

# FULLER ENGINEERING & LAND SURVEYING, LLC

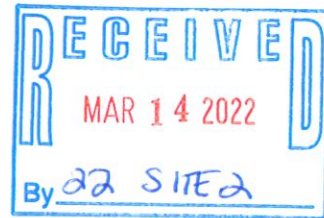
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8 March 2022

Mrs. Liz Burdick  
Planning Director  
Town of Montville



RE: Response to Comments  
22 Unit Condominium  
245 Route 32  
Uncasville, Connecticut

The following are our responses to comments from multiple departments in a letter from various review agencies. Our responses are designated in italics.

## Engineering - Thomas Cummings, P.E., CLA Engineers, Inc. dated 2/7/2022

1. Sidewalk installation on Rt. 32 must be provided on the plans

*Response: A 5' wide concrete sidewalk has been added to plans.*

2. Handicap parking must be shown in the visitor parking area.

*Response: Two (2) van accessible (16' wide) handicap parking spaces have been added to the plan.*

3. Pedestrian access to Route 32 and from the visitor parking area must be provided on the plans.

*Response: A walk way connection has been added to the new pedestrian walk along Route 32.*

4. The construction of Building 1 immediately adjacent to the existing house is impractical.

*Response: The existing house will be modified to provide a seamless connection to the new Unit 2.*

5. Evidence of submission to CT DOT District 2 must be provided.

*Response: The project has been submitted to CT DOT.*

6. Tree clearing must be adjusted for installation of a drainage outfall.

*Response: The tree clearing limit line has been modified to reflect the revised drainage outfall.*

7. A detail of the decorative wall must be provided on the plans.

*Response: As Stone wall with mortar core has been added to the details Sheet C-6.1.*

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8. The plans show a stockade fence and the wall details shows a chain link fence; this must be clarified.

*Response: The intent is for a proposed stockade fence. The detail has been modified.*

9. The rear eaves and setback lines may be in conflict.

*Response: The buildings have been shortened to provide a one-foot (1') separation between the building setback line and the building.*

10. The exterior lighting must be shown on the plans.

*Response: Lighting has been added to the plan sets and detailed on Sheets C-5.1 and C-6.1.*

11. The proposed signage on the site must be added to the plans.

*Response: Signage has been added to Sheet C-2.1.*

12. A detail of the walls at the front of several units must be added to the plans.

*Response: A low wall detail has been added to Sheet C-6.1.*

13. Sheet C-3.1 Note 5 must be updated.

*Response: The note has been updated to refer to the 2002 Connecticut Erosion & Sedimentation Guidelines.*

14. Past test pit locations must be shown on the plans. Additional testing may be needed in the proposed subsurface drainage areas including permeability test – 5 per CT DEEP recommendations.

*Response: Test pit locations have been added to Sheet C-3.1.*

15. Spot grades must be shown on the plans as needed in parking areas and the dumpster pad.

*Response: Additional spot elevations have been added to Sheet C-3.1.*

16. A note must be added to the plans regarding a CT Licensed Engineer designing and inspecting the block wall installation..A wall detail more appropriate to the filling required on the site must be provided.

*Response: Note 9 has been added to Sheet C-3.1 indicating final design by a licensed Connecticut engineer and approval prior to issuance of a building permit.*

17. The installation of the wall at the property line is impractical.

*Response: All walls along the property line have been moved to provide one foot (1') minimum separation to the property line.*

18. The installation of fencing along the retaining wall must be shown behind the wall on the site plan.

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*Response: Fencing is now shown behind the retaining wall.*

19. Access to the rear of the property for any reason is impractical.

*Response: A gated access ramp has been added to the southwestern wall corner.*

20. The landscaping shows trees being installed in the area of gravity and force main locations along with stoops and walls and other services.

*Response: Although tree placement is schematic, the utility lines and trees have been shifted to avoid conflict. Since utilities will be installed prior to tree placement, actual locations of trees will be adjusted as required.*

21. The plans indicate 10" dia. RCP pipe?

*Response: The designation "RCP" has been replaced with "SCH 80 PVC".*

22. The subsurface retention systems must provide a method for inspection.

*Response: Staggered 18" diameter observation ports have been placed on opposing ends of each galley on Sheet C-3.1.*

23. The proposed plunge pool will concentrate flow that is now shown as sheet flow to the downstream neighbor. A method to spread the stormwater flow must be provided.

*Response: The plunge pool has been replaced by a level spreader which will provide overland sheet flow on Sheet C-3.1.*

24. The silt fencing shown on the plans will conflict with wall installation. The easterly side of the site must have more substantial sediment control.

*Response: The silt fence has been adjusted to provide more room for installation. Haybale backing has been added to the silt fence line to provide stronger backing.*

25. A temporary sediment pond in the easterly side of site must be provided on the plans.

*Response: A temporary sediment basin (pond) has been added at the location of the level spreader and sized per the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control.*

*Temporary diversion berms with stone check dams at 50' intervals have been added to direct water to the sediment basin*

26. The E&S Control Plan must site specific with the proposed construction sequence detailed as well as specific individuals responsible for the E&S Controls.

*Response: E&S notes and detail sheet has been revised on Sheet C-*

27. An E&S Control Bond Estimate must be provided for review.

*Response: A bond estimate is provided herein.*

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## Planning - Liz Burdick, Planning Director dated 03/02/22

1. ZR Section 4.11.5 (Multi-Family Dwellings):

*Response: Acknowledged.*

2. Revise plan set to add Title Sheet with Sheet Index, names of applicants, property owners, property address with map/block/lot numbers, etc.

*Response: Sheet C-0 has been added to the plan set.*

3. Sheet "Zoning Improvement Location Plan":

- a. Delete duplicate zoning compliance table on this sheet

*Response: Only one zoning compliance table is included on this sheet.*

- b. Benchmark needs to be shown on plan

*Response: The existing nail found in SNET pole 2749 has been added.*

- c. ZR Sec 17.2.4 – survey / site plan requirements can be found in this section.

*Response: Acknowledged. All materials in this submission package are certified by a licensed engineer or surveyor as required by ZR Sec 17.2.4..*

- d. Notes –

1. Note 3 – Note map reference for dependent resurvey.

*Response – Reference to "Map References" added.*

2. Note 8 – revise to add "and is located in the Route 32 Overlay Zone (OZ).

*Response: Overlay zone added.*

3. Note 10 – Show FEMA map info.

*Response – FEMA map reference added.*

4. Sheet C-2.1:

- a. Map references #2 – Third Line – Delete "Dennis A" and throughout the plan set as needed.

*Response: All references to Dennis A have been removed throughout the plan set.*

- b. Notes: Remove multiple references to Town of Norwalk and Note 8 Show FEMA info for the subject property.

*Response: References to Norwalk have been removed. Note 8 has been updated with specific map information.*

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- c. Plan notes 2 “2-car garage”, floor plans show 1-car garage. Revise to identify 1-car garage and 1 parking space.

*Response: Plans have been revised to indicate “1” Car garages.*

- d. “Existing House to Remain” appears to be only partially connected to new construction, but connected on elevation drawings. Please clarify.

*Response: The gap between the existing house to remain and proposed Unit 2 will be merged with a common wall.*

- e. Outlet structure is shown outside limits of clearing. Revise clearing limits and add notes clearing limits shall be clearly identified prior to start of any work.

*Response: The clearing limit line has been revised to allow room for construction of outlet structure.*

*A Note 9 has been added to the plan indicating establishment of the clearing limit line prior to any sitework activities.*

- f. How will refuse area (see Dumpster Pad Enclosure” detail) be accessible to trash removal trucks.

*Response: The refuse area has been moved to the northwest parking area. A standard gated refuse area which allows for more efficient front loading is now provided.*

- g. Revise zoning compliance table to show accurate “requirements” (min. lot area 40,000/10,000 public sewers, frontage 80, Maximum height – none.)

*Response: The zoning table has been revised with data from the C-1 and OZ zone.*

5. Sheet C-3.1 – Note 4 – add zoning dept. & fire marshal’s office.

*Response: Note 4 has been updated to include the departments above.*

Note 5 Reference 2002 CT E&S Guidelines.

*Response: Note 5 has been updated to the current 2002 CT E&S Guidelines reference.*

Wetlands Table – update with recent soil scientist identification (v. GIS).

*Response: Wetland table has been updated to indicate the absence of wetlands as flagged by Aleksandra Moch on February 12, 2022.*

6. Sheet C-3.2 – Note 9 – Revise to remove reference to Norwalk. Note 13.1 – typo.

*Response: The note has been corrected to indicate the Town of Montville.*

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7. Sheet C-4.1 (E&S Control Plan) Silt fence is shown outside clearing limits.

*Response: The silt fence has been modified to the revised clearing limits.*

Silt fence at toe of slope needs to be reinforced with hay bales and other measure, topsoil stockpile area with silt fence needs to be added to the plan.

*Response: The plan has been revised to include a double row of silt fence and haybale protection.*

Show any construction staging areas (office trailer, laydown, etc.).

*Response: A topsoil stockpile area has been added to the north west corner of the property.*

Note 3, line 2. Delete "and will require review and approval by Town of Montville Building Dept."

*Response: Montville Building Dept wording has been removed.*

Note 4 – Reference 2002 CT E & S Guidelines.

*Response: Reference to the 2002 CT E&S Guidelines has been added to Note 4.*

Add construction sequencing notes.

*Response: Construction sequencing notes have been added to Sheet C4.2.*

8. Sheet C-6.1 to 6.3 – Add notes regarding maintenance of drainage structures.

*Response: An Operations and Maintenance Plan has been added to Appendix O of the Engineering report.*

9. ZR Sec. 15.1 (SESC) – Submit SESC bond estimate for review & approval by Town Engineer.

*Response: An SESC bond estimate has been included in this response.*

10. ZR Sec. 17.3 (GIS) – Digital data in accordance with this section shall be provided to the Planning Office prior to issuance of any zoning permit to start work.

*Response: Acknowledged – the required digital data will be provided prior to issuance of any zoning permit.*

11. ZR Sec. 17.4.11 – Revise to show locations, size, and arrangement of pedestrian walkways / sidewalks (guest parking).

*Response: Plans have been revised to show additional parking per zoning requirements. Pedestrian walkways have been added to the plans.*

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12. Revise plan to show sidewalks along Rte. 32 for the length of the property frontage.

*Response: A pedestrian walkway has been added along Route 32.*

13. 14.4.14 (Lighting) – Add lighting plan sheet showing site lighting locations and details.\

*Response: Pole and accent lighting has been added to Sheet C-5.1. Lighting details have been added to Sheet C-6.1*

14. ZR 17.4.21 – Revise plan to add signature blocks (PZC, IWC, Plan expiration, SEC Plan approval, etc. to lower right hand corner of plan set.

*Response: Signature block has been revised to include additional department approvals.*

15. ZR Sec. 18.3.2 (Parking Multi-family Dwellings) 2 ½ spaces for each unit required. Revise parking table and show additional parking spaces needed to comply.

*Response: Additional spaces and a revised parking table have been provided on Sheet C-2.1.*

16. ZR Sec. 19 (Signs) – The location and details of any proposed new complex signage, directional signage, traffic signage shall be shown on the plan sheet to be approved as part of this site plan application OR a separate zoning permit for review & approval of the Zoning Official will be required.

*Response: Directional signage has been added to the C-2.1. A proposed complex sign is proposed on the face of the proposed decorative stone wall along Route 32.*

17. Elevation Drawings – Basement level of proposed units appears to contain a fourth bedroom. Please clarify. Review by Building Official required.

*Response: Elevation drawings have been revised to remove implication of a fourth bedroom.*

## **Fire - Paul D. Barnes, Fire Marshal dated 3/7/22**

1. 2 hour rating for garage.

*Response: Acknowledged – will be addressed with the building department submission phase.*

2. Min 1 hour rated fire door from garage to residence.

*Response: Acknowledged – will be addressed with the building department submission phase.*

3. Stepped construction requires 2 hour fire separation from slab to roof peak.

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*Response: Acknowledged – will be addressed with the building department submission phase.*

4. No indications of smoke alarms / CO2 alarms.

*Response: Acknowledged – will be addressed with the building department submission phase.*

5. Identify heating system.

*Response: Acknowledged – will be addressed with the building department submission phase.*

6. Concern about one way in / one way out IFC sect 503.1.2.

*Response: Maximum width of main driveways has been provided for 2 way circulation (24') No Parking signage has been added to prevent parking within the travel lane area.*

7. Require parking signs to deter on street parking.

*Response: No Parking signs have been added at the island areas along the main driveway to maintain maximum access for emergency vehicles, if required.*

8. Add one hydrant midway down driveway.

*Response: One hydrant has been added in an island on the northern side of the main driveway.*

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# Sedimentation and Erosion Controls Bond Estimate

245 Route 32  
Montville, Connecticut

3/9/2022

NO.	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	COST
1	General Sedimentation and Erosion Control Measures (aprons, swales etc)	L.S.	1	2,000	2,000
2	Silt Fence	L.F.	1,075	4.00	4,300
	Haybales	L.F.	250	4.00	1,000
3	Topsoil, Seed, Fertilizing, and Mulch (Disturbed Area)	S.F.	67,400	0.20	13,480
4	Landscaping (extent to provide for restorationj and aesthetic considerations)	L.S.	1	2,000	2,000
5	Grading for site restoration that will provide safe and stable conditions.	L.S.	1	2,000	2,000
6	Other				
				Subtotal	24,780
				10% Contingency	2,478
				<b>TOTAL</b>	<b>27,258.00</b>

**NOTES:**

Quantities and values provide our estimate for the restoration of the disturbed site to a stabilized condition and does not include drainage, paving, curbing, landscaping or other improvements as specified on the plans.

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