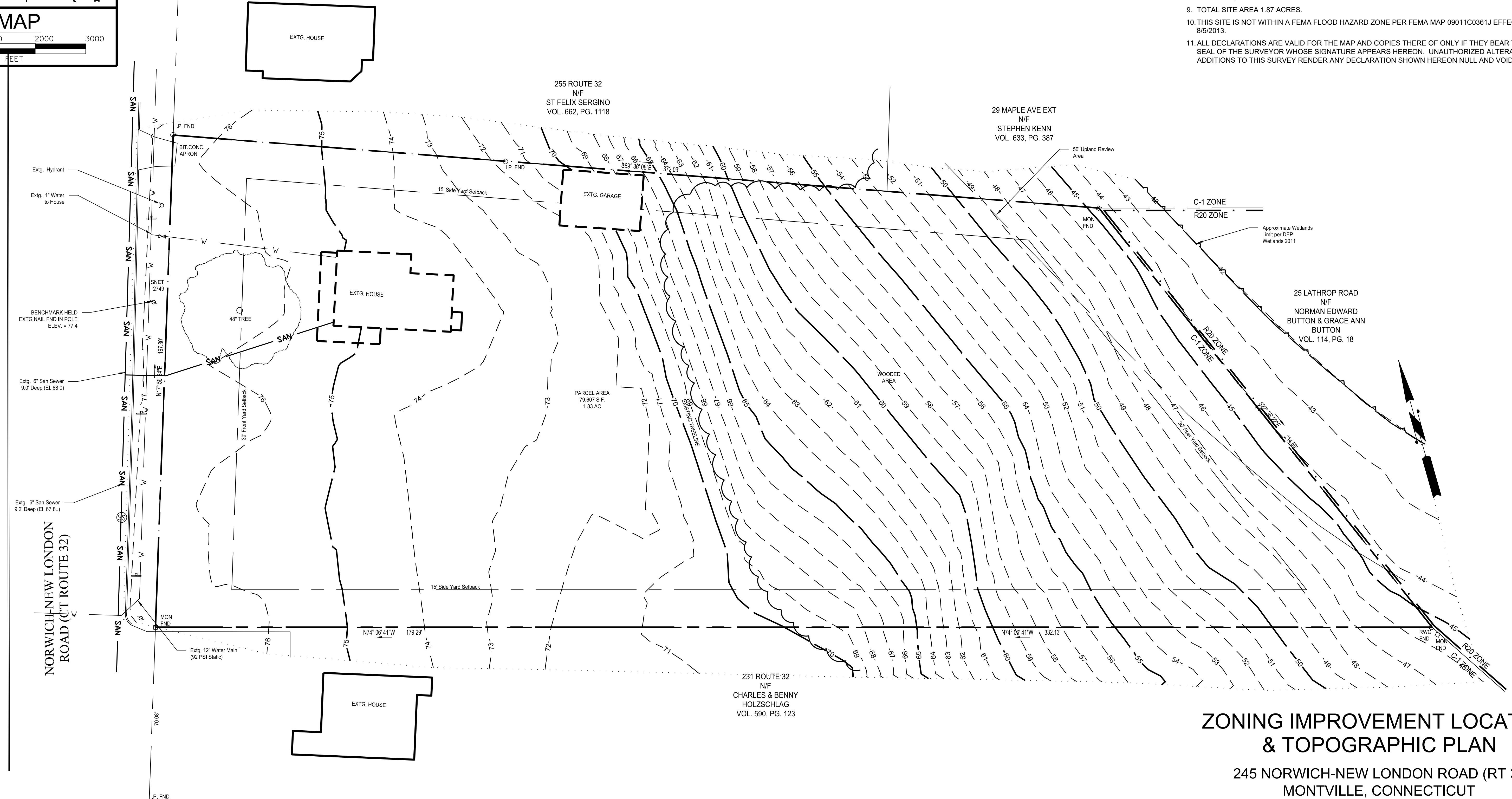
DEVELOPMENT STANDARDS C-1 (OZ) Zone District			
STANDARD	REQUIREMENT	EXISTING	COMMENTS
Minimum Lot Area	10,000 S.F.	79,607 S.F.	
Minimum Lot Frontage	80 Ft	197.3	
<b>Minimum Building Setbacks</b>			
Front Yard	30 Ft.	66.9 Ft.	
Side Yard (to Commercial Zone)	15 Ft.	15 Ft.	
Rear Yard (to Residential Zone)	30 Ft.	181.3 Ft.	
Rear Yard	30 Ft.	181.3 Ft.	
Maximum Height	No Limit	N/A	
Building Coverage		3.0%	
Lot Coverage (Total Impervious)		3.0%	

**MAP REFERENCES:**

- A. "LOCATION MAP, NOTES, & A2 SURVEY, COMMERCIAL / RESIDENTIAL COMPLEX NORWICH-NEW LONDON ROAD (CT ROUTE 32) MONTVILLE, CONNECTICUT, PREPARED FOR TOMASHE, LLC, 19 TUSA COURT MONMOUTH JUNCTION, NJ 08852", DATED SEPTEMBER 19, 2014, REVISED THROUGH 3/17/15, SCALE: 1" = 20', BY DENNIS A. JEROME, J. DEMPSEY, L.S. ON FILE AS MAP 2519 IN THE TOWN OF MONTVILLE LAND RECORDS.

**NOTES:**

- THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300B-1 THRU 20-300B-2 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. AND ADOPTED ON SEPT. 26, 1996.
- THE TYPE OF SURVEY PERFORMED WITH RESPECT TO THE BOUNDARY PERIMETER IS IMPROVEMENT LOCATION MAP.
- THE BOUNDARY DETERMINATION CATEGORY IS DEPENDENT RESURVEY (SEE MAP REFERENCE).
- WITH RESPECT TO HORIZONTAL ACCURACY, THIS MAP CONFORMS TO AN ACCURACY CLASS A-2.
- WITH RESPECT TO VERTICAL ACCURACY, THIS MAP CONFORMS TO AN ACCURACY CLASS T-D.
- UTILITY, STRUCTURES, AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN-PART, BY FIELD LOCATIONS OF OBSERVABLE STRUCTURES AND PAINTED MARKINGS. THE ACTUAL LOCATION AND SIZE OF UNDERGROUND UTILITIES SHOWN HEREON MAY NOT BE INDICATED. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST. PRIOR TO EXCAVATION OR CONSTRUCTION, CONTACT "CALL BEFORE YOU DIG", (800) 922-4455.
- OWNER OF RECORD: WESTERN GROUP LLC, RECORDED IN VOLUME 672, PAGE 82 IN THE TOWN OF MONTVILLE TOWN CLERK'S OFFICE.
- PARCEL IS LOCATED IN THE C-1 ZONE AND IS LOCATED IN THE ROUTE 32 OVERLAY ZONE (OZ) ON MAP 070, BLOCK 010, LOT 000.
- TOTAL SITE AREA 1.87 ACRES.
- THIS SITE IS NOT WITHIN A FEMA FLOOD HAZARD ZONE PER FEMA MAP 09011C0361J EFFECTIVE DATE 8/5/2013.
- ALL DECLARATIONS ARE VALID FOR THE MAP AND COPIES THERE OF ONLY IF THEY BEAR THE EMBOSSED SEAL OF THE SURVEYOR WHOSE SIGNATURE APPEARS HEREON. UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS SURVEY RENDER ANY DECLARATION SHOWN HEREON NULL AND VOID.



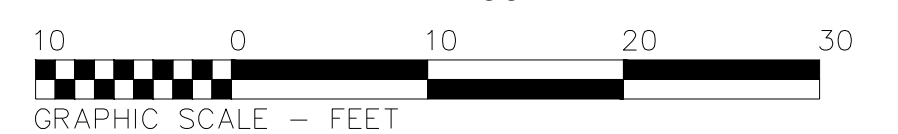
**ZONING IMPROVEMENT LOCATION & TOPOGRAPHIC PLAN**

245 NORWICH-NEW LONDON ROAD (RT 32)  
MONTVILLE, CONNECTICUT

PREPARED FOR:  
**WESTERN GROUP, LLC**

SCALE 1" = 10' 7 JANUARY 2022  
Rev 8 March 2022

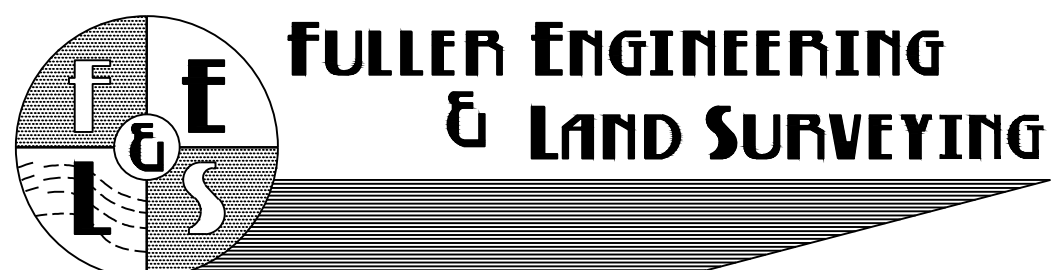
FE22-1700



THIS MAP IS NOT VALID UNLESS IT HAS A LIVE SIGNATURE AND EMBOSSED SEAL OF KEVIN M. CROWLEY.

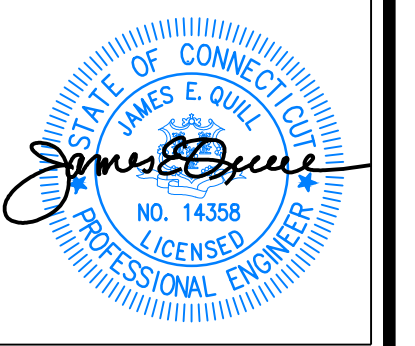
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT TO THE STANDARDS OF CLASS "A2" AS NOTED HEREON.

KEVIN M. CROWLEY  
R.L.S. # 70261



**FULLER ENGINEERING & LAND SURVEYING**

525 JOHN STREET  
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PH. 203-333-9465  
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**WILTON'S WAY**  
**22 UNIT CONDOMINIUM DEVELOPMENT**  
 245 NORWICH-NEW LONDON ROAD (RT 32)  
 MONTVILLE, CONNECTICUT  
 PREPARED FOR  
**WESTERN GROUP, LLC**

Job Number:  
 FE22-1700

Job Start Date:  
 1/4/22

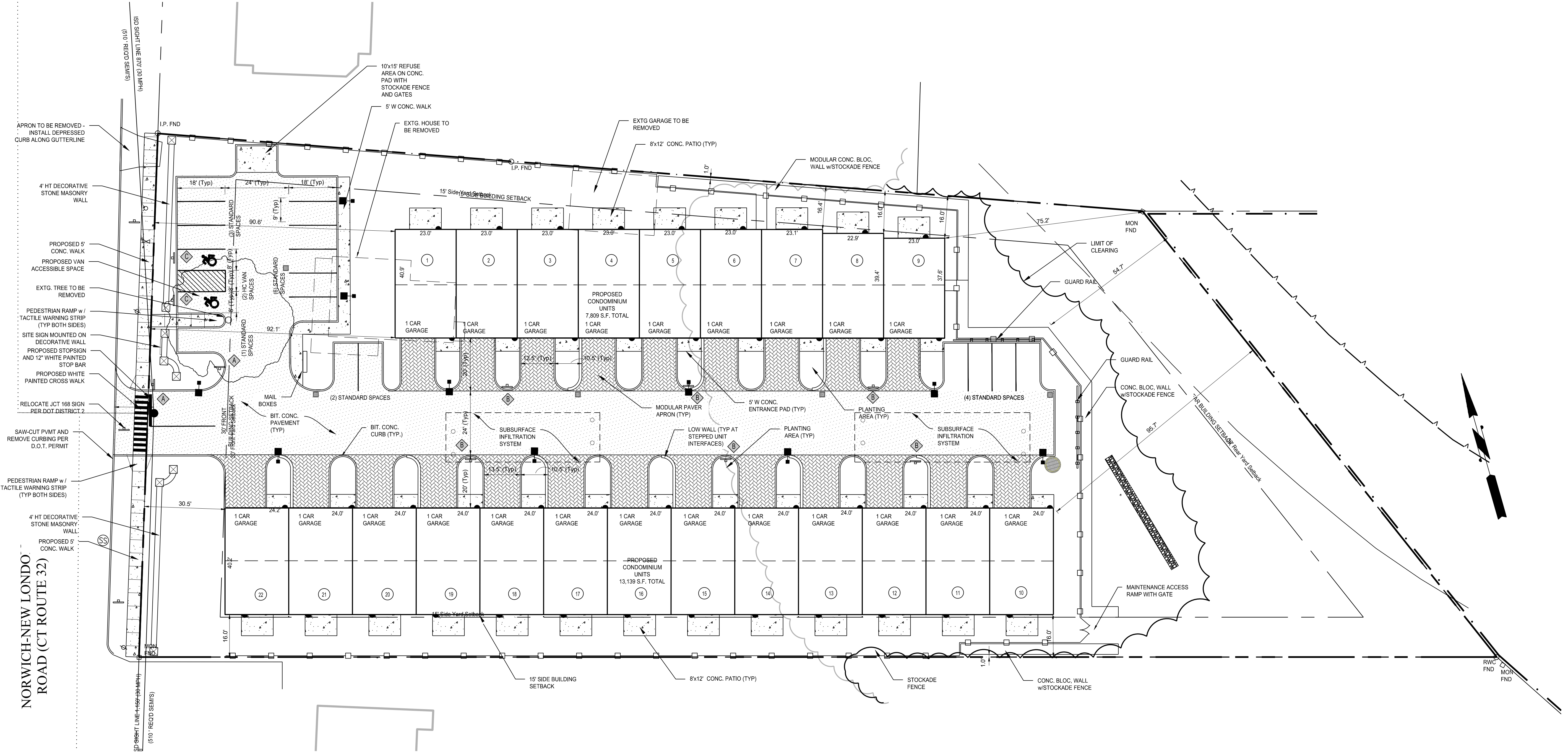
Submission	01/25/22
Staff Comments	03/08/22

Drawn By: Checked By:  
 D.R.R. J.E.Q.

Sheet Title:  
**PROPOSED SITE PLAN**

Scale:  
 1" = 20'

Sheet Number:  
**C-2.1**



**MAP REFERENCES:**  
 A. "ZONING IMPROVEMENT LOCATION AND TOPOGRAPHIC SURVEY", DATED 7 JANUARY 2022, SCALE 1"=20', BY FULLER ENGINEERING AND LAND SURVEYING, LLC.

- NOTES:**
- THIS PLAN IS FOR THE PROPOSED CONDOMINIUM BUILDINGS WITH PARKING CONSTRUCTION, SITE UTILITIES, AND MISCELLANEOUS LANDSCAPING. THIS PLAN IS NOT TO BE USED AS A SITE OR CONSTRUCTION PLAN. ADDITIONAL DESIGN AND DETAILS REQUIRED FOR BIDDING AND CONSTRUCTION.
  - LOCATION OF EXISTING OUT STRUCTURES, AND TOPOGRAPHY WERE OBTAINED FROM A SURVEY TITLED "ZONING IMPROVEMENT LOCATION & TOPOGRAPHIC PLAN, 245 NORWICH-NEW LONDON ROAD (RT32) MONTVILLE, CONNECTICUT, PREPARED FOR WESTERN GROUP, LLC", DATED 7 JANUARY 2022, SCALE 1"=10', BY FULLER ENGINEERING & LAND SURVEYING LLC.
  - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCES OF CONSTRUCTION AND FOR THE SAFETY OF WORKERS AND OTHERS ON THE CONSTRUCTION SITE.
  - THE CONTRACTOR SHALL LOCATE AND VERIFY THE SIZE, LOCATION, DEPTH AND INVERTS OF ANY AND ALL EXISTING UTILITIES PRIOR TO COMMENCING OPERATIONS. THE CONTRACTOR SHALL ALSO BE REQUIRED TO CONTACT THE ZONING DEPARTMENT, FIRE MARSHALL, AND THE TOLL FREE "CALL-BEFORE-YOU-DIG" PHONE NUMBER AT 1-800-922-4455.
  - THE PROPOSED DEVELOPMENT SHOWN HEREON WILL REQUIRE REVIEW AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT PER THE REQUIREMENTS OF THE 2002 CT E&S GUIDELINES.
  - RESTORE ALL DISTURBED AREAS WITH A MINIMUM OF FOUR (4") INCHES OF TOPSOIL, SEED, AND HAY MULCH UPON COMPLETION OF CONSTRUCTION.
  - LOT SERVED BY TOWN SEWER SYSTEM AND PUBLIC WATER SUPPLY.
  - THIS SITE IS NOT WITHIN A FEMA FLOOD HAZARD ZONE PER FEMA MAP 09011C0361J EFFECTIVE DATE 8/5/2013.
  - CLEARING LIMIT LINE SHALL BE ESTABLISHED PRIOR TO ANY SITE WORK ACTIVITIES.

**SIGN LEGEND**

SIZES (IN) 30"	CONN DOT # 31-0552	SUPPORTS 1
SIZES (IN) 18"x12"	CONN DOT # 197.3	SUPPORTS 1
SIZES (IN) 12"x18" 12"x6"	CONN DOT # 12"x18" 12"x6"	SUPPORTS 1

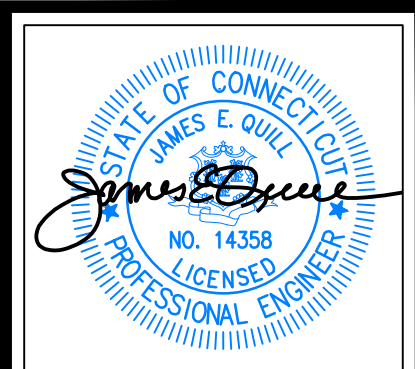
**DEVELOPMENT STANDARDS C-1 OZ Zone District**

STANDARD	REQUIREMENT	EXISTING	PROPOSED	COMMENTS
Minimum Lot Area	10000	79607	No Change	
Minimum Lot Frontage	80	197.3	No Change	
<b>Minimum Building Setbacks</b>				
Front Yard	30 Ft.	66.9 Ft.	92.1 Ft.	
Side Yard (to Commercial Zone)	15 Ft.	15 Ft.	15 Ft.	
Rear Yard (to Residential Zone)	30 Ft.	181.3 Ft.	N/A	
Rear Yard	30 Ft.	181.3 Ft.	75.2 Ft.	
Maximum Height	No Limit	N/A	N/A	
Building Coverage		3.0%	25.6%	
Lot Coverage (Total Impervious)		3.0%	56.7%	

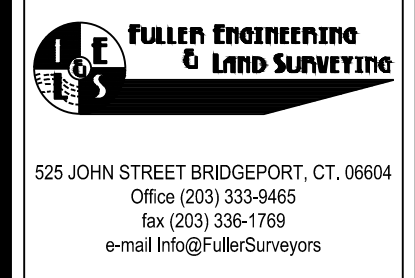
**Parking**

	Requirement	Unit	Required	Provided
Condominium Units (Sect 14A.3.d)	2.5 Per Unit	22	55	
Garage				22
Front of garage				22
Additional Parking				11
Guest Parking	3 Per 10 Units	22	7	7
Total Parking Provided			62	62
<b>Regulation</b>				
Standard Spaces	9'x18'	18.2.1		
Parallel Spaces	10'x20'			
Handicap Van Spaces	16'x18'			
Front of Garage Spaces	10' Min x 20' Min.	18.3.2		

APPROVED BY THE MONTVILLE INLAND WETLAND COMMISSION  
 CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_  
 APPROVED BY THE MONTVILLE PLANNING AND ZONING COMMISSION  
 CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_  
 EXPIRATION DATE \_\_\_\_\_  
 SEC PLAN APPROVAL DATE \_\_\_\_\_



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 MONTVILLE, CONNECTICUT  
 PREPARED FOR  
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Job Number:  
**FE22-1700**

Job Start Date:  
**1/4/22**

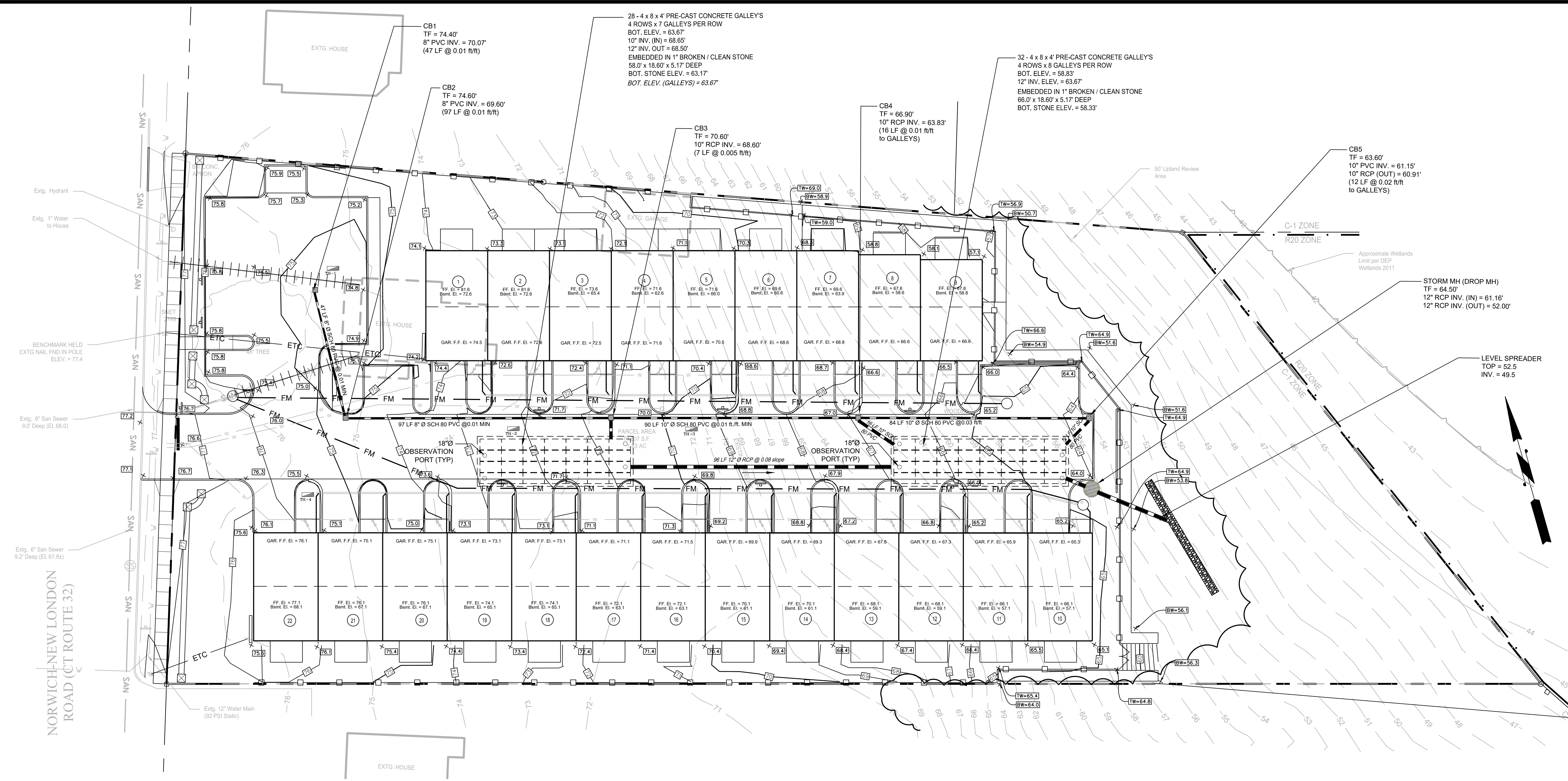
Submission	01/25/22
Staff Comments	03/08/22

Drawn By: Checked By:  
 D.R.R. J.E.Q.

Sheet Title:  
**GRADING AND DRAINAGE PLAN**

Scale:  
**1" = 20'**

Sheet Number:  
**C-3.1**



**TEST PIT AND PERCOLATION DATA**

TEST HOLE DATA	PERFORMED 9/30/14, BY P. LAFAYETTE, P.E.
<b>TH-1</b> 0-12" TOPSOIL 12-47" TAN FINE-MED. SAND W/SOME SILT 47-130" MED.-COARSE SAND AND STONES NO MOTTLING, NO WATER, NO LEDGE	<b>TH-3</b> 0-4" TOPSOIL 4-32" ORANGE FINE SAND W/SOME SILT & STONES 32-125" MED.-COARSE SAND AND STONES NO MOTTLING, NO WATER, NO LEDGE
<b>TH-2</b> 0-6" TOPSOIL 6-40" TAN FINE-MED. SAND W/SOME SILT 40-128" MED.-COARSE SAND AND STONES NO MOTTLING, NO WATER, NO LEDGE	<b>TH-4</b> 0-10" TOPSOIL 10-52" ORANGE FINE SAND W/SOME SILT & STONES 52-136" MED.-COARSE SAND AND STONES NO MOTTLING, NO WATER, NO LEDGE

**EARTHWORK**

**Cut/Fill Summary**

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
Earthwork	1.000	1.000	66340.66 Sq. Ft.	3325.99 Cu. Yd.	3645.68 Cu. Yd.	319.69 Cu. Yd.<Fill>
Totals			66340.66 Sq. Ft.	3325.99 Cu. Yd.	3645.68 Cu. Yd.	319.69 Cu. Yd.<Fill>

A. TOTAL AREA OF DISTURBANCE: 66,340 S.F. (1.54 AC.±)

**WETLAND AREAS**

AREA	AREA (S.F.)	AREA (AC.)	NOTES
WETLAND AREA ON SITE	0 S.F.	0 AC.	See note below.
UPLAND REVIEW AREA ON SITE	4,253 S.F.	0.1 AC.	
TOTAL WETLAND AREA DISTURBED	0 S.F.	0 AC.	
UPLAND REVIEW AREA DISTURBED	0 S.F.	0 AC.	
TOTAL WETLAND & UPLAND REVIEW AREA DISTURBED	0 S.F.	0 AC.	

OFF-SITE WETLANDS FLAGGED BY ALEKSANDRA MOCH ON FEBRUARY 12, 2022.

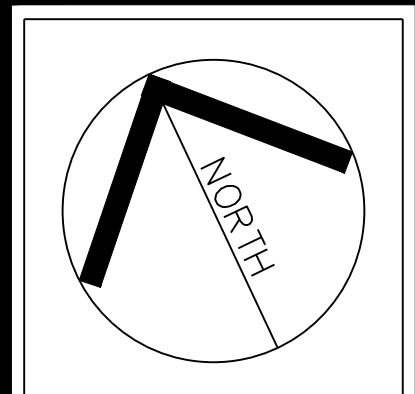
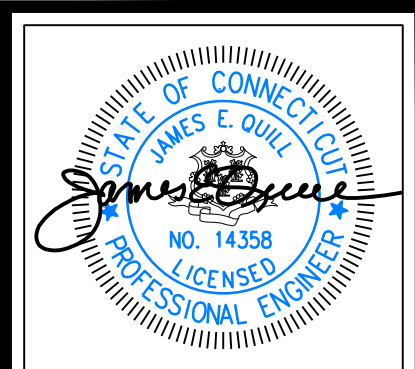
**MAP REFERENCES:**

- A. "ZONING IMPROVEMENT LOCATION AND TOPOGRAPHIC SURVEY", DATED 7 JANUARY 2022, SCALE 1"=20', BY FULLER ENGINEERING AND LAND SURVEYING, LLC.

**NOTES:**

- THIS PLAN IS FOR THE PROPOSED GRADING AND DRAINAGE FOR THE CONSTRUCTION OF A RESIDENTIAL DEVELOPMENT WITH PARKING, AND MISCELLANEOUS LANDSCAPING ALONG THE CT ROUTE 32. THIS PLAN IS NOT TO BE USED AS A SITE OR CONSTRUCTION PLAN. ADDITIONAL DESIGN AND DETAILS REQUIRED FOR BIDDING AND CONSTRUCTION.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCES OF CONSTRUCTION AND FOR THE SAFETY OF WORKERS AND OTHERS ON THE CONSTRUCTION SITE.
- THE CONTRACTOR SHALL LOCATE AND VERIFY THE SIZE, LOCATION, DEPTH AND INVERTS OF ANY AND ALL EXISTING UTILITIES PRIOR TO COMMENCING OPERATIONS. THE CONTRACTOR SHALL ALSO BE REQUIRED TO CONTACT THE TOLL FREE "CALL-BEFORE-YOU-DIG" PHONE NUMBER AT 1-800-922-4455.
- THE PROPOSED DEVELOPMENT SHOWN HEREON WILL REQUIRE REVIEW AND APPROVAL BY THE MONTVILLE BUILDING DEPARTMENT.
- ALL WORK PERFORMED BY THE OWNER / DEVELOPER MUST INCLUDE IMPLEMENTATION OF AN APPROVED SOIL EROSION AND SEDIMENTATION PLAN IN ACCORDANCE WITH PUBLIC ACT No. 83-388 [PASSED BY THE CONNECTICUT GENERAL ASSEMBLY]. THE OWNER / DEVELOPER SHALL BE THOROUGHLY FAMILIAR WITH THE 2002 CONNECTICUT EROSION & SEDIMENTATION GUIDELINES.
- RESTORE ALL DISTURBED AREAS WITH A MINIMUM OF FOUR (4") INCHES OF TOPSOIL, SEED, AND HAY MULCH UPON COMPLETION OF CONSTRUCTION.
- LOT SERVED BY TOWN SEWER SYSTEM AND PUBLIC WATER SUPPLY.
- ALL EXISTING UTILITY LINES THAT WILL BE DISCONNECTED MUST BE CAPPED OR TERMINATED ACCORDING TO THE TOWN OF MONTVILLE AND UTILITY COMPANY STANDARDS.
- FINAL RETAINING WALL SYSTEM TO BE DESIGNED AND INSPECTED BY A CONNECTICUT LICENSED ENGINEER. STRUCTURAL DETAILS TO BE SUBMITTED TO THE SATISFACTION OF THE TOWN ENGINEER PRIOR TO ISSUANCE OF BUILDING PERMIT.
- SEE APPENDIX "O" OF THE ENGINEERING REPORT FOR OPERATION AND MAINTENANCE PLAN.

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 3/11/2022 1:58 PM  
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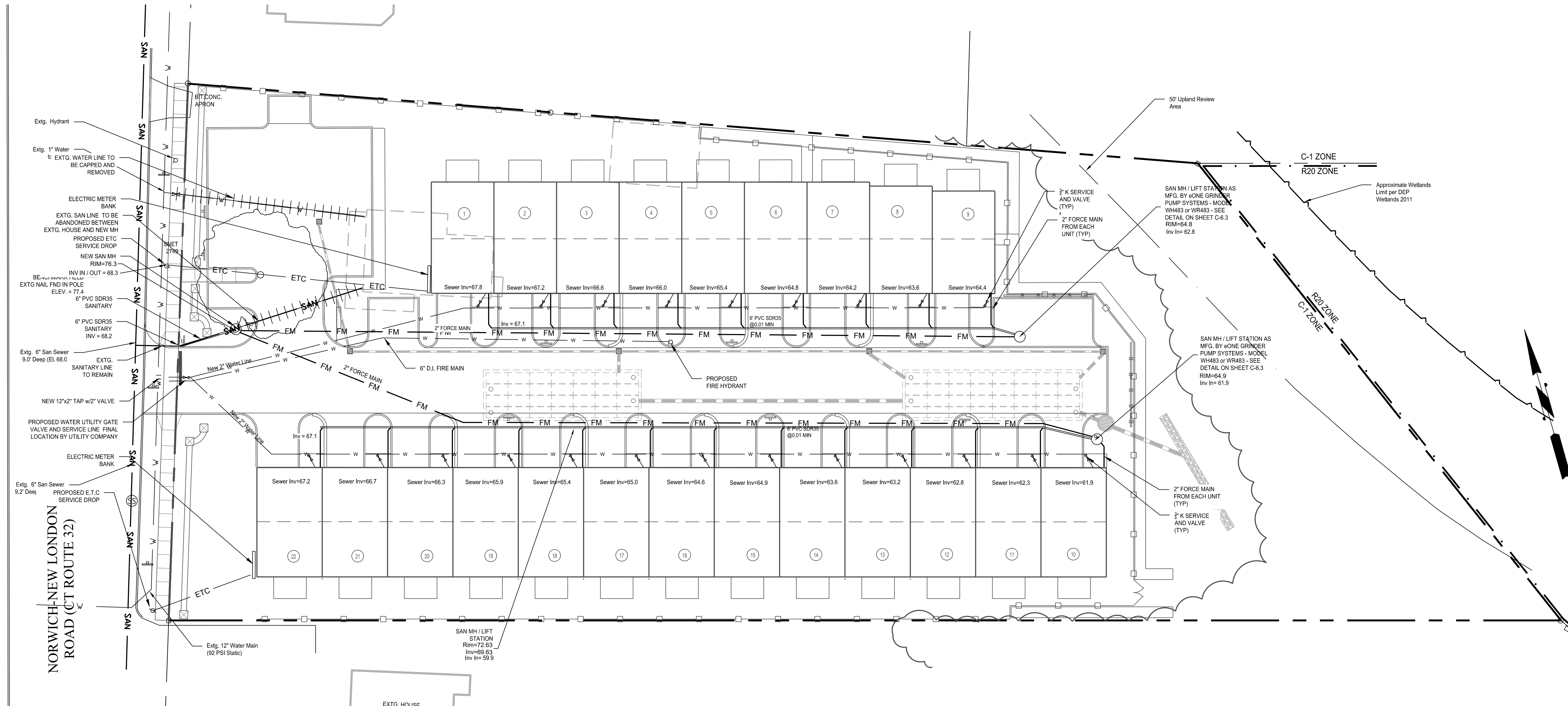
Submission	01/25/22
Staff Comments	03/08/22

Drawn By: **D.R.R.**      Checked By: **J.E.Q.**

Sheet Title:  
**PROPOSED UTILITIES PLAN**

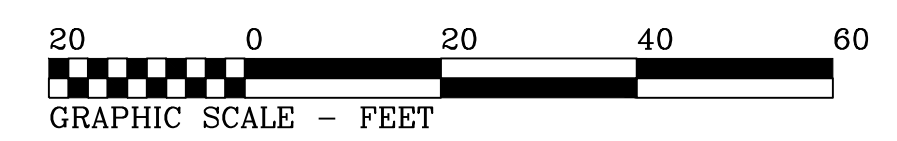
Scale:  
**1" = 20'**

Sheet Number:  
**C-3.2**



- NOTES:**
- THIS PLAN IS FOR THE PROPOSED UTILITIES OF THE PROPOSED RESIDENTIAL DEVELOPMENT WITH PARKING CONSTRUCTION, AND MISCELLANEOUS LANDSCAPING. THIS PLAN IS NOT TO BE USED AS A SITE OR CONSTRUCTION PLAN. ADDITIONAL DESIGN AND DETAILS REQUIRED FOR BIDDING AND CONSTRUCTION.
  - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCES OF CONSTRUCTION AND FOR THE SAFETY OF WORKERS AND OTHERS ON THE CONSTRUCTION SITE.
  - THE CONTRACTOR SHALL LOCATE AND VERIFY THE SIZE, LOCATION, DEPTH AND INVERTS OF ANY AND ALL EXISTING UTILITIES PRIOR TO COMMENCING OPERATIONS. THE CONTRACTOR SHALL ALSO BE REQUIRED TO CONTACT THE TOLL FREE "CALL-BEFORE-YOU-DIG" PHONE NUMBER AT 1-800-922-4455.
  - THE PROPOSED DEVELOPMENT SHOWN HEREON WILL REQUIRE REVIEW AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
  - ALL WORK PERFORMED BY THE OWNER / DEVELOPER MUST INCLUDE IMPLEMENTATION OF AN APPROVED SOIL EROSION AND SEDIMENTATION PLAN IN ACCORDANCE WITH PUBLIC ACT No. 83-388 [PASSED BY THE CONNECTICUT GENERAL ASSEMBLY]. THE OWNER / DEVELOPER SHALL BE THOROUGHLY FAMILIAR WITH THE CONNECTICUT GUIDELINES FOR EROSION AND SEDIMENT CONTROL PUBLISHED BY THE CONNECTICUT COUNCIL OF SOIL AND WATER CONSERVATION, JANUARY 1985.
  - RESTORE ALL DISTURBED AREAS WITH A MINIMUM OF FOUR (4") INCHES OF TOPSOIL, SEED, AND HAY MULCH UPON COMPLETION OF CONSTRUCTION.
  - LOT SERVED BY TOWN SEWER SYSTEM AND PUBLIC WATER SUPPLY. APPLICATION WILL BE MADE TO THE WATER POLLUTION CONTROL AUTHORITY FOR A PERMIT TO CONSTRUCT AND CONNECT WATER AND SEWER LINES TO THE MONTVILLE SEWER SYSTEM.
  - EXISTING UNDERGROUND UTILITY LOCATION TAKEN FROM MAPS PROVIDED BY UTILITY COMPANY AND SEWER DEPARTMENT, PRIOR SURVEYS, AND FIELD MARKINGS.
  - ALL EXISTING UTILITY LINES THAT WILL BE DISCONNECTED MUST BE CAPPED OR TERMINATED ACCORDING TO THE TOWN OF MONTVILLE AND UTILITY COMPANY STANDARDS.
  - IF REQUIRED, ALL EXISTING SANITARY SEWER LINES SHALL BE CAPPED WITHIN 2 FEET OF THE EXISTING SEWER MAIN.
  - ALL ROOF LEADERS SHALL BE PIPED AND CONNECTED TO THE SUBSURFACE DRAINAGE SYSTEM. PIPE ROUTING AND GUTTER CONNECTIONS SHALL BE DETERMINED BY CONTRACTOR.
  - ALL UNITS ARE DESIGNED TO HAVE SANITARY CONNECTIONS IN EACH BASEMENT AND WILL PUMP UP TO THE MAIN LATERAL AT THE FRONT OF THE BUILDINGS. SANITARY LIFT SYSTEMS ARE REQUIRED TO FACILITATE ALL SEWAGE DISCHARGE TO THE TOWN SEWER SYSTEM IN THE STREET.
  - ALL WORK SHALL COMPLY WITH THE FOLLOWING TOWN STANDARDS:
    - TOWN OF MONTVILLE SEWER USE REULES AND REGULATIONS.
    - TOWN OF MONTVILLE SANITARY SEWER MATERIALS AND CONSTRUCTION STANDARDS.
    - TOWN OF MONTVILLE SPECIFICATIONS OF WATER MAINS AND APPURTENANCES.
  - SEWER PIPE TO BE PLASTIC PVC-SDR35.
  - WATER LINES TO BE TYPE K COPPER TUBING.

- MAP REFERENCES:**
- "ZONING IMPROVEMENT LOCATION AND TOPOGRAPHIC SURVEY", DATED 7 JANUARY 2022, SCALE 1"=20', BY FULLER ENGINEERING AND LAND SURVEYING, LLC.



APPROVED BY THE MONTVILLE INLAND WETLAND COMMISSION  
 CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_  
 APPROVED BY THE MONTVILLE PLANNING AND ZONING COMMISSION  
 CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_  
 EXPIRATION DATE \_\_\_\_\_  
 SEC PLAN APPROVAL DATE \_\_\_\_\_

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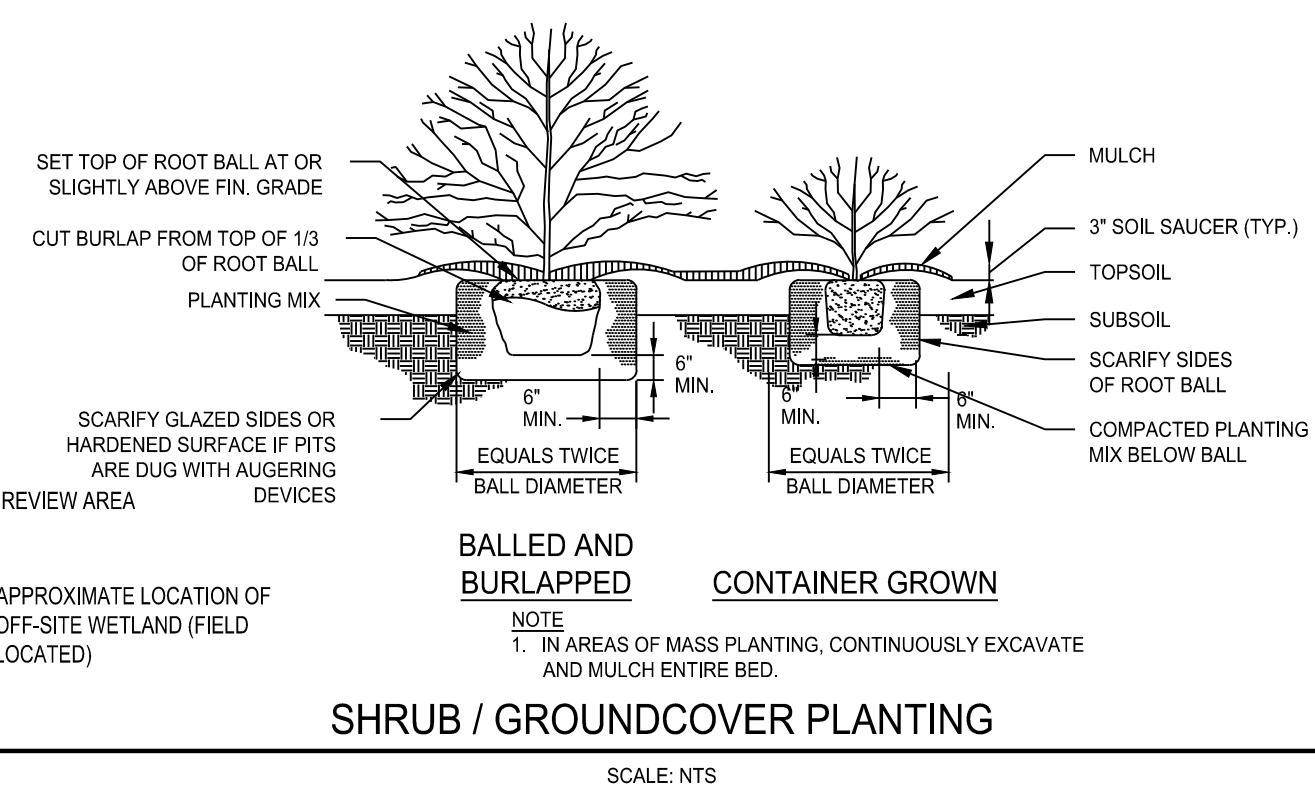
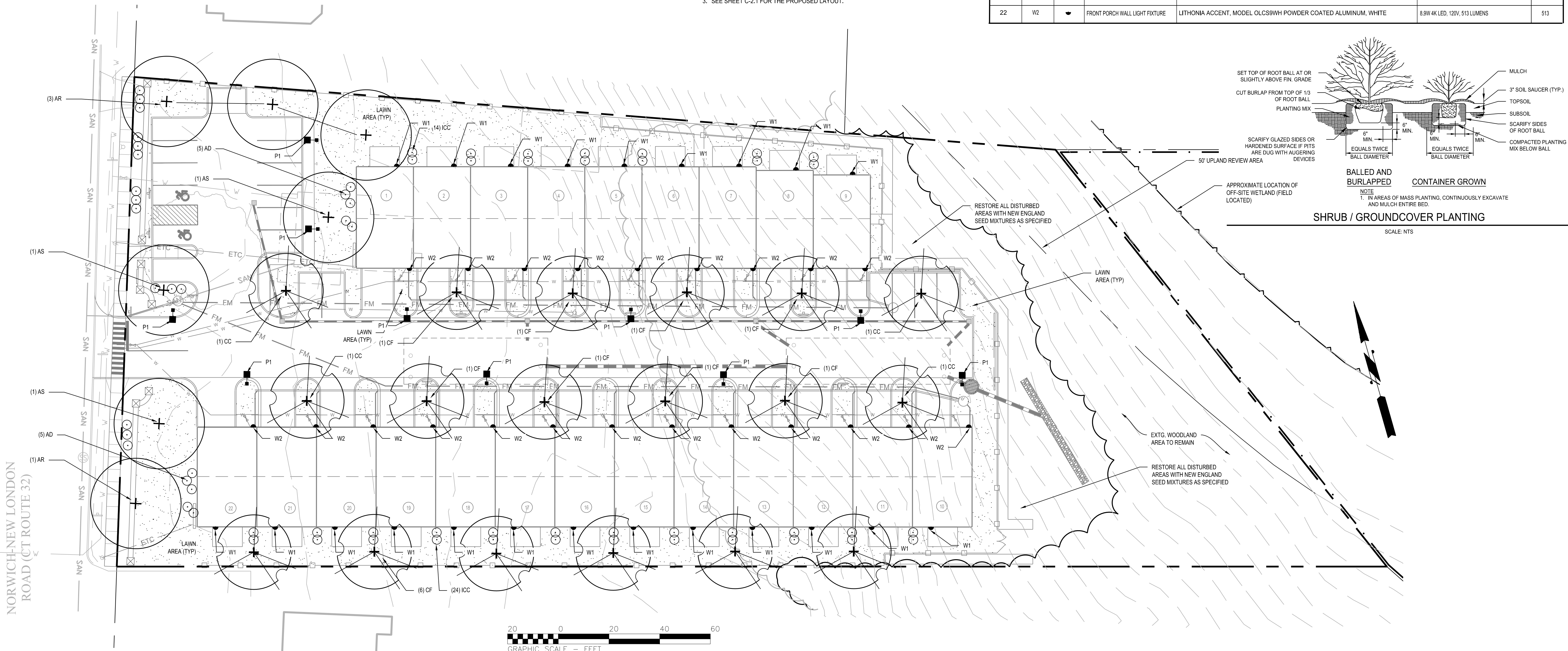


**LIGHTING NOTES**

1. ALL LIGHT FIXTURES TO BE MOUNTED AND INSTALLED PER MANUFACTURER SPECIFICATIONS.
2. ALL WORK AND RELATED MATERIALS SHALL COMPLY WITH CITY, COUNTY, AND OTHER APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.
3. SEE SHEET C-2.1 FOR THE PROPOSED LAYOUT.

**FIXTURE SCHEDULE**

QTY	CALLOUT	SYMBOL	FIXTURE DESCRIPTION	MODEL	NOTES	LUMENS
10	P1		PARKING LOT POLE LIGHT FIXTURE	HUBBELL LIGHTING ASL LED SERIES, MODEL ASL-16L-4K-219-4-EHS, POWDER COATED ALUMINUM DARK BRONZE.	123W 4K LED, TYPE 4 DISTRIBUTION, 20' MOUNTING HEIGHT	11,253
22	W1		PATIO WALL LIGHT FIXTURE	LITHONIA ACCENT, MODEL OLC59WH POWDER COATED ALUMINUM, WHITE	8.9W 4K LED, 120V	513
22	W2		FRONT PORCH WALL LIGHT FIXTURE	LITHONIA ACCENT, MODEL OLC59WH POWDER COATED ALUMINUM, WHITE	8.9W 4K LED, 120V, 513 LUMENS	513



**GENERAL NOTES**

1. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION.
2. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY THE LOCAL MUNICIPALITY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
3. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE CIVIL ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS.
4. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING.
5. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK.
6. SEE SHEET C-4.1 FOR SOIL EROSION AND SEDIMENT CONTROL MEASURES.

**PLANTING NOTES**

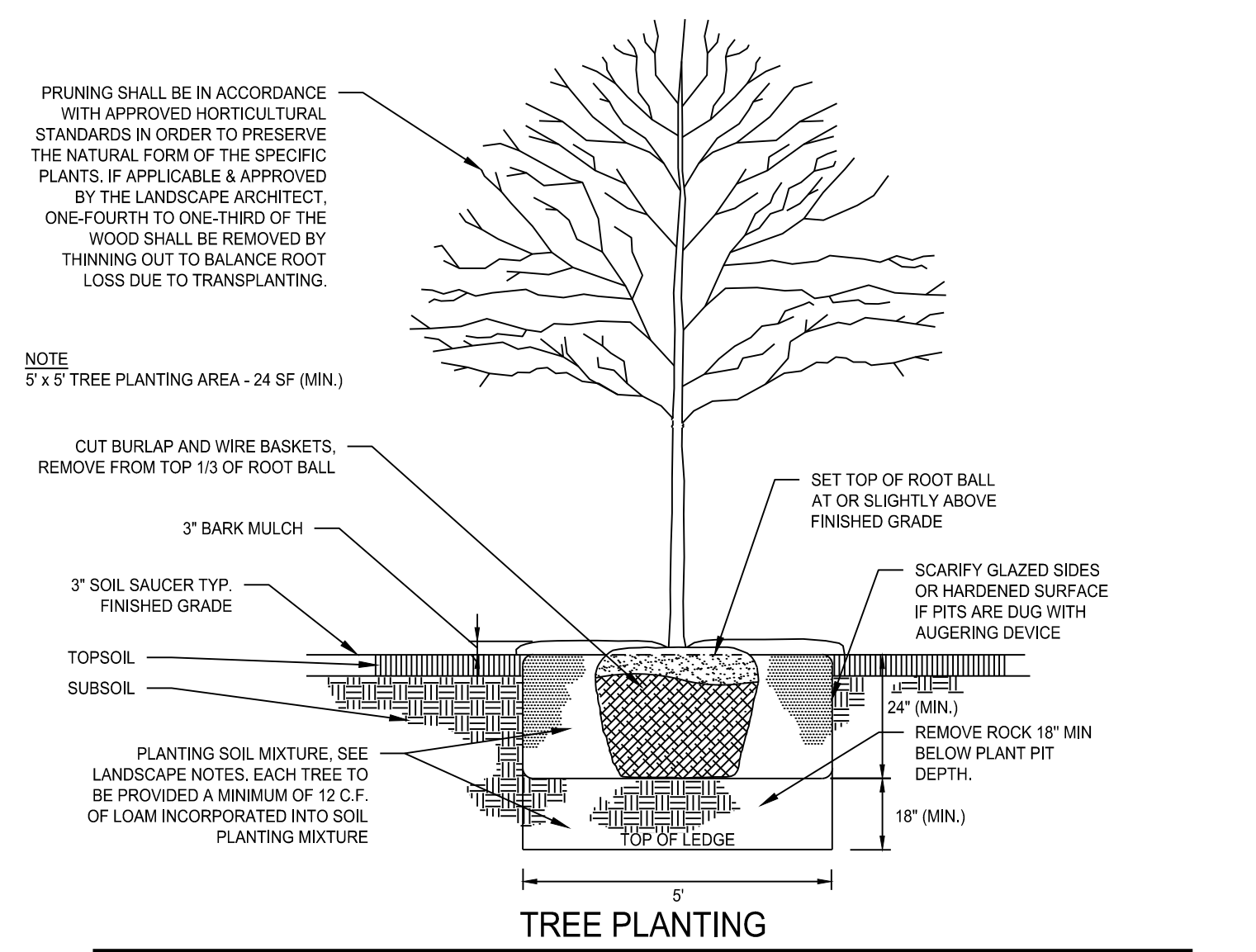
1. BE AWARE OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION OR PLANTING OPERATIONS. USE CARE TO PROTECT EXISTING UTILITIES FROM DAMAGE, CONTACT "CALL BEFORE YOU DIG" PRIOR TO EXCAVATION.
2. ALL PLANTINGS ARE TO BE INSTALLED BY A QUALIFIED LANDSCAPE CONTRACTOR.
3. THE CONTRACTOR SHALL BE REQUIRED TO CARRY WORKMEN'S COMPENSATION INSURANCE AND COMPREHENSIVE GENERAL LIABILITY INSURANCE. CERTIFICATES WILL BE REQUIRED PRIOR TO SIGNING CONTRACTS.
4. CONTRACTOR IS RESPONSIBLE FOR JOBSITE SAFETY. CONTRACTOR SHALL MAINTAIN A SAFE JOBSITE AT ALL TIMES.
5. CONTRACTOR SHALL BE FAMILIAR WITH THE SITE VERIFY ALL DIMENSIONS, GRADES AND EXISTING CONDITIONS. REPORT ANY DISCREPANCIES TO LANDSCAPE DESIGNER.
6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND LICENSES REQUIRED FOR COMPLETING WORK.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL EXCAVATED SOIL, BRUSH AND DEBRIS OFF-SITE IN A SAFE AND LEGAL MANNER.
8. NOTIFY OWNER OR LANDSCAPE DESIGNER 72 HOURS MINIMUM IN ADVANCE OF STARTING PLANTING OPERATIONS. RECEIVE APPROVAL FOR LAYOUT OF ALL BED LINES AND MATERIAL LOCATIONS PRIOR TO INSTALLATION.
9. PROTECT EXISTING VEGETATION TO REMAIN FROM DAMAGE DURING CONSTRUCTION. IT IS THE INTENT OF THIS CONTRACT TO AVOID ANY DISTURBANCE TO EXISTING VEGETATION ON THE SITE OTHER THAN THOSE SPECIFICALLY DESIGNATED FOR REMOVAL. ADJUSTMENTS SHALL BE MADE IN THE FIELD AT THE DIRECTION OF THE LANDSCAPE DESIGNER.
10. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL PLANTING, SEEDING AND TREE WORK WITH OTHER TRADES. RESPECT OTHER TRADES WORK AT ALL TIMES.
11. CONTRACTOR IS TO EXERCISE EXTREME CARE DURING THE COURSE OF DEMOLITION AND REMOVALS ANY DAMAGE TO EXISTING FACILITIES, UTILITIES OR TREES TO REMAIN ON THE SITE. THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE IN KIND.
12. CONTRACTOR IS RESPONSIBLE FOR RESTORING ALL AREAS DAMAGED TO PRE-EXISTING CONDITIONS AS A RESULT OF PLANTING OPERATIONS TO OWNERS AND/OR LANDSCAPE DESIGNERS APPROVAL.
13. VEGETATION TO BE REMOVED, NOT INDICATED ON PLAN, SHALL BE TAGGED IN FIELD BY LANDSCAPE DESIGNER.
14. THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO REJECT INFERIOR PLANT MATERIALS AND SUBSTITUTIONS. THE LANDSCAPE DESIGNER IS WILLING TO MAKE TWO TRIPS TO SUPPLIERS TO TAG, REVIEW AND APPROVE MATERIALS. PREVIOUSLY UNAPPROVED MATERIALS MAY BE REJECTED AT THE SITE. MINIMALLY, ALL MATERIALS WILL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1 - 2004) OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
15. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN GOOD, HEALTHY AND FLOURISHING CONDITION FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. THE CONTRACTOR SHALL REPLACE AS SOON AS WEATHER AND SEASONAL CONDITIONS PERMIT. ALL DEAD PLANTS AND ALL PLANTS NOT IN A VIGOROUS, THRIVING CONDITION, AS DETERMINED BY THE LANDSCAPE DESIGNER DURING AND AT THE END OF THE GUARANTEE PERIOD, WARRANTY REPLACEMENT WILL BE PROVIDED AT NO COST TO THE OWNER AND INCLUDE MATERIALS AND LABOR. CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE INCURRED DURING REPLACEMENT OF WARRANTY MATERIALS.
16. WHEN THERE IS A DISCREPANCY BETWEEN PLANT QUANTITIES SHOWN ON THE PLANT LIST & THE PLAN, USE THE QUANTITIES FROM THE PLAN.
17. PERENNIALS, GROUNDCOVERS & GRASSES TO BE FIELD LOCATED BY LANDSCAPE DESIGNER. COORDINATE TO NOTIFY LANDSCAPE DESIGNER AT LEAST 72 HOURS IN ADVANCE OF EXPECTED INSTALLATION DATE. ON THAT DATE ALL BEDS SHALL BE PREPARED & ALL PLANT MATERIAL SHALL BE ON SITE.
18. PROVIDE A MINIMUM 6" TOPSOIL FOR ALL DISTURBED AREAS. SUBMIT SAMPLE OF TOPSOIL AND SOIL TEST RESULTS FOR LANDSCAPE DESIGNER APPROVAL PRIOR TO DELIVERING TO SITE.
19. MULCH ALL BEDS SHOWN AS CONTINUOUS WITH A 3" MINIMUM OF DOUBLE SHREDDED CEDAR BARK MULCH. SAMPLE TO BE SUBMITTED TO LANDSCAPE DESIGNER FOR APPROVAL.
20. ALL PLANT MATERIALS TO BE SOURCED FROM LOCALLY GROWN GROWERS.
21. TRANSPORTED MATERIALS TO BE WATERED, HEELED IN AND TENDED BY CONTRACTOR UNTIL FINAL PLANTMENT.

**MAP REFERENCES:**

- A. "ZONING IMPROVEMENT LOCATION AND TOPOGRAPHIC SURVEY", DATED 7 JANUARY 2022, SCALE 1"=20', BY FULLER ENGINEERING AND LAND SURVEYING, LLC.

**PROPOSED PLANT SCHEDULE**

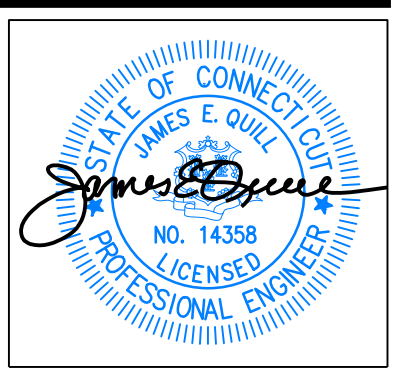
KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT SIZE	COMMENTS
<b>TREES</b>					
AS	3	ACER SACCHARUM	SUGAR MAPLE	B&B	3'-3 1/2" DBH FULL EXTRA HEAVY
AR	4	ACER RUBRUM	RED MAPLE	B&B	2 1/2" CAL. FULL EXTRA HEAVY, SINGLE STRAIGHT LEADER
<b>UNDERSTORY TREES</b>					
CC	4	CERCIS CANADENSIS	EASTERN REDBUD	B&B	2" CAL. FULL EXTRA HEAVY, SINGLE STRAIGHT LEADER
CF	14	CORNUS FLORIDA	FLOWERING DOGWOOD	B&B	2" CAL. FULL EXTRA HEAVY, SINGLE STRAIGHT LEADER
<b>UPLAND SHRUBS</b>					
AD	10	AZALEA 'DELAWARE VALLEY WHITE'	DELAWARE VALLEY WHITE AZALEA	CONT	24"-30" HT FULL EXTRA HEAVY
ICC	52	ILEX CORNATA COMPACTA	COMPACT JAPANESE HOLLY	CONT	24"-30" HT FULL EXTRA HEAVY
<b>NEW ENGLAND CONSERVATION / WILDLIFE MIX</b> APPLICATION RATE: 1 LB./1,459 S.F.					
<b>NEW ENGLAND EROSION CONTROL/RESTORATION MIX</b> APPLICATION RATE: 35 LB/ACRE					



**PLANTING SOIL NOTES**

1. ALL PLANTING MIXES SHALL BE PREPARED PRIOR TO DELIVERY TO SITE
2. PLANTING MIX FOR TREES AND SHRUBS SHALL BE AS FOLLOWS
  - 3 PARTS SCREED TOPSOIL
  - 1 PART CLEAN WASHED COARSE SAND
  - 1 PART PEAT HUMUS
  - 5 LBS. COMPOST PER CUBIC YARD OF MIX
3. MYCORRHIZAL INOCULANT TO BE MYCOR TREE SAVER TRANSPLANT BY PLANT HEALTH CARE, INC. (1-800-421-9051) OR APPROVED EQUAL.
4. TERRASORB AVAILABLE FROM PLANT HEALTH CARE, INC. OR APPROVED EQUAL
5. SUBMIT CERTIFICATION OF PLANTING MIX FOR TREES AND SHRUBS FROM SOIL DISTRIBUTOR.
6. TOPSOIL MIX SHALL INCLUDE:
  - 3 PARTS SCREENED TOPSOIL
  - 1 PART SAND
  - 1 PART HUMUS
  - 5 LBS. COMPOST PER CU. YD. OF MIX
7. TOPSOIL:
  - A. PROVIDE A NATURAL, FERTILE, FRIABLE, NATURAL LOAM SURFACE SOIL CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. OF UNIFORM COMPOSITION THROUGHOUT AND WITHOUT ADMIXTURES OF SUBSOIL, AND FREE OF STONES, LUMPS, PLANTS, ROOTS, STICKS OR OTHER EXTRANEOUS MATTER.
  - B. TOPSOIL SHALL CONTAIN NOT LESS THAN 4% NOR MORE THAN 20% ORGANIC MATTER AS DETERMINED BY THE WET COMBUSTION METHOD.
  - C. MECHANICAL ANALYSIS
 

SCREEN SIZE	% BY WEIGHT PASSING
1"	100
3/4"	97 - 100
NO. 200	20 - 65
8. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL TESTING AND ANALYSIS OF EXISTING AND IMPORTED SOILS. FURNISH A SOIL ANALYSIS MADE BY A QUALIFIED INDEPENDENT SOIL - TESTING AGENCY STATING PERCENTAGES OF ORGANIC MATTER, INORGANIC MATTER (SILT, CLAY, AND SAND), DELETERIOUS MATERIAL, PH, AND MINERAL AND PLANT - NUTRIENT CONTENT OF TOPSOIL.
9. REPORT SUITABILITY OF TOPSOIL FOR LAWN AND SHRUB PLANTING GROWTH. RECOMMEND QUANTITIES OF NITROGEN, PHOSPHORUS, AND POTASH NUTRIENT AND ANY LIME/STONE, ALUMINUM SULFATE, OR OTHER SOIL AMENDMENTS TO BE ADDED TO PRODUCE A SATISFACTORY TOPSOIL.



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**Fuller Engineering & Land Surveying**  
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Office (203) 336-8465  
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**WILTON'S WAY**  
**22 UNIT CONDOMINIUM DEVELOPMENT**  
245 NORWICH-NEW LONDON ROAD (RT 32)  
MONTVILLE, CONNECTICUT  
PREPARED FOR  
**WESTERN GROUP, LLC**

Job Number:  
**FE22-1700**

Job Start Date:  
**1/4/22**

Submission	01/25/22
Staff Comments	03/08/22

Drawn By: **Checked By:**  
D.R.R. J.E.Q.

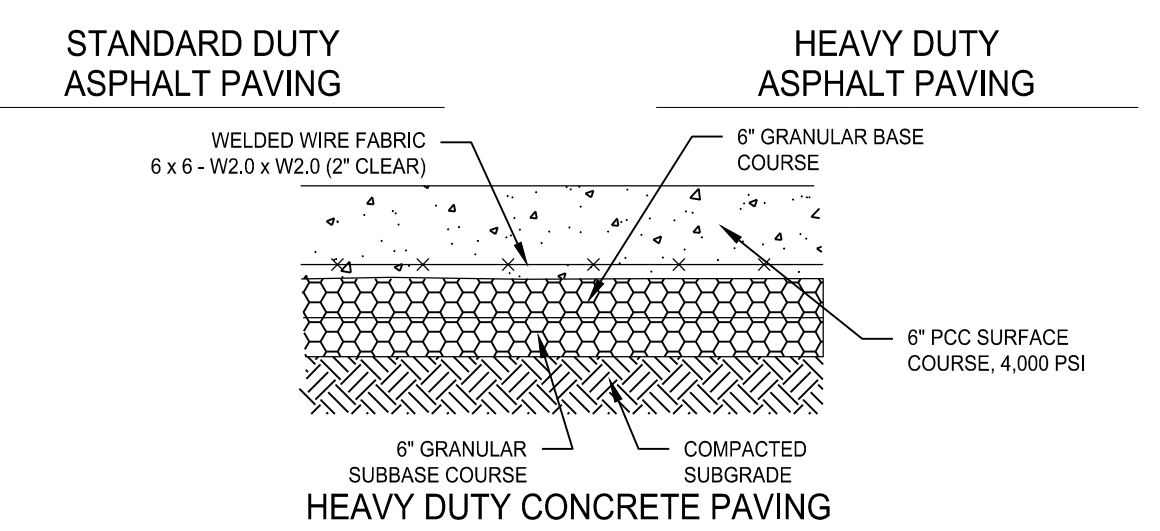
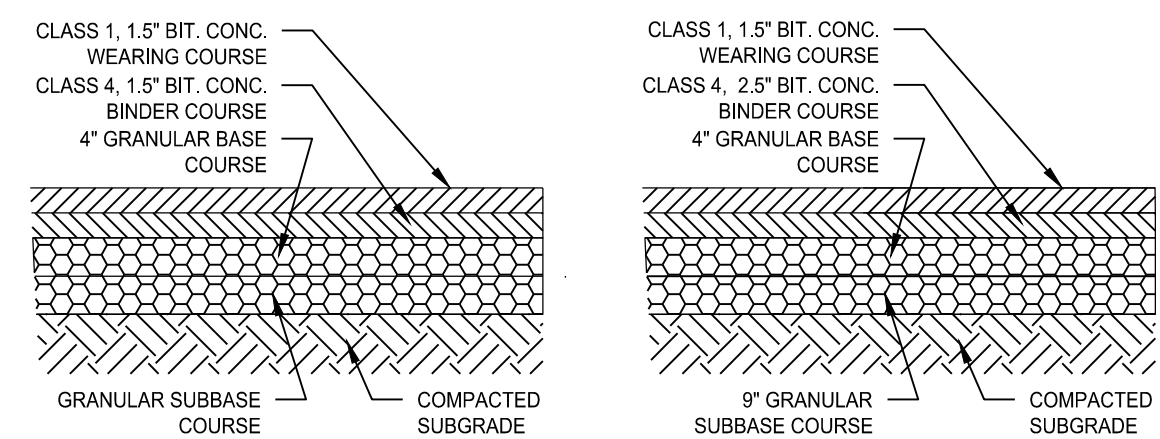
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**LANDSCAPE PLAN**

Scale: **1"=20'**

Sheet Number:  
**C-5.1**

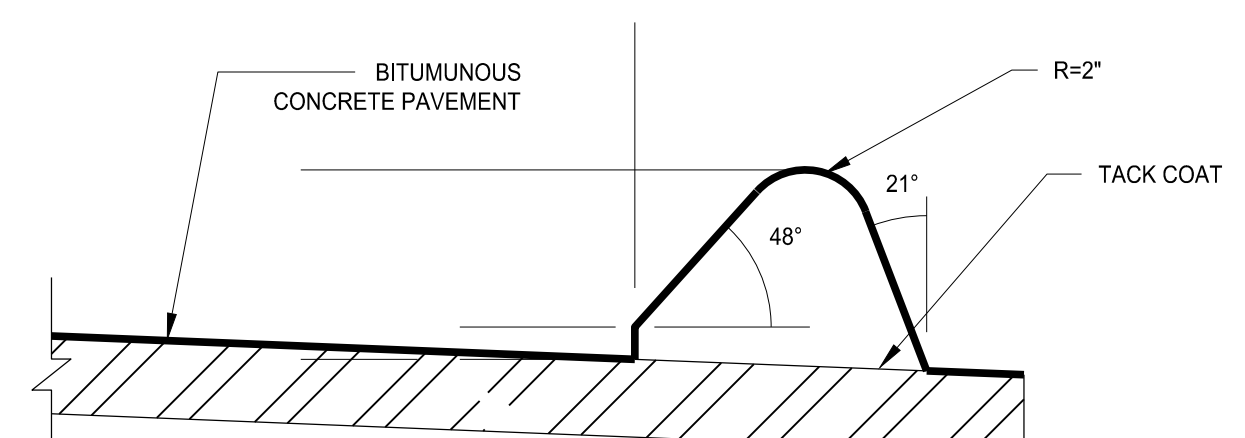
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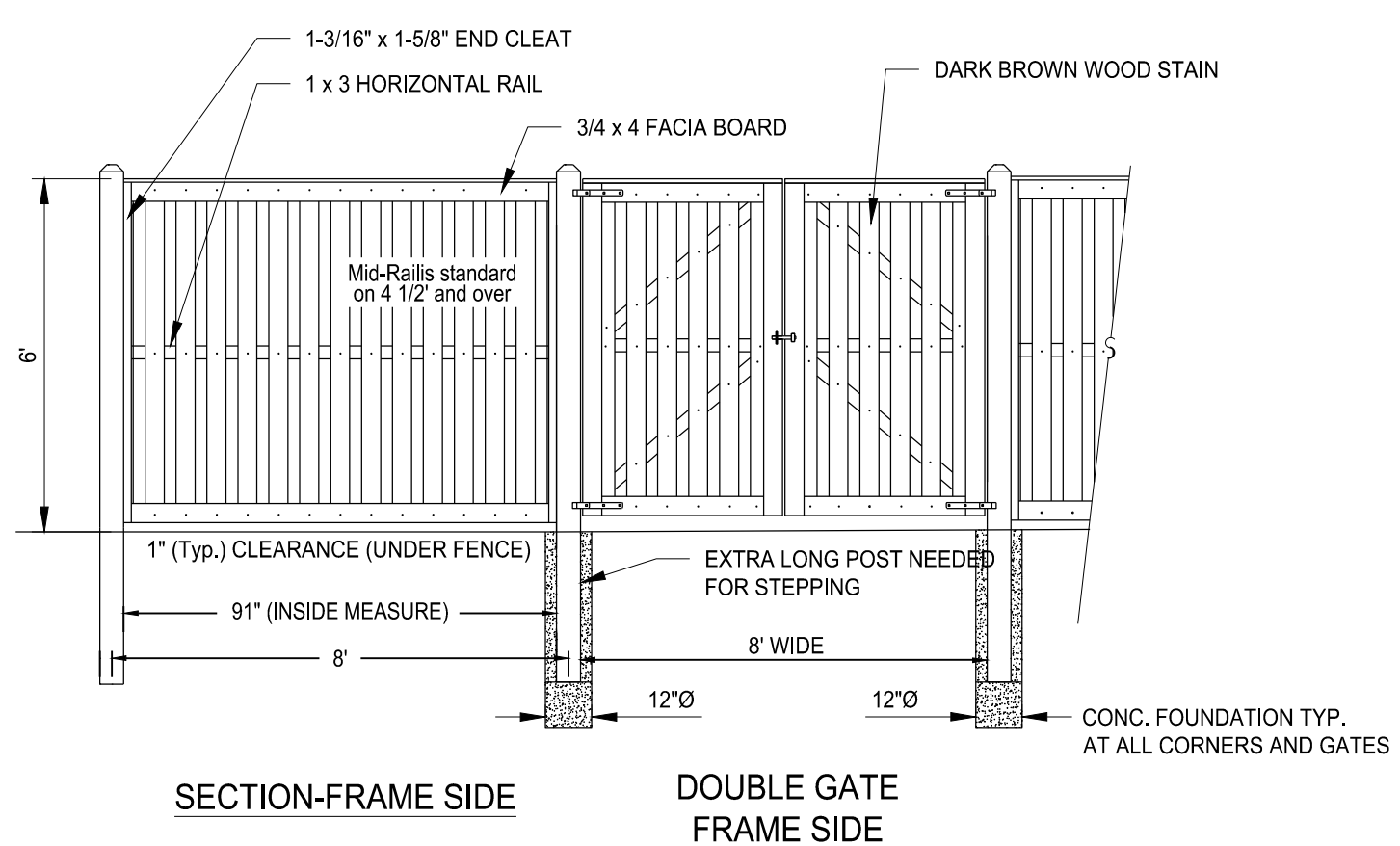
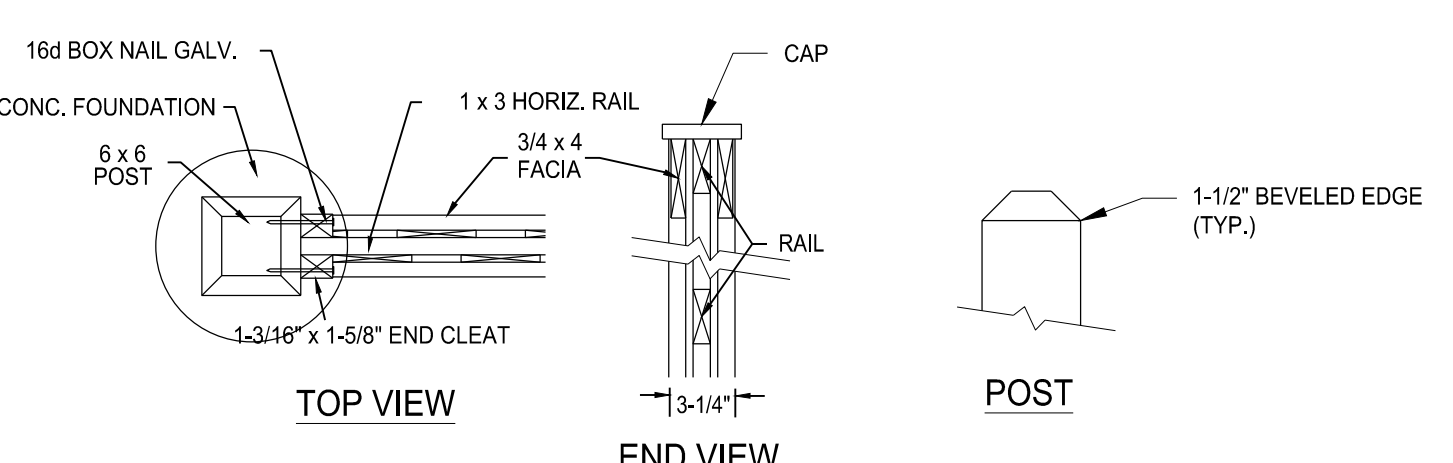
PAVING DETAILS

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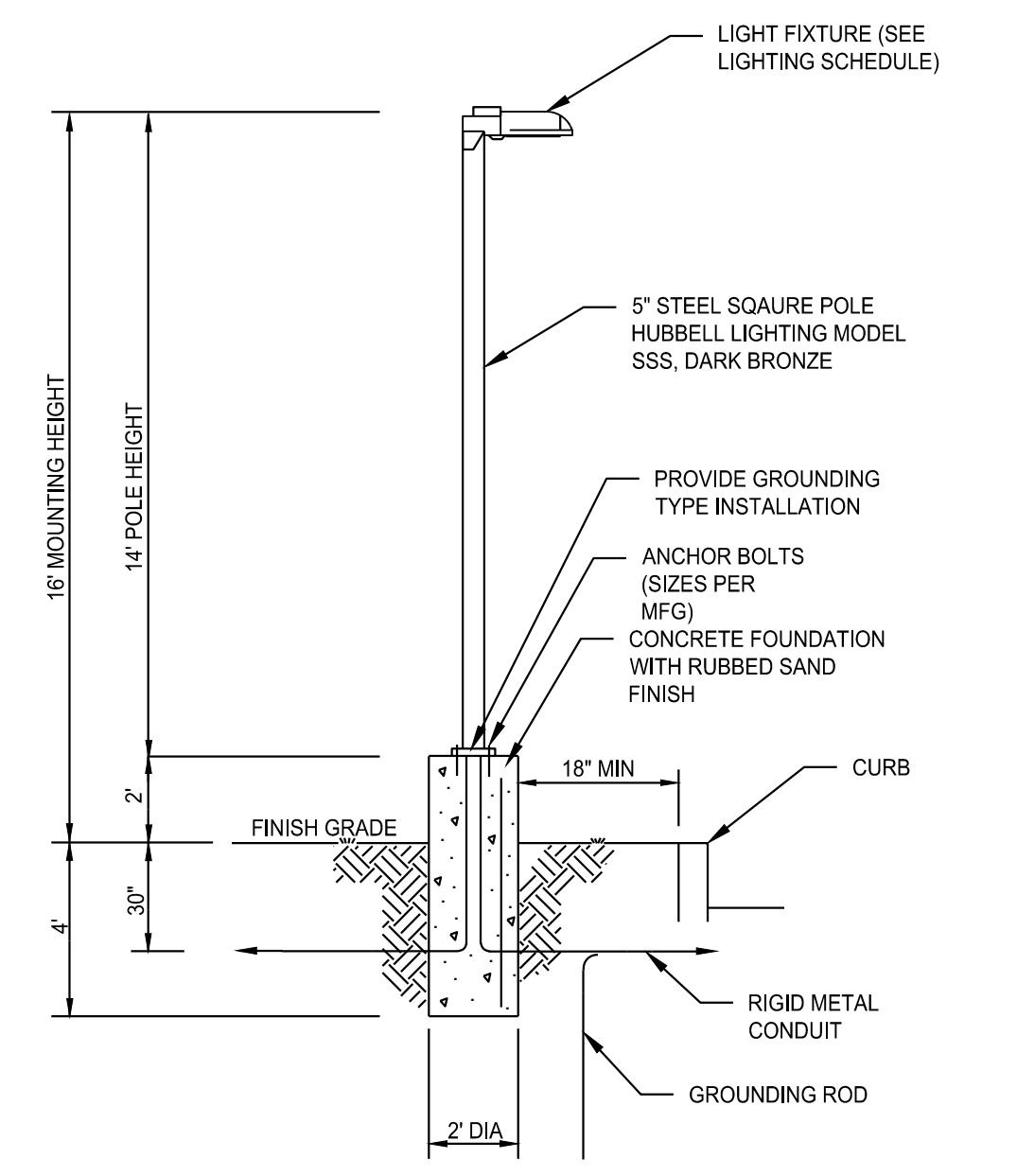
EXTRUDED BITUMINOUS CONCRETE LIP CURBING DETAIL

SCALE: NTS



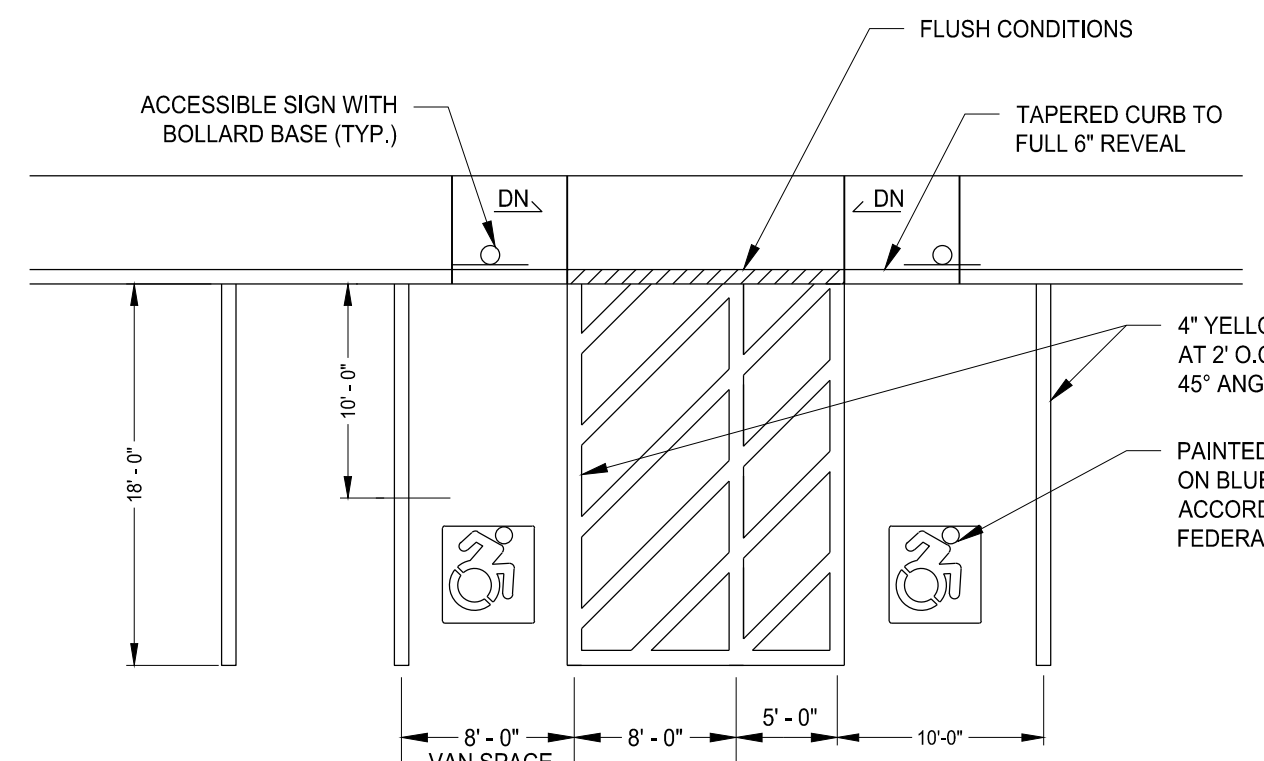
DUMPSTER PAD ENCLOSURE - BOARD ON BOARD FENCE

SCALE: NTS



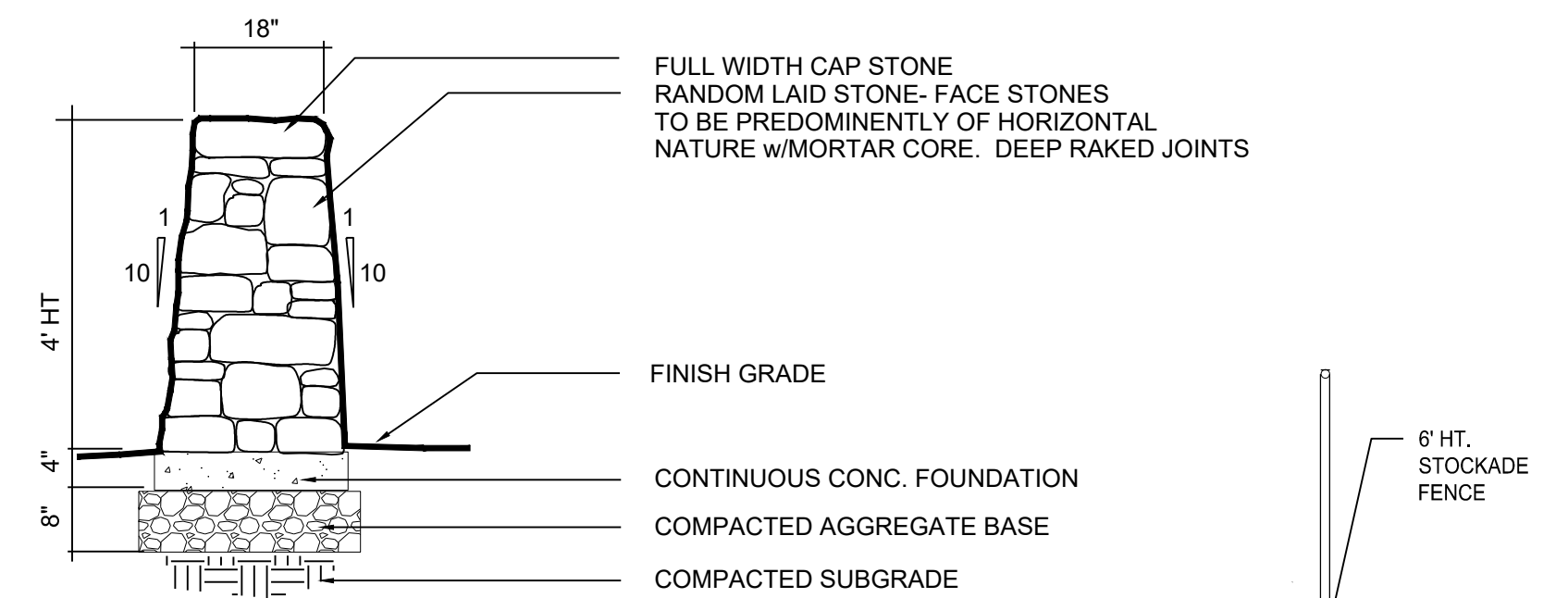
PROPOSED LIGHT POLE - P1

SCALE: NTS



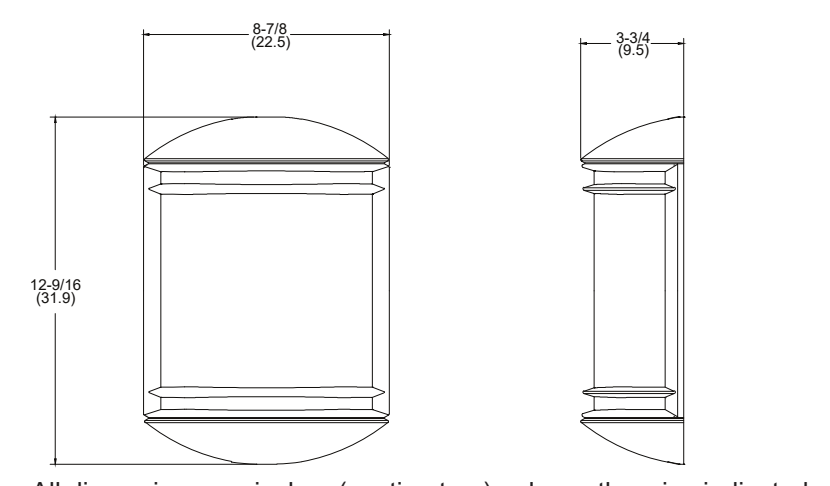
TYPICAL ACCESSIBLE PARKING SPACE DETAIL

SCALE: NTS



STONE WALL w/MORTAR CORE

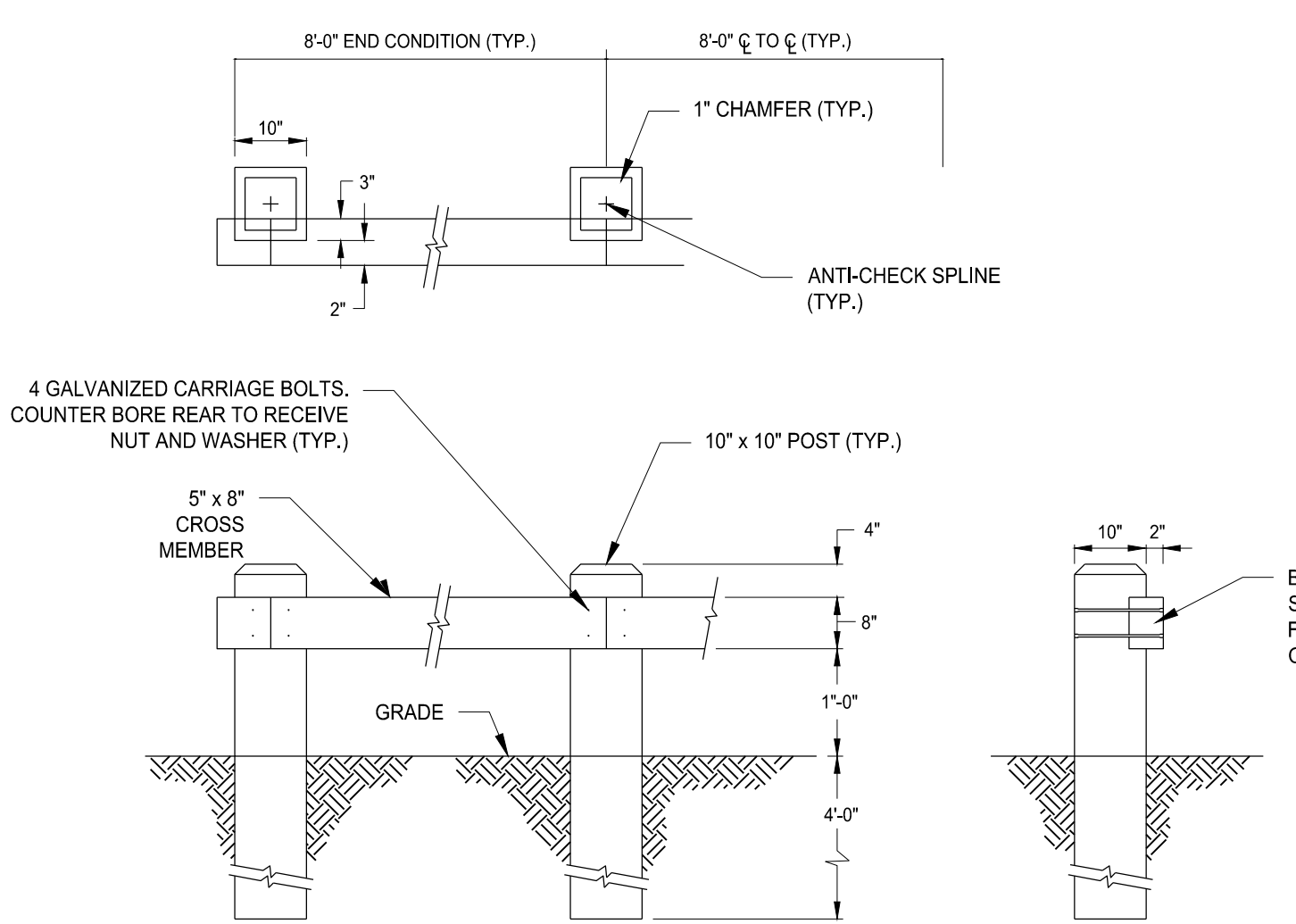
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PROPOSED ACCENT LIGHT - AL1

SCALE: NTS

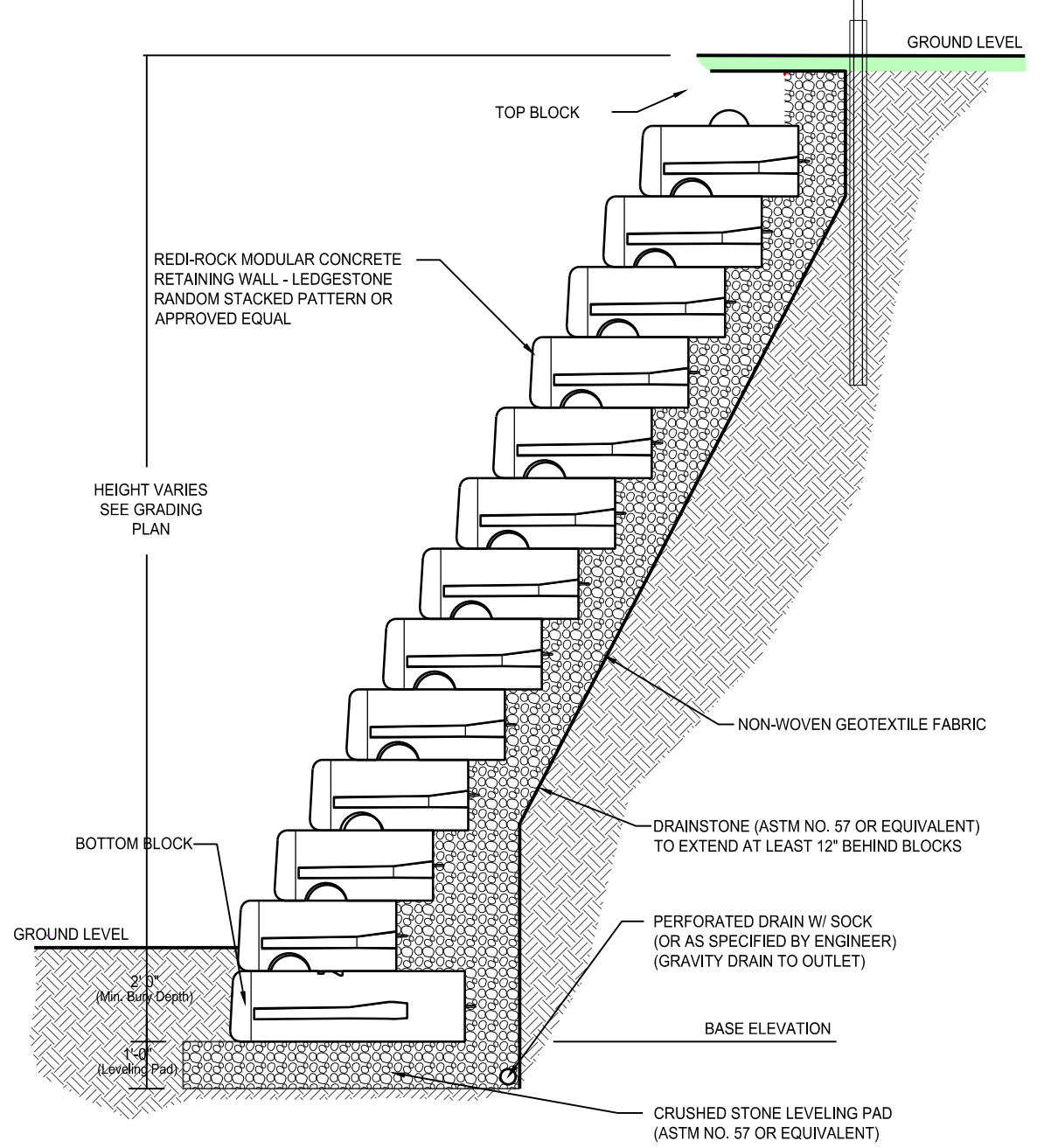
- NOTES
- SEE SITE PLAN FOR ACCESSIBLE SPACE LOCATIONS
  - PROVIDE 2 COATS OF PAINT ON ALL SURFACES.



TIMBER GUIDE RAIL

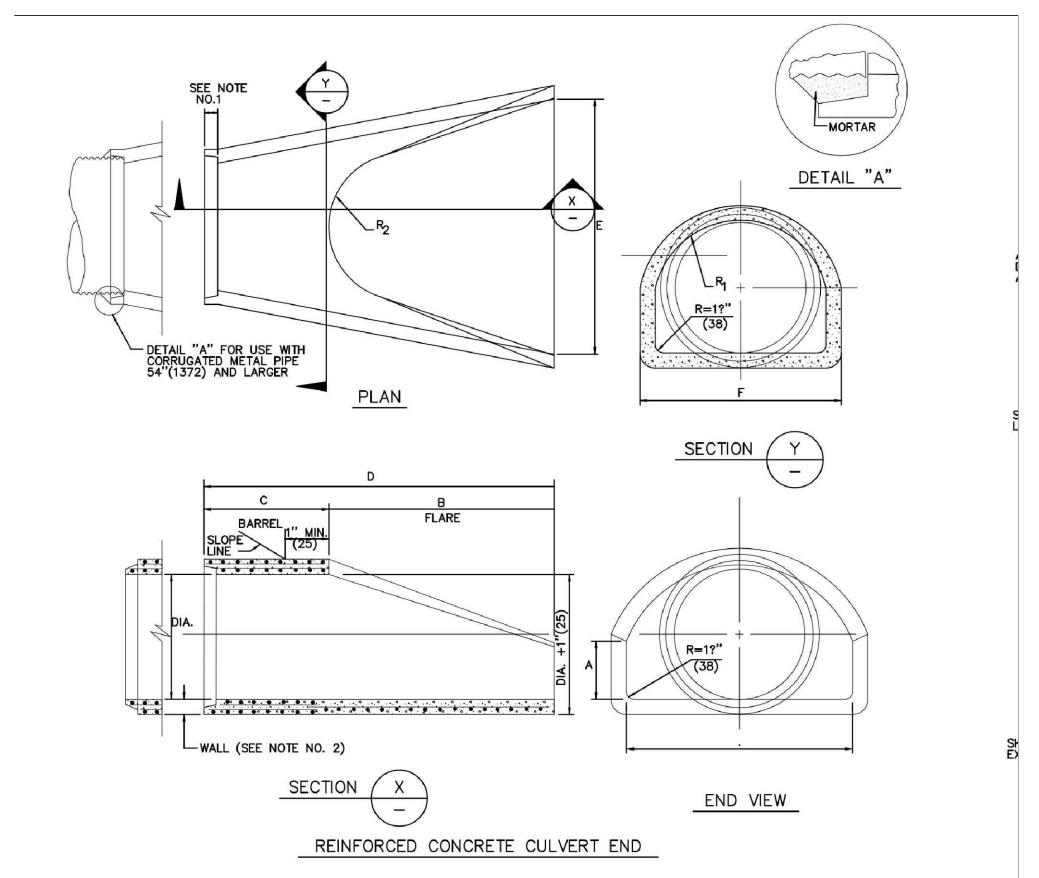
SCALE: NTS

- NOTES
- ALL TIMBER TO BE PRESSURE TREATED CCA=0.40 PCF SOUTHERN YELLOW PINE



TYPICAL GRAVITY TYPE RETAINING WALL SECTION DETAIL

SCALE: NTS



S.A.K.	DIMENSIONS FOR REINFORCED CONCRETE CULVERT END						FLARE	
	A	B	C	D	E	F	H <sub>1</sub>	H <sub>2</sub>
12'x12'	12'	12'	12'	12'	12'	12'	12'	12'
12'x15'	12'	15'	12'	12'	12'	12'	12'	12'
12'x18'	12'	18'	12'	12'	12'	12'	12'	12'
12'x21'	12'	21'	12'	12'	12'	12'	12'	12'
12'x24'	12'	24'	12'	12'	12'	12'	12'	12'
12'x27'	12'	27'	12'	12'	12'	12'	12'	12'
12'x30'	12'	30'	12'	12'	12'	12'	12'	12'
12'x33'	12'	33'	12'	12'	12'	12'	12'	12'
12'x36'	12'	36'	12'	12'	12'	12'	12'	12'
12'x39'	12'	39'	12'	12'	12'	12'	12'	12'
12'x42'	12'	42'	12'	12'	12'	12'	12'	12'
12'x45'	12'	45'	12'	12'	12'	12'	12'	12'
12'x48'	12'	48'	12'	12'	12'	12'	12'	12'
12'x51'	12'	51'	12'	12'	12'	12'	12'	12'
12'x54'	12'	54'	12'	12'	12'	12'	12'	12'
12'x57'	12'	57'	12'	12'	12'	12'	12'	12'
12'x60'	12'	60'	12'	12'	12'	12'	12'	12'

APPROVED BY THE MONTEVILLE INLAND WETLAND COMMISSION

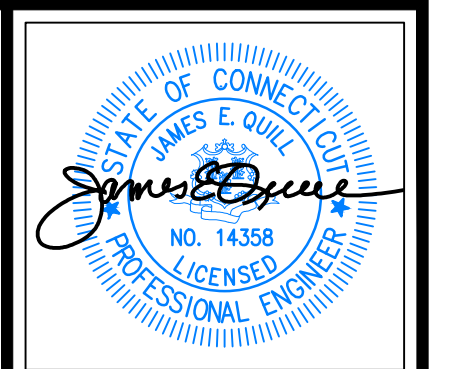
CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

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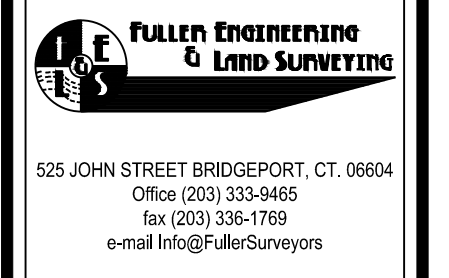
CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

EXPIRATION DATE \_\_\_\_\_

SEC PLAN APPROVAL DATE \_\_\_\_\_



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WILTON'S WAY  
22 UNIT CONDOMINIUM DEVELOPMENT  
245 NORWICH-NEW LONDON ROAD (RT 32)  
MONTVILLE, CONNECTICUT  
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Staff Comments: 03/08/22

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D.R.R. J.E.Q.

Sheet Title:  
DETAIL SHEET

Scale:

Sheet Number:  
C-6.1