

# Boy's & Girl's Restroom Modifications

# Fair Oaks School Community Center

836 Old Colchester Road Oakdale, CT.

Dated Jan. 19, 2022

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## Drawing List:

Fred Marzec-Architect, LLC

- EC/D-1 Existing Conditions & Demolition Work
- A-1 New Work Plans Details Floor Finish Plan
- A-2 Door Schedule New Window Details New Floor Finish Plan

RZ Design Associates, Inc.

- Mechanical
  - M-0 Mechanical General Information
  - M-1 Plans Mechanical Floor Plans
  - M-2 Plans Mechanical Floor Plans
  - M-3 Plans Mechanical Floor Plans
- Electrical
  - E-0 Plans Electrical General Information and Legend
  - E-1 Plans Electrical Lighting Floor Plans
  - E-2 Plans Electrical Power Floor Plans
  - E-3 Plans Electrical Specifications
- Plumbing
  - P-0 Plans Plumbing General Information
  - P-1 Plans Plumbing Floor Plans
  - P-2 Plans Plumbing Schedule and Details
  - P-3 Plumbing Specification

## CODE DATA:

### 2022 Connecticut State Building Code

- 2021 International Building Code
- 2021 International Mechanical Code
- 2021 International Plumbing Code
- 2021 International Energy Conservation Code
- 2021 International Existing Building Code
- ICC / ANSI A117.1-2009 Accessible and Usable Building and Facilities
- 2017 National Electrical Code (NFPA-70) CT. Amendments to the Above
- CSPSC - Connecticut State Fire Safety Code NFPA-1 & 2021 CT. Fire Code

Use Group: Existing Mixed Use Education 4 A-3  
Construction Type: VB - Unprotected  
IBC Chapter 2 Definitions Area Building (interior face of wall)  
Building Height: 1 Story (partial Basement)  
Non-sprinkled Building  
Section 504: Height Modifications:  
3042 Automatic Sprinkler System Increase: NON-SPRINKLED BUILDING No Adjustments  
506.1 Area Modifications: % of Open Perimeter No Change in Building Area  
506.2 Frontage Increase: 100% open perimeter No Change in Building Site

Table 601  
Fire-Resistance Rating Requirements for Building Elements (hours)

Building Element	Type I		Type II		Type III		Type IV		Type V	
	A	B	A*	B	A*	B	A*	B	A*	B
Primary structural frame (see Section 202)	3*	2*	1	0	1	0	HT	1	0	0
Bearing walls:										
Exterior	3*	2*	1	0	2	2	1/HT	1	0	0
Interior	3*	2*	1	0	1	0	1/HT	1	0	0
Non-bearing walls and partitions:										
Exterior	See Table 602									
Interior	0	0	0	0	0	0	Sect. 602.4.6	0	0	0
Floor Construction and secondary members (see Section 202)	2	2	1	0	1	0	HT	1	0	0
Roof Construction and secondary members (see Section 202)	1/2*	1**	1**	0	1**	0	HT	1**	0	0

Table 602  
Fire-Resistance Rating Requirements for Exterior Walls Based on Fire Separation Distance

Fire-Separation Distance	Type of Construction	Group H <sup>1</sup>		Group F-1, M, S-1*		Group A, B, E, F-2, R, S-2, U	
		A	B	A	B	A	B
< 5'	All	3	2	2	1	1*	1*
5' < X < 10'	IA Others	3 2	2 1	2 1	1 0	1*	1*
10' < X < 30'	IA, IB VB, VB Others	2 1 1	1 0 0	1 0 0	1 0 0	1*	1*
> 30'	All	0	0	0	0	0	0

Table 603  
Interior Wall and Ceiling Finish Requirements by Occupancy

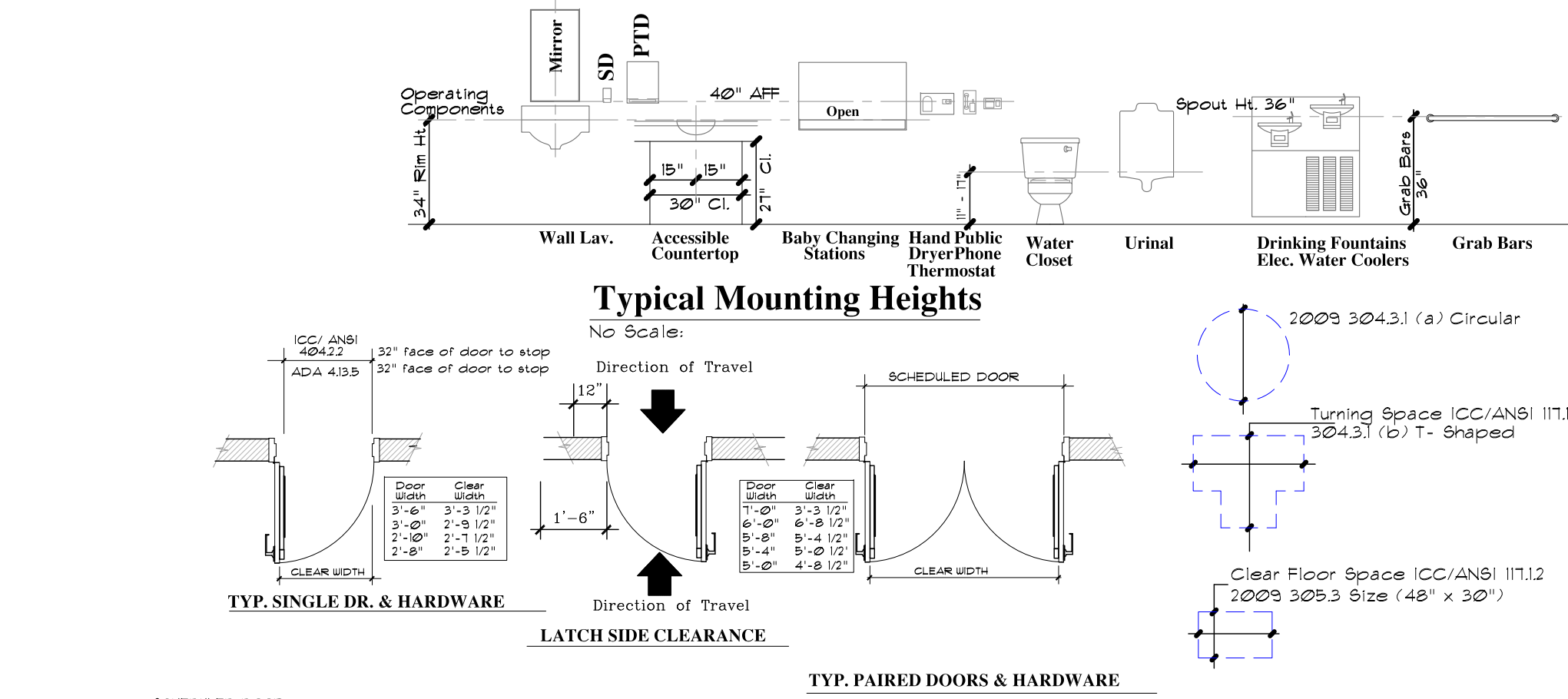
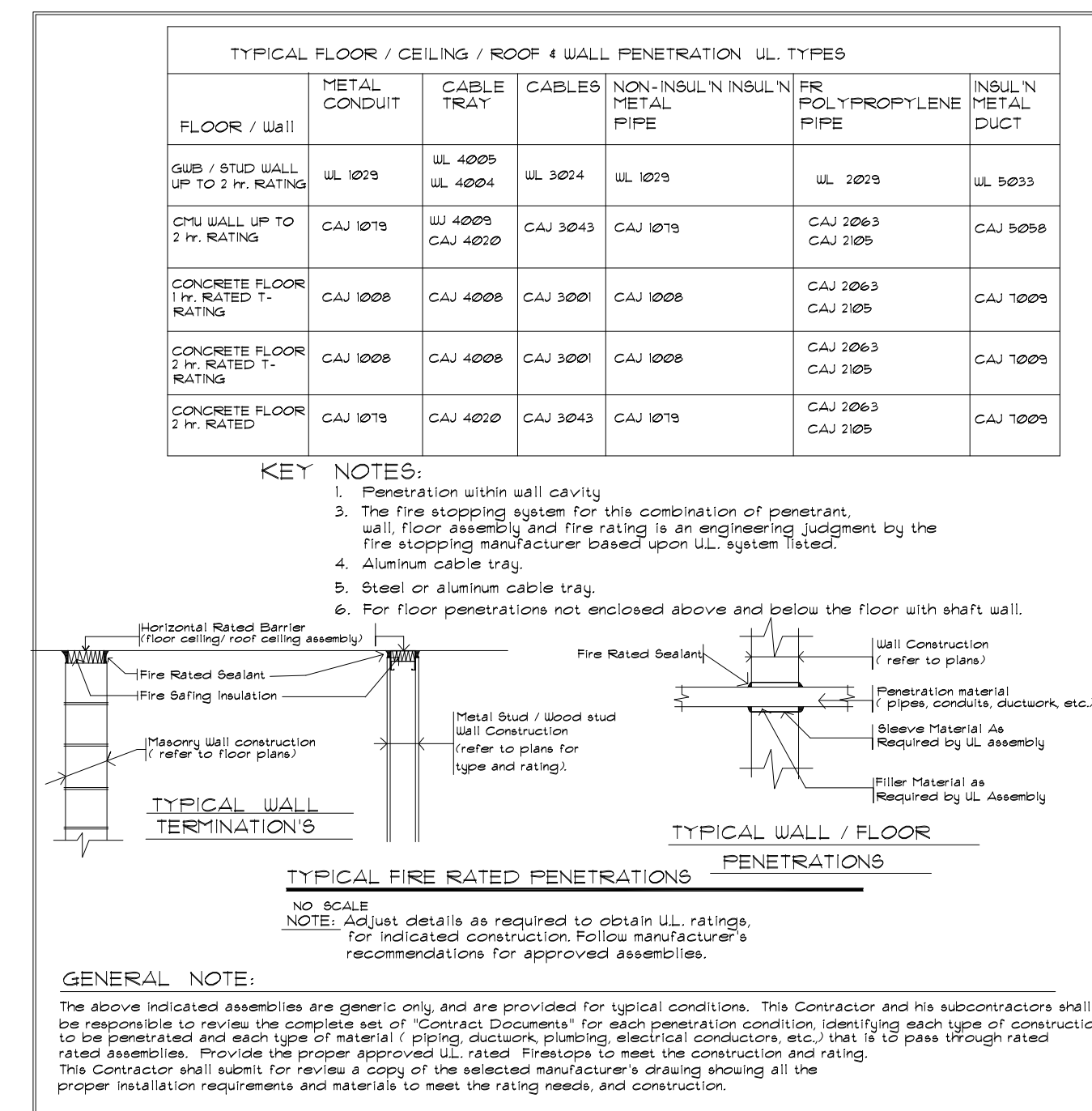
GROUP	SPRINKLED				NON-SPRINKLED			
	Interior ext. stairways, Ramps and exit passageways <sup>a</sup>	Interior and exterior walls <sup>b</sup>	Rooms and enclosed spaces <sup>c</sup>	Rooms and enclosed spaces <sup>c</sup>	Interior ext. stairways, Ramps and exit passageways <sup>a</sup>	Interior and exterior walls <sup>b</sup>	Rooms and enclosed spaces <sup>c</sup>	Rooms and enclosed spaces <sup>c</sup>
A-1 & A-2	B	B	C	B*	A	A*	B*	B*
A-3, A-4, A-5	B	B	C	A	A*	A*	B*	B*
B, E, M, R-1	B	C*	C	A	B	B	C	C
R-4	B	C	C	A	B	B	C	C
	B	B	C*	B	C	C	C	C
I-1	B	B	C	A	B	B	C	C
I-2	B	B	B*	A	A	A	B	B
I-3	A	A	C	A	A	A	B	B
I-4	B	B	B*	A	A	A	B	B
R-2	C	C	C	A	B	B	C	C
R-3	C	C	C	C	C	C	C	C
	C	C	C	B	B	B	C	C
	NO RESTRICTIONS				NO RESTRICTIONS			

Table 1012: Exit Access Travel Distance:

Occupancy	without sprinklers <sup>a</sup>	with sprinklers
A, E, F-1, I-1, M, R, S-1	200'	250'
I-1	Not Permitted	250'
B	200'	300'
F-2, S-2, U	300'	400'
II-1	Not Permitted	15'
II-2	Not Permitted	100'
II-3	Not Permitted	50'
II-4	Not Permitted	15'
II-5	Not Permitted	200'
I-2, I-3	Not Permitted	200'
I-4	150'	200'

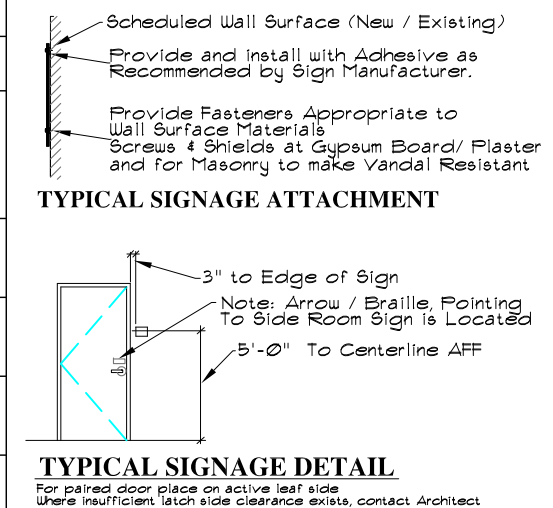
Summary of Occupancy Automatic Sprinkler Thresholds  
Figure 903.2 IBC 2021 Commentary

Use Group / Occupancy	Exceptions	Exceptions
All Occupancies	Buildings with floor level $\leq$ 15 feet above the adjacent street and occupant load $\leq$ 250	Artisan control tower, open parking structures, P-2
Assembly (A-1, A-3, A-4)	The area $\leq$ 2,000 sq. ft. of the area occupant load $\leq$ 200 or the area above the area occupant load $\leq$ 200	None
Assembly (A-2)	The area $\leq$ 2,000 sq. ft. of the area occupant load $\leq$ 200 or the area above the area occupant load $\leq$ 200	None
Assembly (A-5)	Common area $\leq$ 2,000 sq. ft. or the area occupant load $\leq$ 200 or the area above the area occupant load $\leq$ 200	None
Amputation care facility (B)	The area $\leq$ 2,000 sq. ft. or the area occupant load $\leq$ 200 or the area above the area occupant load $\leq$ 200	None
Educational (E)	The area $\leq$ 2,000 sq. ft. or level of exit discharge the area occupant load $\leq$ 200	See classroom for exterior door in schools
Factory (F-1)	The area $\leq$ 2,000 sq. ft. or having $\geq$ three stories or enclosed the area $\leq$ 2,000 sq. ft.	None
Mercantile (M)	The area $\leq$ 2,000 sq. ft. or the area occupant load $\leq$ 200 or the area above the area occupant load $\leq$ 200	None
Storage (S-1)	The area $\leq$ 2,000 sq. ft. or the area occupant load $\leq$ 200 or the area above the area occupant load $\leq$ 200	None
High Hazard (H-1, H-2, H-3, H-4, H-5)	Sprinklers required	None
Institutional (I-1, I-2, I-3, I-4)	Sprinklers required	See Care of level of exit discharge the area occupant load $\leq$ 200
Residential (R)	Sprinklers required	None
Repair Garages (R-1)	The area $\leq$ 2,000 sq. ft. or the area occupant load $\leq$ 200 or the area above the area occupant load $\leq$ 200	None
Parking garage (R-1)	Commercial vehicles parking area $\leq$ 2,000 sq. ft.	None
Parking garage (R-2)	The area $\leq$ 2,000 sq. ft. or the area occupant load $\leq$ 200 or the area above the area occupant load $\leq$ 200	Not if egress below
Covered and open walkways	Sprinklers required	Attached open parking structures
High rises (A-5.3)	Sprinklers required	Open garages: certain manufacturing buildings
Attached area buildings (S-1)	A-3, A-4, B, F, M, S: One story B, F, M, S: Two story	One story P-2, or S-2.



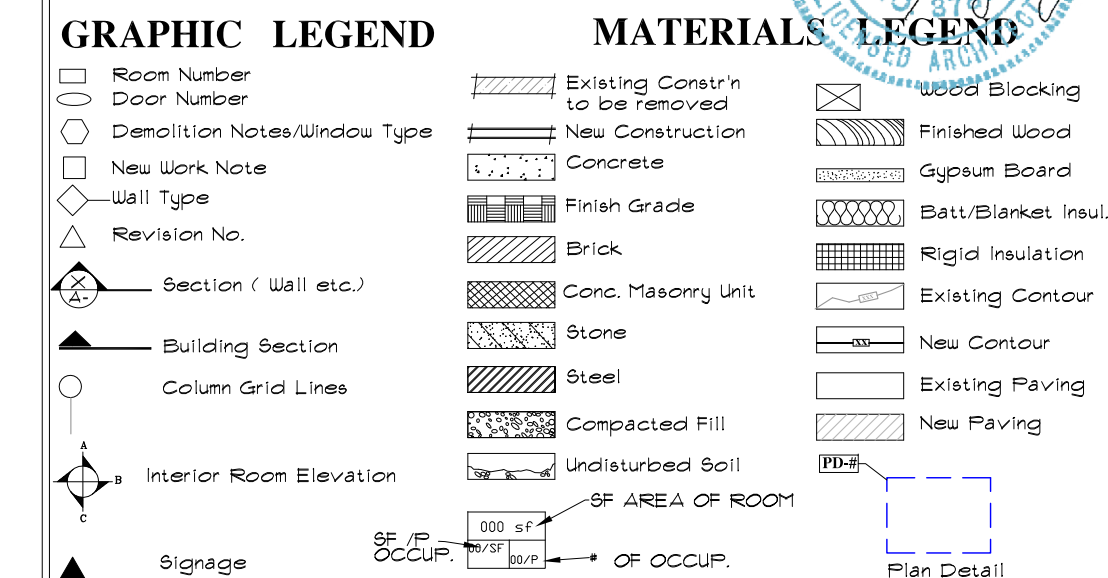
## Signage Scheduled

Symbol	Type	Manufacturer Model Number
H 'A'	6" x 6" ADA Blue	Equal to Nelson 4055
H 'A1'	7 1/2" x 7 1/2"	Equal to Nelson 5476 Color Selected by Owner
H 'A2'	7 1/2" x 7 1/2"	Equal to Nelson 5475 Color Selected by Owner
H 'B'	3" x 8" Tactile & Braille	Equal to Nelson 1029 Series Color Selected by Owner
H 'C'	Fire Extinguisher Sign 10 1/2" x 3 1/2" H Two Sided Sign Luminous	Equal to Nelson 6476
H 'D'	8" x 8"	Equal to Nelson 1742
H 'E'	8" x 8"	Equal to Nelson 1742
H 'F'	8" x 8"	Equal to Nelson 4492
H 'G'	Evacuation Plan	Custom 7056 (Approved sign provide basic plan for Contractor's use and replace artwork)

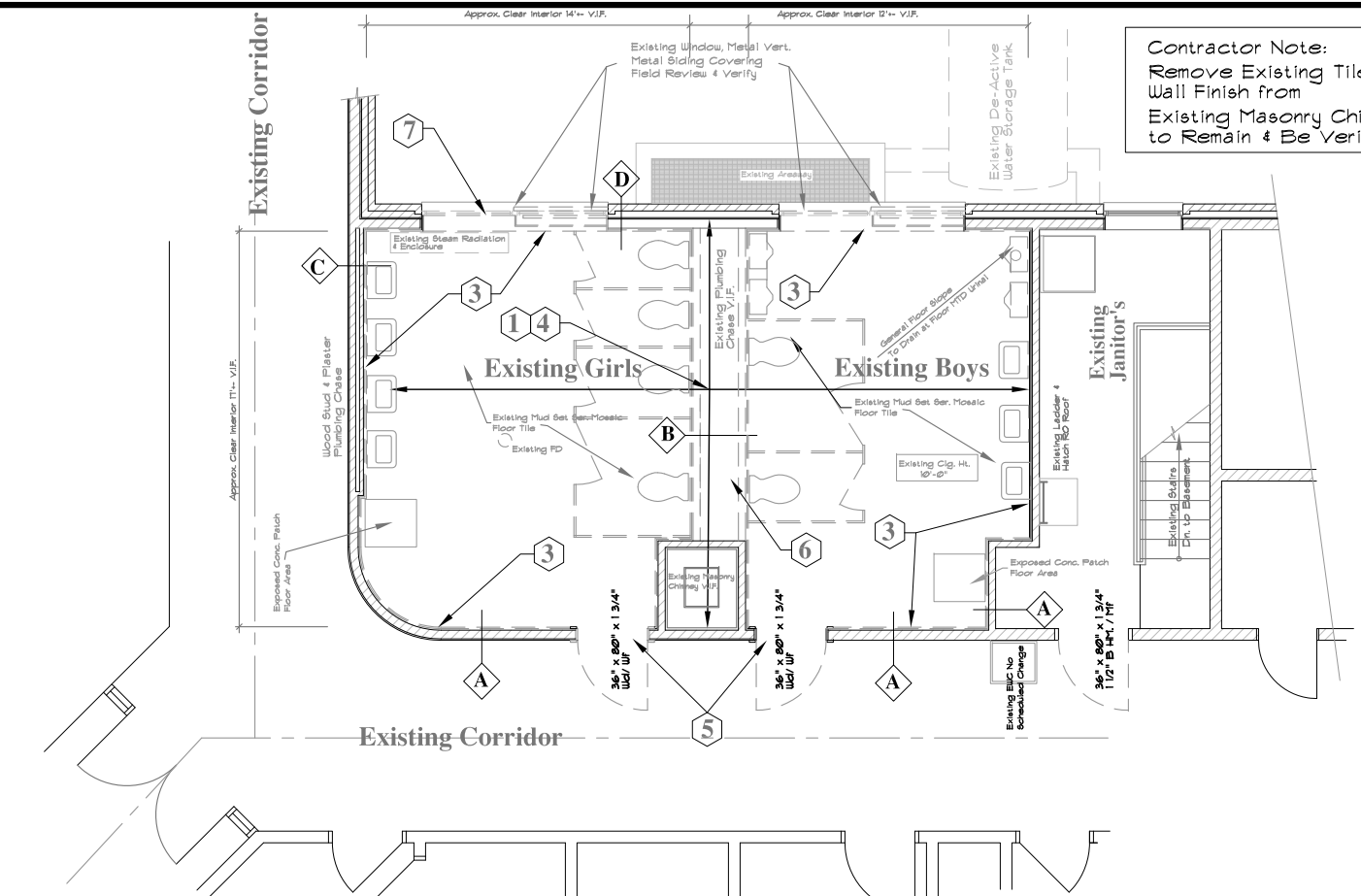


## Abbreviations:

- AFF Above Finish Floor
- ACT Acoustical Tile Ceiling
- A/C Air Conditioning
- AHU Air Handling Unit
- Alt. Alternate
- Alum. Aluminum
- Anch. Anchor / Anchorage
- AB Anchor Bolt
- Appr. Approved
- ASB Asbestos
- Asph. Asphalt
- Assy. Assembly
- Appr. Approved
- Auto. Automatic
- Bn. Beam
- Brg. Bearing
- Bit. Bituminous
- Blk. Block
- Bkg. Blocking
- B/C Board
- Bot. Bottom
- Blgd. Building
- BUR. Built up Roofing
- Cab. Cabinet
- CUH Cabinet Unit Heater
- Cap. Capacity
- Clg. Ceiling
- CLG. Ht. Ceiling Height
- Cam. Cement
- Cur. Center
- CL or C. Central Line
- CL. Ceramic Tile
- CLG. Ceiling
- Cl. or Clo. Closet
- Col. Column
- Conf. Conference
- Conc. Concrete
- Cj. Control Joint
- Col. Column
- Cont. Continuous
- Corr. Corridor
- Deg. Degree
- Demo. Demolition
- Dia. Diameter
- Dim. Dimension
- Dist. Distance
- Dr. Door
- Dbl. Double
- DN. Down
- Down Spout
- Drng. Draining
- DF. Drinking Fountain
- Each
- Elec. Electrical / Electric
- EUC. Electric Water Cooler
- El. Elevation
- Elev. Elevator
- Engng. Emergency
- EQ. Equal
- Equip. Equipment
- Exist. or Existing Existing
- Exp. Expansion
- EJ. Expansion Joint
- Ext. Exterior
- Ext. Exterior
- E.I.F.S. Exterior Insulation Finish System
- Feet / Foot
- Fin. Finish
- FE. Fire Extinguisher
- FR. Fire Retardant
- FRF. Fireproofing
- Fukt. Future
- Flash. Flashing
- Fl. Floor
- Fd. Floor Drain
- FTG. Footing
- FND. Foundation
- Foundn. Foundation
- Furr. Furring / Furred
- Galv. Galvanized
- Gyp. Bd. Gypsum Board
- G.C. General Contractor
- Dr. Door
- H.C. Handicapped
- Ht. Height
- HM. Hollow Metal
- Horiz. Horizontal
- H.B. Hose Bibb
- Inch
- Incl. Included
- Info. Information
- I.D. Inside Diameter
- Insul'n. Insulation
- Int. Interior
- EQ. Equal
- Joint
- Qty. Quantity
- Q.T. Quarry Tile
- Rad. Radius
- RUL. Rain Water Leader
- Recv. Receiving
- Refr. Refrigerator
- Reinf. Reinforcement
- Ram. Remove
- Reqd. Required
- Rt. Right
- Rd. Roof Drain
- Rm. Room
- Mach. Machine
- Maint. Maintenance
- Mfrg. Manufacturer
- Mas. Masonry
- M.O. Masonry Opening
- Mat. Material
- Max. Maximum
- Min. Minimum
- Misc. Miscellaneous
- Mech. Mechanical
- N. North
- N.I.C. Not in Contract
- N.T.S. Not to Scale Scale
- OFF. Office
- O.C. On Center
- OH. Over Head
- OD. Outside diameter
- PTD. Painted
- P.T.D. Paper Towel Dispenser
- Pass. Passage
- Pl. Plaster
- P.L. Plastic Laminate
- Flm. Plumbing
- Plwd. Plywood
- PVC. Polyvinyl Chloride
- Prfab. Prefabricated
- S.Q. Square
- S.F. Square Feet / Foot
- S.S. Stainless Steel
- STD. Standard
- STL. Steel
- Struct. Structure
- Susp. Suspended
- S.A.T.C. Susp. Acoustic Tile Ceiling
- Thru. Through
- T.P.D. Toilet Paper Dispenser
- T.M.E. To Match Existing
- T 4 G Tongue 4 Groove
- Tj. Top of
- Type. Typical
- U.L. Underwriter's Laboratory
- U.H. Unit Heater
- U.V. Unit Ventilator
- U.O.N. Unless Otherwise Noted
- Vest. Vestibule
- Vct. Vinyl Composition Tile
- W.P. Waterproofing
- Welded Wire Fabric
- W/W. Wood
- W/W.F. Wood
- Sanitary Napkin Dispenser
- Sched. Schedule
- Sched. Schedule
- Sec. Scupper
- Sect. Section
- SH. Sheet
- Sim. Similar
- SD. Soap Dispenser
- S.T.C. Sound Transmission Class Spec. Specifications







### First Fl. Demo Plan Existing Boy's & Girls Restroom

Scale: 1/8" = 1'-0"

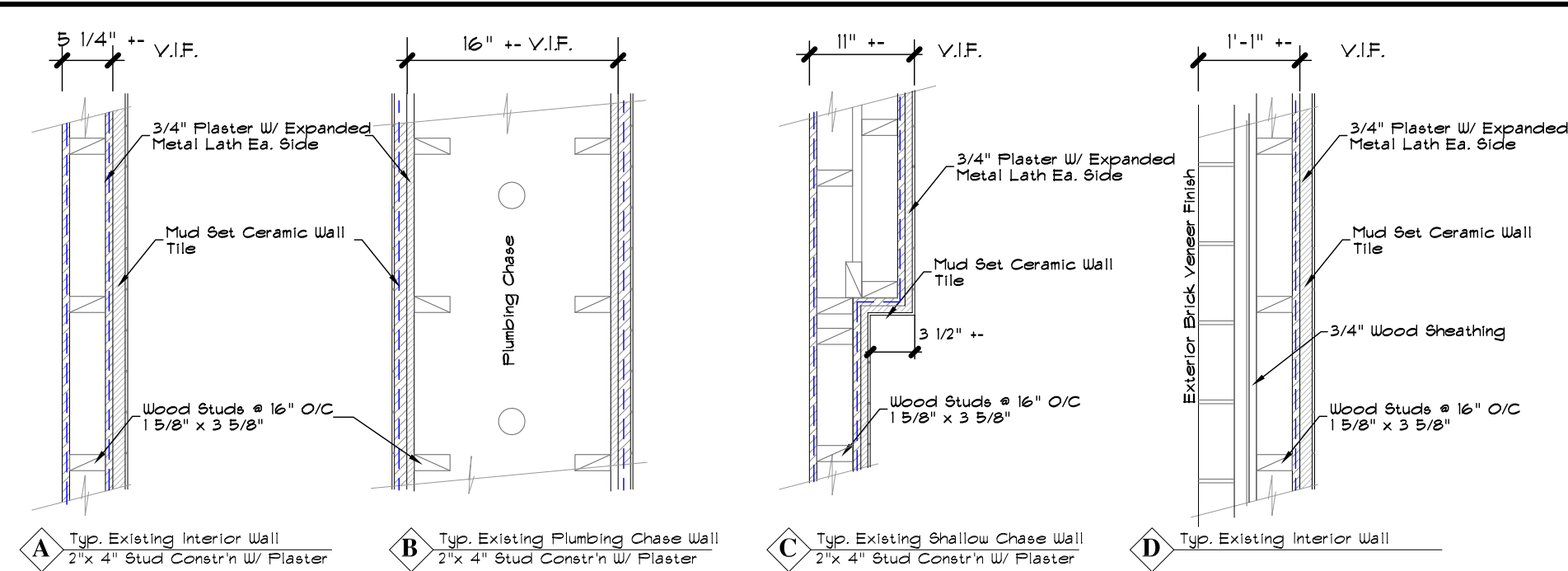
**Hazardous Testing & Report:**

Mystic Air Quality Consultants, Inc. Tested the building and its report is attached to the Project Manual.

The General Contractor of Record is responsible to Hire an Hazardous Abatement Contractor to Perform all Hazardous materials abatement, listed in the Mystic Air Quality Testing and report, in full conformance to all Regulations, Removal, Regulations and protection for such removal and Disposal of such materials and product in the abatement procedures.

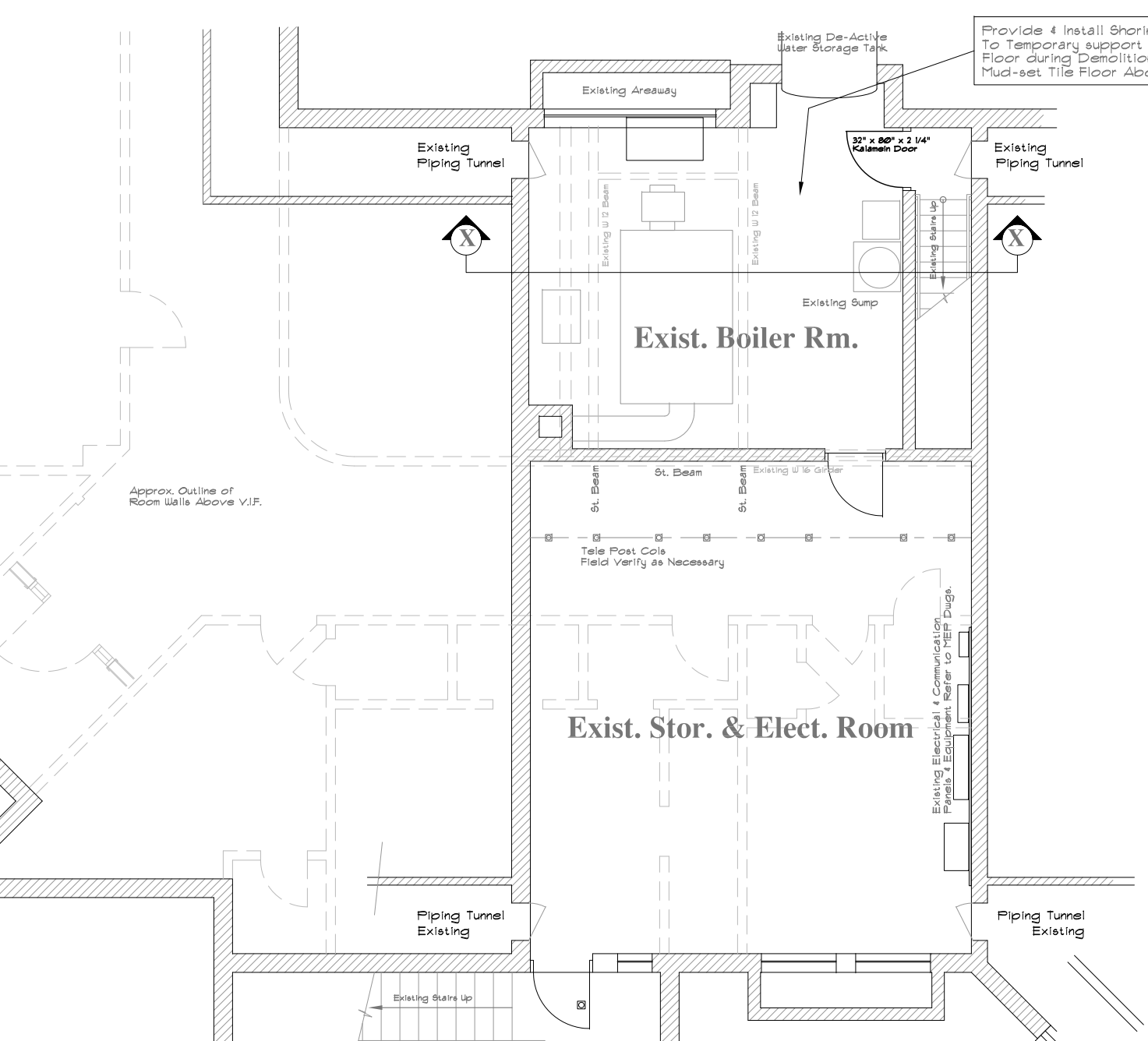
The General Contractor in conjunction with the Abatement contractor shall File on require forms, data and reports as required by the State of Connecticut. After removal all necessary testing, cleaning and release of the construction site. Provide copies of all forms, testing reports and clearance data throughout the project, and provide a finished package of such documentation to the Building Owner prior to allowing any scheduled demolition / construction to Building Owner.

This Contractor and its Abatement Contractor shall be responsible to review and understand, and follow requirements of the State of Ct. and Federal Regulations on the findings, removal and disposal.



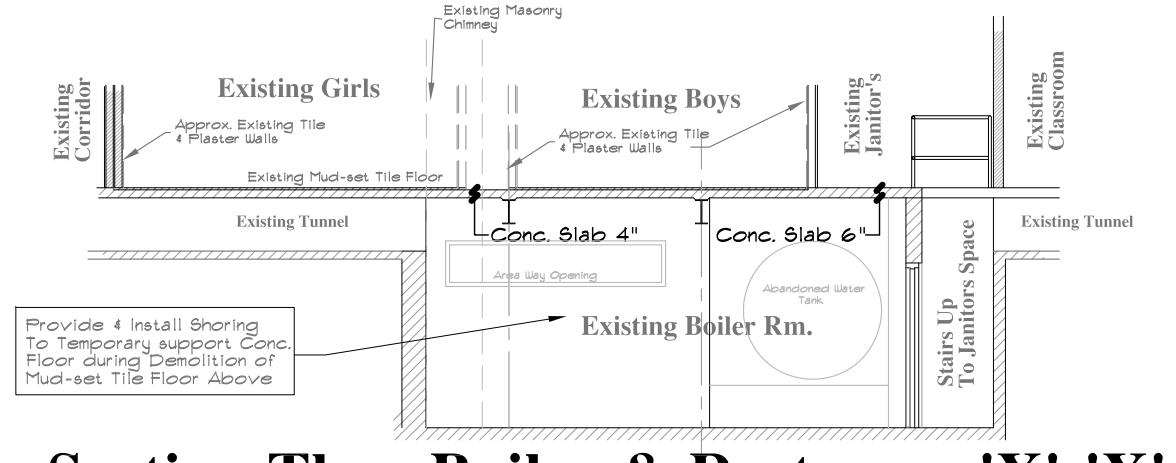
### Approx. Existing Wall Types (to be Verified in Field)

No Scale:



### Basement Demo Plan Existing Boy's & Girls Restroom

Scale: 1/8" = 1'-0"



### Section Thru Boiler & Restroom 'X'-'X'

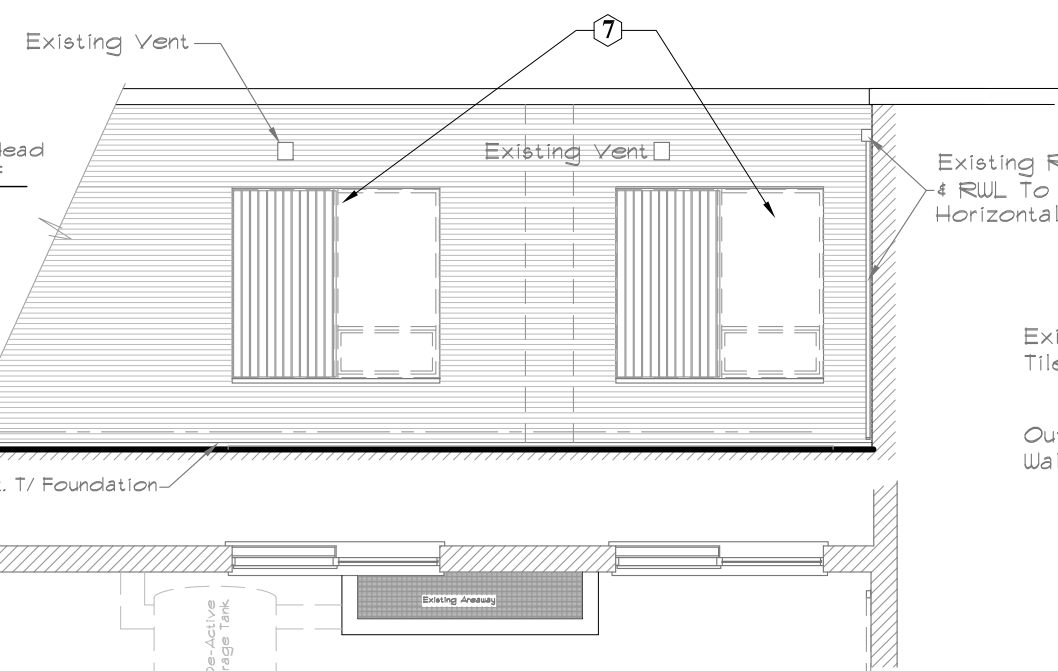
Scale: 1/8" = 1'-0"

### Demolition Work General Notes:

- All Demolition Work is based on information obtained from field review, measurements, & general observations, this Contractor and its Subcontractors shall Be Responsible to carefully review all conditions, and report to the Architect of Record on conditions that may conflict or impede the intended Demolition and or New Work in writing at least 24 hrs prior to a negative impact to the General or its Sub-contractors, vendors. Failure to notify Design Professionals or commencement of such work and its issues, shall constitute acceptance of conditions, intent and ability to install as noted, and not become an Extra to the Contract in Time or added Funds.
- Necessary review and coordination shall occur between the General Contractor, and All Sub contractors scheduled installation, routing, support and required new work and materials.
- This building and its construction has been Field Reviewed / Tested for ACM materials and this Contractor shall be aware and have read the reports, its content for Hazardous Materials, including all responsibility for necessary Materials, Labor, removal, packaging, and Disposal of collected materials in full accordance with all Rules, Regulations, Requirements for such materials following State of Connecticut & Federal regulations for Documentation and Disposal.

### Demolition Work Notes:

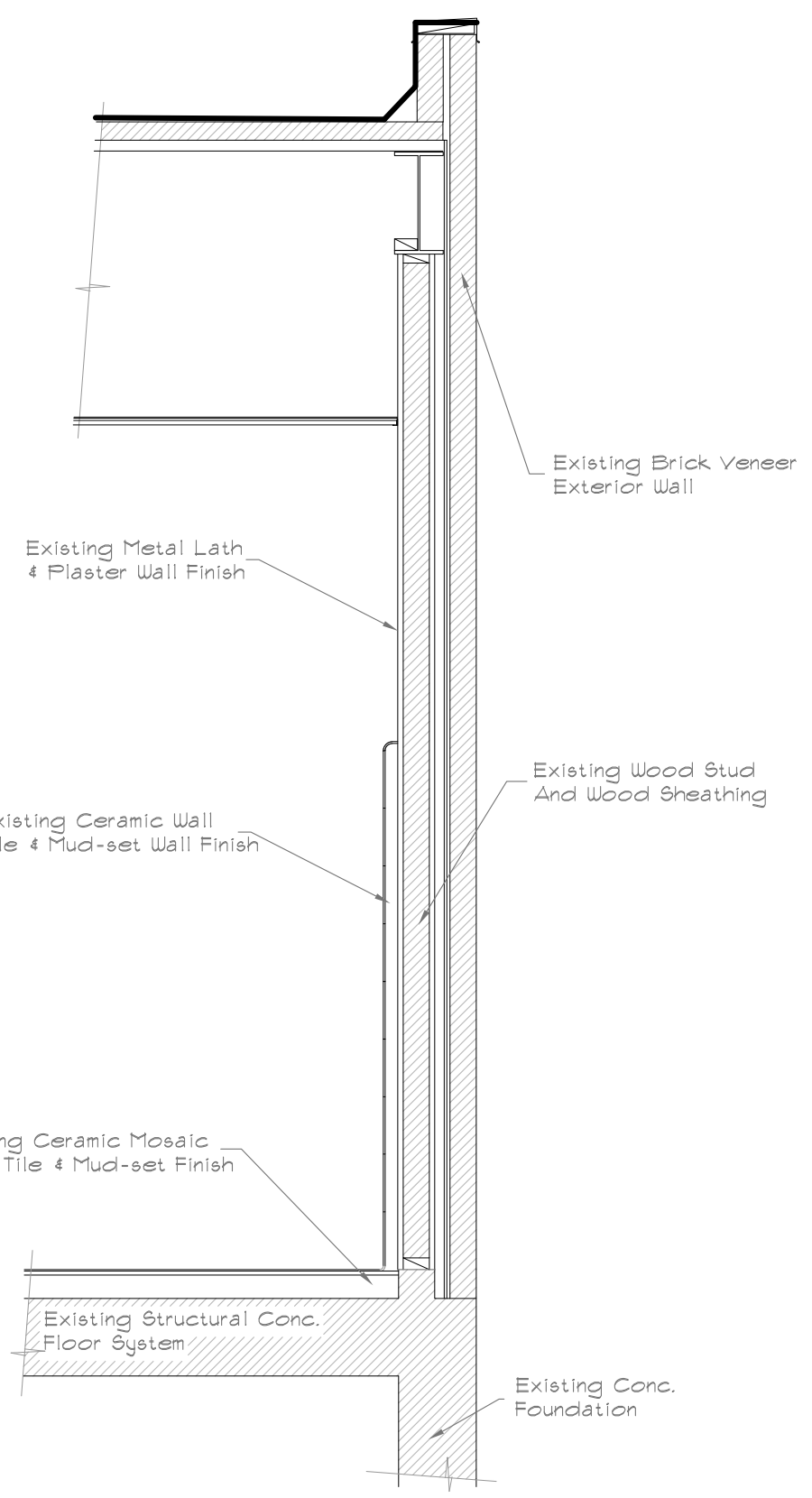
- Contractor: Disconnect and remove existing light fixtures, fans and devices by licensed Electrical Contractor & prepare conductors and wiring for new Work. Carefully remove existing acoustical ceiling tiles and grids and anchors. Review and prepare above ceiling construction for scheduled HVAC, electrical Plumbing changes and new routing. Review and coordinate with New Architectural's, details and requirements.
- Contractor: Disconnect and remove existing Toilet partitions, in their entirety, plumbing fixtures, completely review WAP demo drawings for extent of removal work. Review and coordinate with New Architectural's, details and requirements.
- Contractor: Remove all existing Ceramic wall Tiles and trim back to existing Wood Stud / Masonry substrate. Drainage and Field information indicated wall are full cut wood studs, with wire lath and plaster. Existing studs and / or CMU to be prepared for scheduled new wall materials. Review and coordinate with New Architectural's, details and requirements.
- Contractor: Remove existing Mud-set ceramic floor Tiles down to existing concrete substrate. Existing concrete surface to be properly prepared for scheduled New Floor Finish and Slopes. Remove existing Mud-set ceramic floor Tiles down to existing concrete substrate. This Contractor shall remove existing mud set tile assembly using tool to reduce damage to Structural Conc. Floor Slab below. Existing Conc. Structural Slab shall be 'Scarified' in preparation for scheduled preparation and application of New Light Weight Conc. Fill, sloping to scheduled new floor drains. Review and coordinate with New Architectural's, details and requirements.
- Contractor: Disconnect and remove existing wood door and wood frame back to Stud / Masonry Rough Opening. Review and prepare remaining materials for receipt of remaining construction and connection to existing floor finish at corridor. Review and coordinate with New Architectural's, details and requirements.
- Contractor: Remove Existing Plumbing wall in its entirety (floor to underside of Roof). This wall has ACM materials and requires Pre-Abatement before Scheduled Demo. Review and coordinate with New Architectural's, details and requirements.
- Contractor: Carefully remove existing alum. window assembly & Metal cover up. Prepare masonry opening to receive new masonry work and New Window Assembly. Review and coordinate with New Architectural's, details and requirements.



### Approx. Interior Girls Rm. Elevation

Scale: 1/8" = 1'-0"

Contractor: This Elevation Developed to Highlight Anticipated Wall Construction Scheduled to be Removed and Modified. Field Review & Verify Conditions. Existing Boy's Room Similar.



### Approx. Exterior Wall Assembly

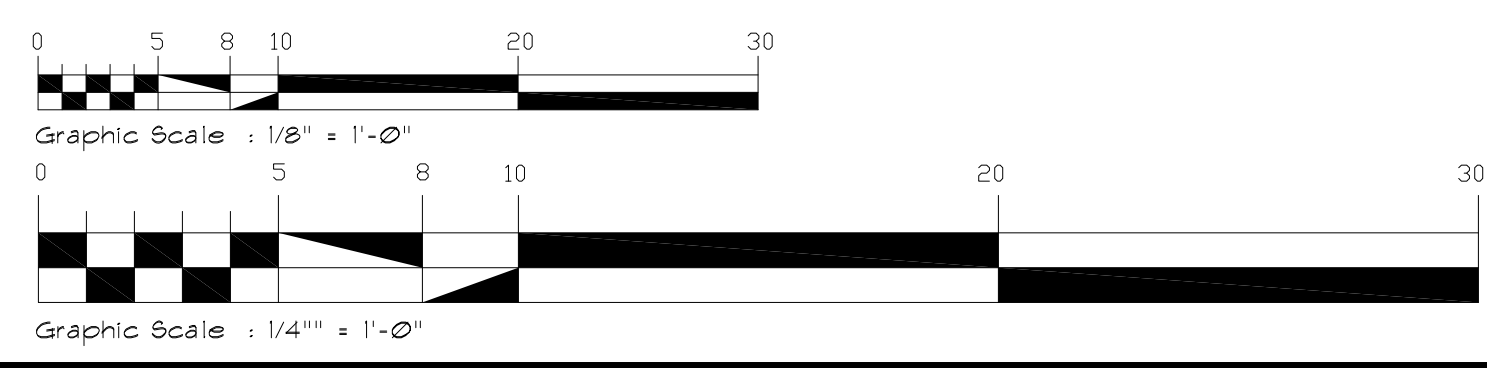
Scale: 1/2" = 1'-0"

**Contractor Note:**

Base Bid: Removal of All Existing Ceramic Floor Tiles (Mosaic) Dn. to Conc. Structural Slab, and Prepare New Lightweight Concrete Fill as New Substrate for Scheduled New Floor System. Develop & Submit a Formula, on Light Conc. with a Min. 3,000 PSI Fc Strength For Review and Acceptance.

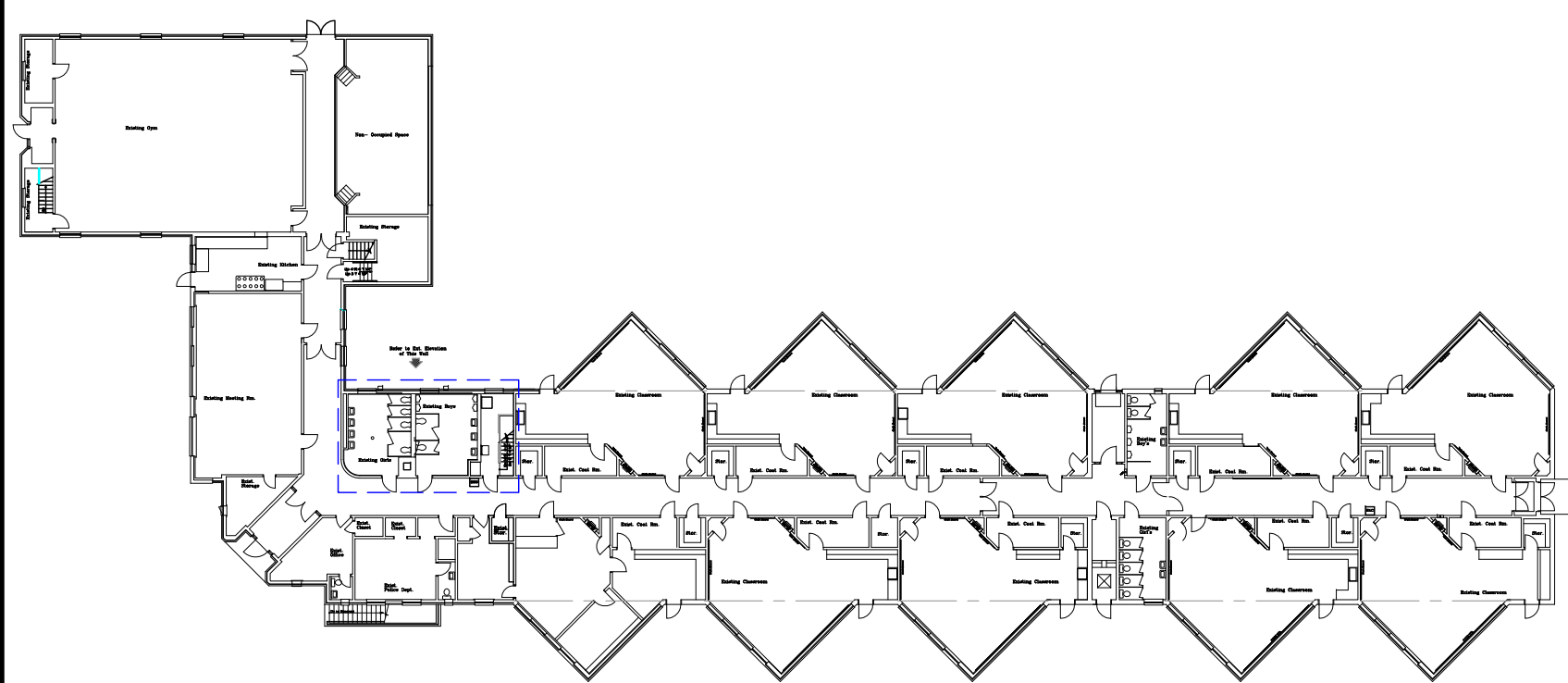
### Approx. Existing Restroom Floor Assembly

Scale: 1 1/2" = 1'-0"



### Demolition Work Plan & Elevation at Court Yard

Scale: 1/16" = 1'-0"



### Key Plan Main Level Floor

No Scale

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**Boy's & Girls Restroom Modifications**  
**Fair Oaks School**  
**Community Center**  
836 Old Colchester Road Oakdale, CT.

Plans Existing Conditions Demolition Work

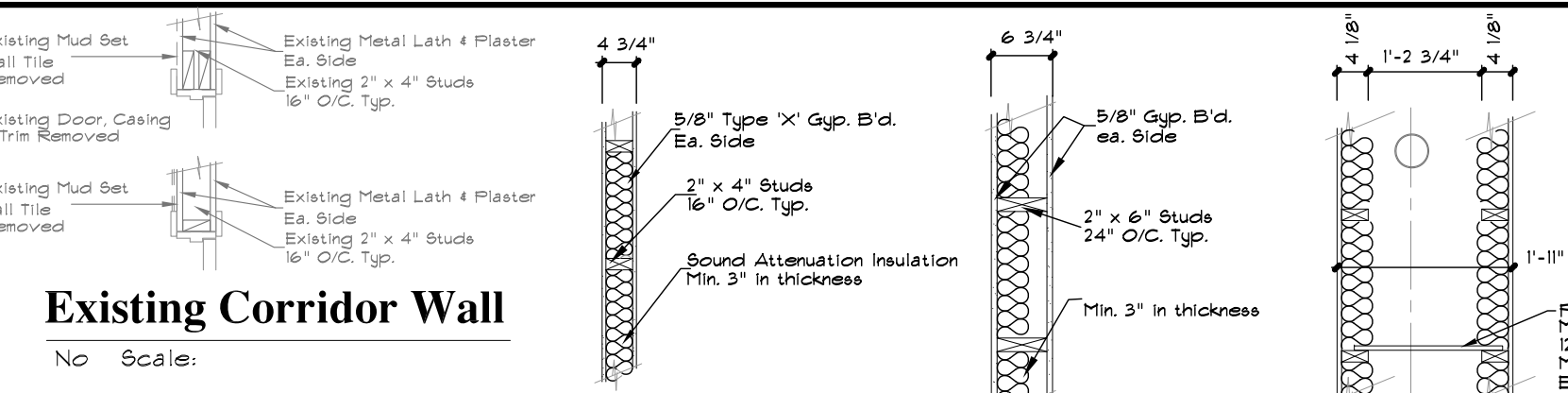
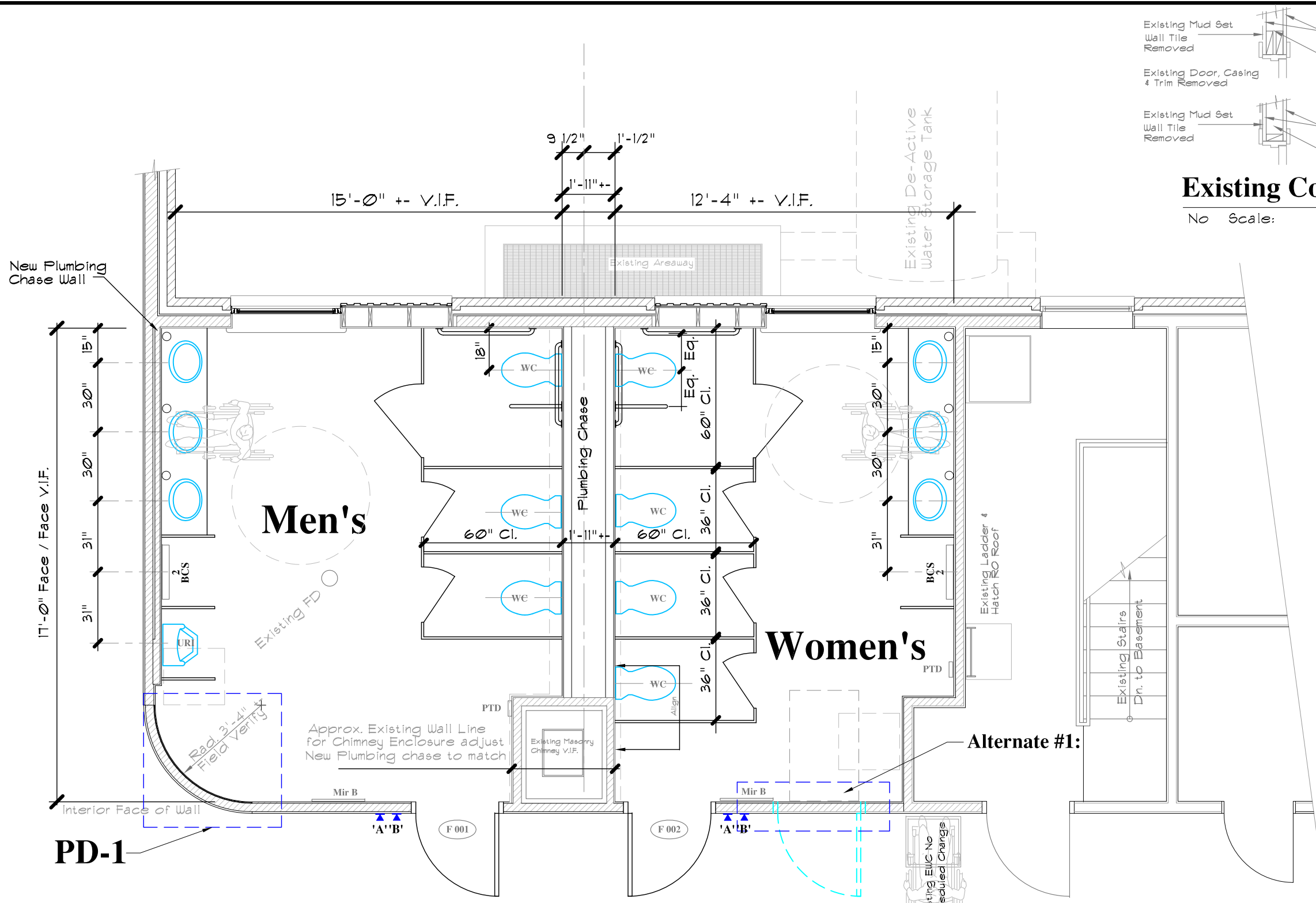
New Work Plans & Elevations

PROJECT NO: 2022-10-22

SCALE: AS NOTED	<b>EC/D1</b>
DRAWN BY: FRED M.	
CHECKED BY:	
DATE: Jan. 19, 2023	

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**New Wall Type Construction**  
 No Scale:

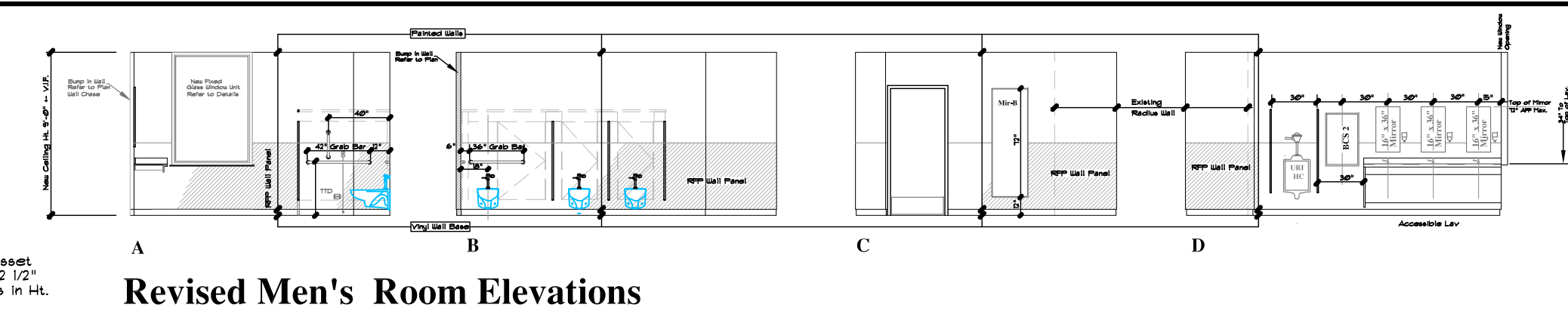
- 1a) Top Interior Wall: 2x4 Stud Construction Non-Rated
- 1b) Top Interior Wall: 2x4 Stud Construction UL 1 Hr. Construction UL 305 or U 314
- 2a) Top Chase Wall: 2x6 Stud Construction Non-Rated Bathroom Separations Plumbing Chases
- 2b) Top Chase Wall: 2x6 Stud Construction Non-Rated Bathroom Separations Plumbing Chases
- 3) Plumbing Chase Wall: 2x4 Stud Construction Non-Rated

**New Work General Notes:**

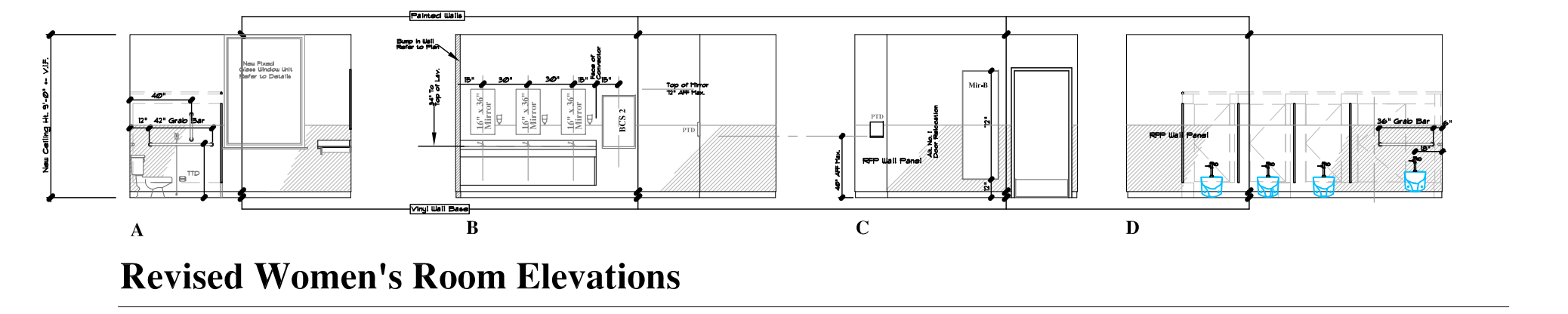
- All Exterior wall stud spaces to be cleaned and filled with New R-15 Fiberglass Insulation w/ a full faced vapor barrier, installed per the insulation manufacturer's recommendations.
- The Original Building was constructed with 2x4 stud wall assemblies. Based on existing exterior walls the O/A thickness changes in the 2 existing restrooms and This Contractor of Record shall be responsible for verifying actual conditions and adjusting the final thickness of cavity for proper insulation thickness, and adjusted to meet conditions. Review and coordinate with New Architectural's, details and requirements.
- All New gypsum board installed shall be 5/8" Type 'X' rated 1/2" Moisture-Resistant Gypsum Panels installed per manufacturer's requirements for full warranty, and intended sustainability. All gypsum board surfaces shall meet Level Five (5) Quality Finish.
- NOTE: Gyp. B'd. panels to be carried.
- To underside of non-combustible construction (steel / metal structure, floor deck, top of existing wood plating, the joint between Gyp. B'd. and termination with floor to receive a continuous break of Fire Rated egress.

**Due to 'Existing Conditions'**

- This building and its construction has been Field Reviewed / Tested for ACM materials and this Contractor shall be aware and have read the reports, its content for Hazardous Materials, including all responsibility for necessary materials, labor, removal, packaging, and disposal of of collected materials in full accordance with all Rules, Regulations, Requirements for such materials following State of Connecticut & Federal regulations for Documentation and Disposal.
- Contractor Review and Coordinate indicated wall mounted casework, counters, devices, equipment Partitions, accessories contained within this project and provide blocking at necessary points to Anchor and Secure all new wall mounted items with in this project.

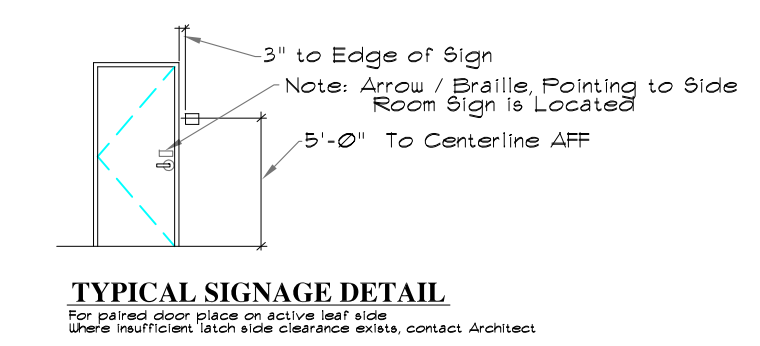


**Revised Men's Room Elevations**  
 Scale: 1/8" = 1'-0"



**Revised Women's Room Elevations**  
 Scale: 1/8" = 1'-0"

Symbol	Type	Manufacturer Model Number
M 'A'	6" x 9" ADA Blue	Equal to Becon 49099
M 'A1'	1'0" x 1'0"	Equal to Becon 54496 Color Selected by Owner
M 'A2'	1'0" x 1'0"	Equal to Becon 54495 Color Selected by Owner
M 'B'	2" x 8" Tactile 4 Braille Refer to Floor Plan & Owner for correct Name / No.	Equal to Becon 5226 Series Color Selected by Owner
M 'C'	Fire Extinguisher Sign 12" x 24" w/ Top Stated Sign Luminesce	Equal to Becon 84496
M 'D'	8" x 8"	Equal to Becon 11422
M 'E'	8" x 8"	Equal to Becon 11482
M 'F'	8" x 8"	Equal to Becon 44982



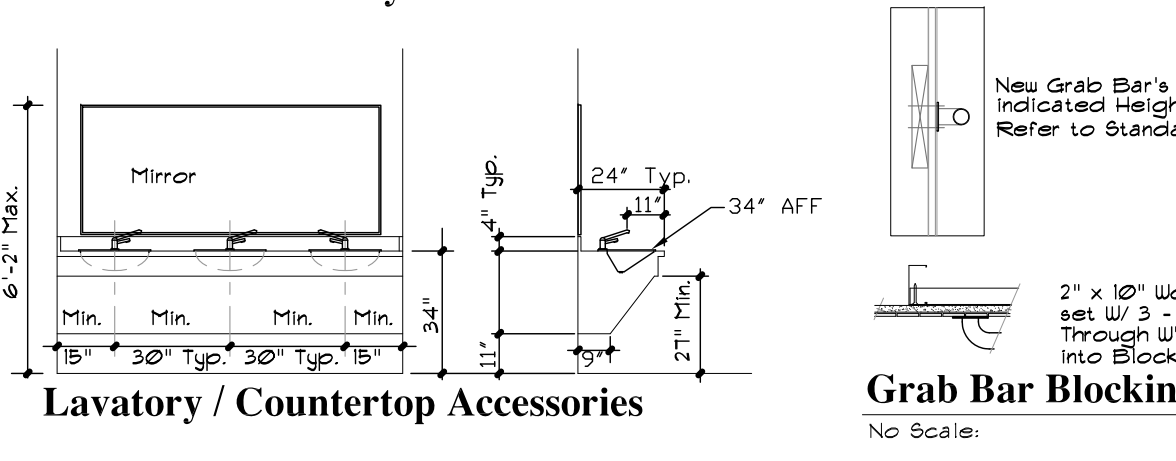
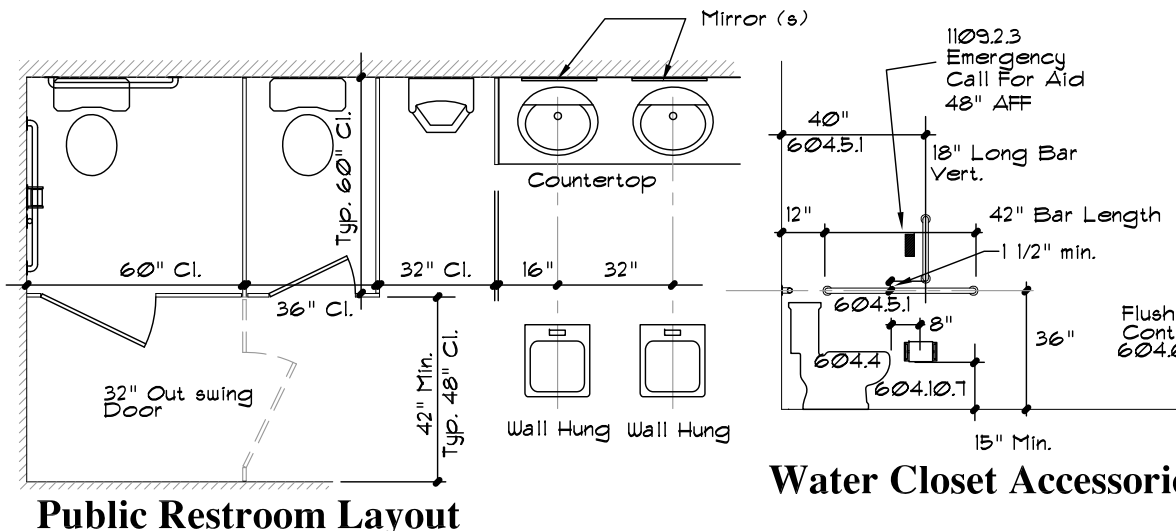
**Typical Building Signage**

**Scheduled Wall Surface (New / Existing)**  
 Provide and install with Adhesive as Recommended by Sign Manufacturer.  
 Provide Fasteners Appropriate to Wall Surface Material: Screws & Shields at Gypsum Board / Plaster and for Masonry to make Vandal Resistant.

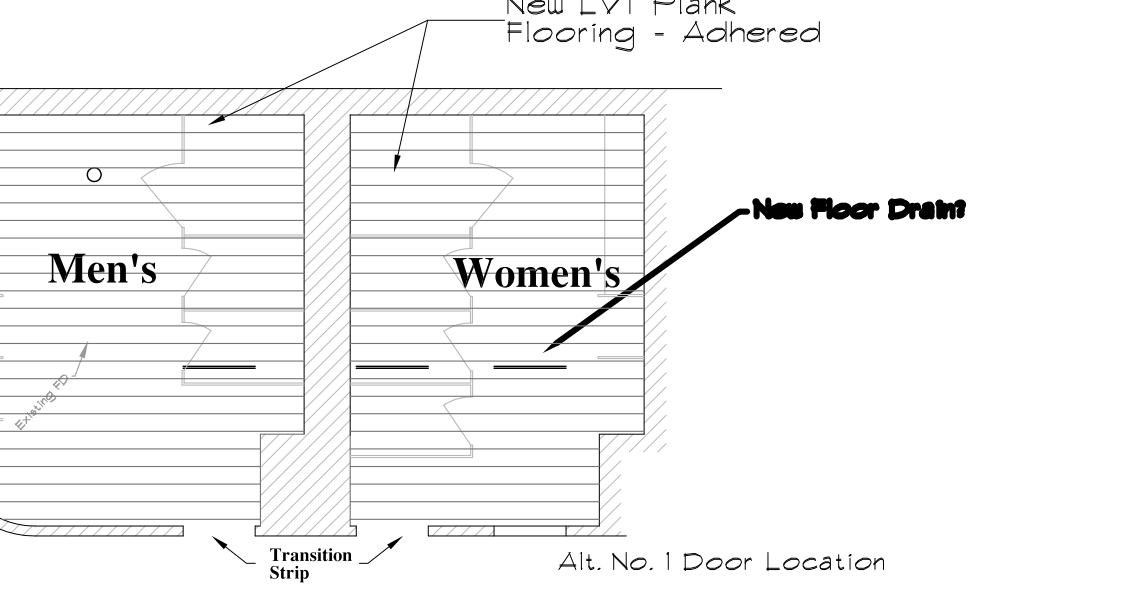
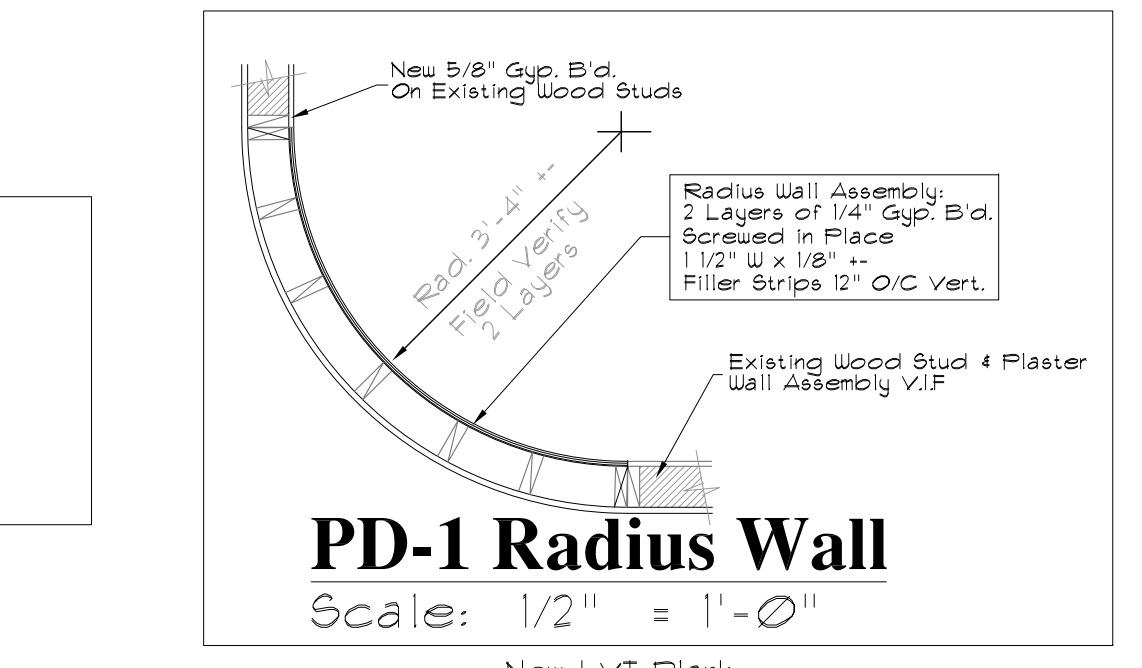
# Revised Restroom Floor Plan

Scale: 1/4" = 1'-0"

**Contractor Note:**  
 The Owner is providing and installing the following Restroom Accessories: Toilet Paper Dispensers, Soap Dispensers, Paper Towel Holders. This Contractor shall Coordinate and provide and install necessary blocking for support of these devices and equipment.



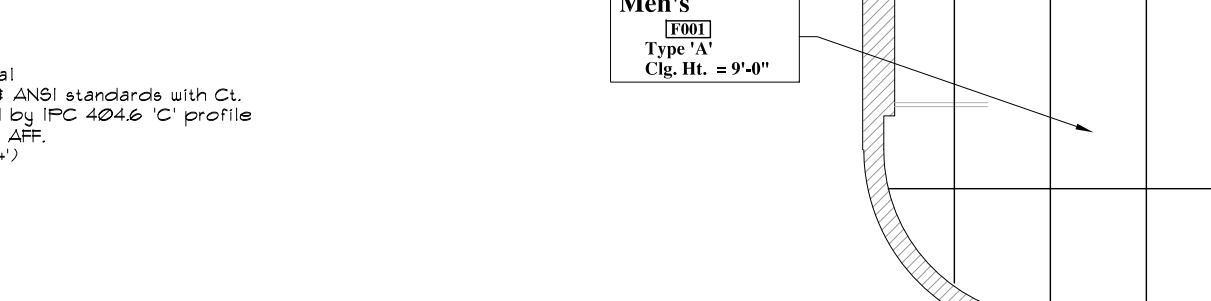
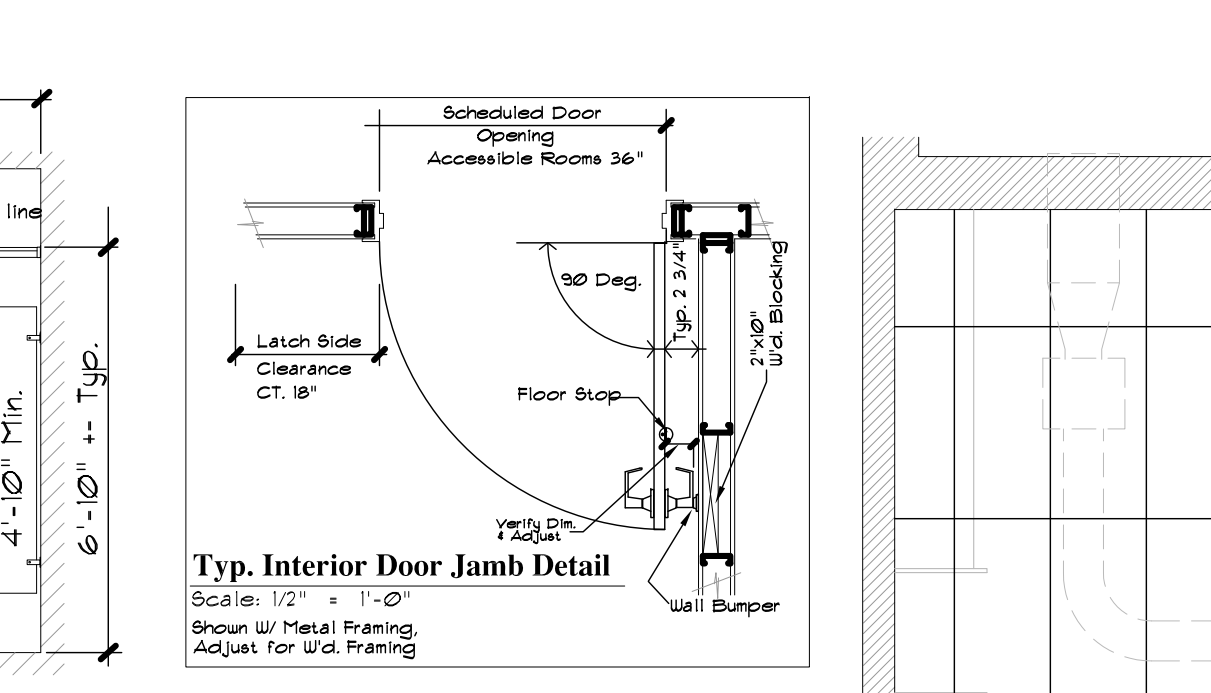
**Blocking Requirements and Support Information**  
 Review and coordinate all wall mounted equipment: Provided under this contract or by Owner and provide and install blocking for support of and anchoring to:  
 10 lbs. 4 inches: 3/4" APA Plywood set flush to studs.  
 10 lbs. 4 greater: Min. 2" x 10" set flush to studs.  
 Wall Cabinets: Min. 2" x 4" at cabinet top & bottom set flush to studs. (Upper, Base and Shelving)  
 Wall Stops (Doors): Provide 2" x 10" Wood Blocking at proper height and location for door sets.



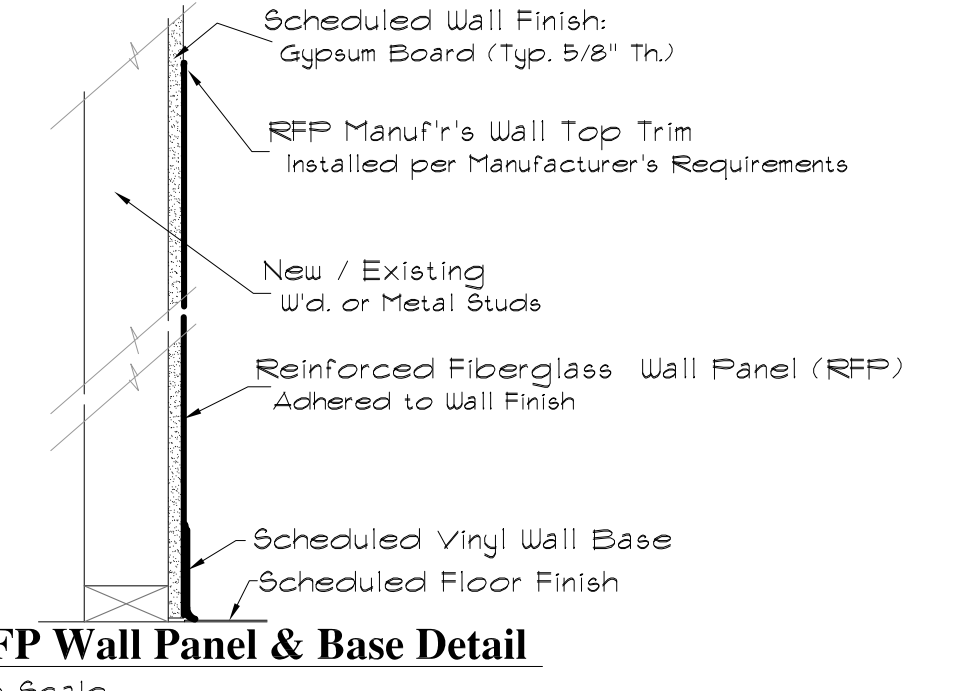
**PD-1 Restroom Floor Finish Plan**  
 Scale: 1/8" = 1'-0"

**Typ. Restroom Accessories & Clearances**  
 No Scale:  
 In Accordance with ICC / ANSI 117.1 2017 & CT. Supplement 2022

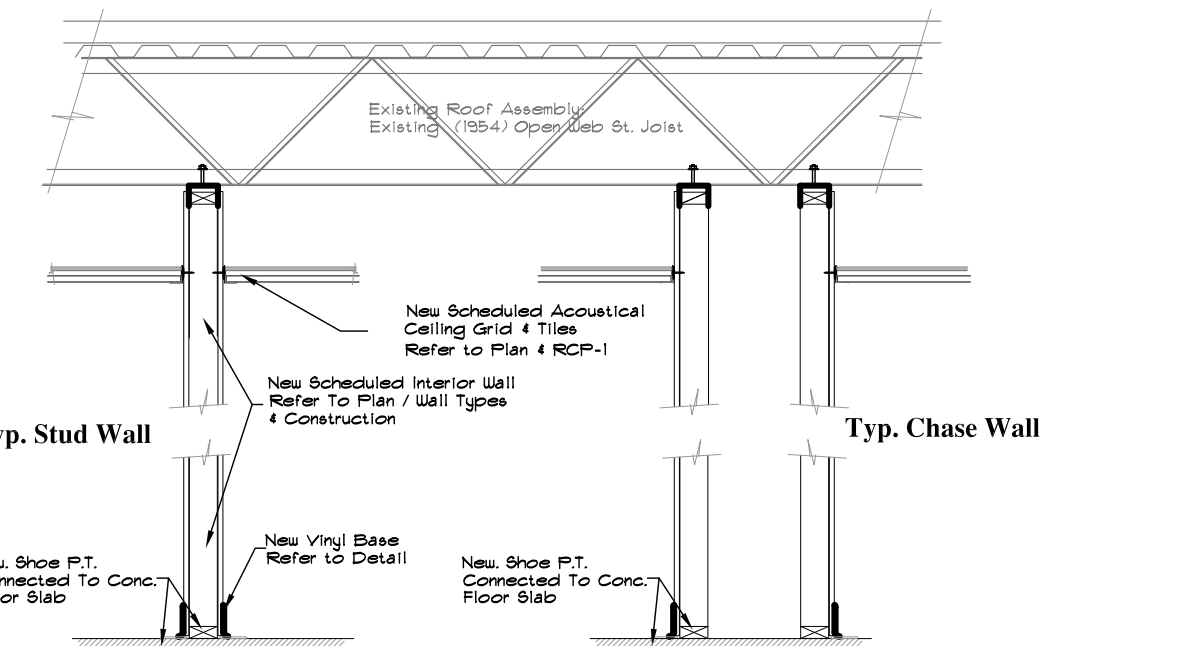
Symbol	Description
TOILET ACCESSORIES SPECIFICATION:	
GB	GRAB BARS: Straight 1 1/2" diameter x 36" & 42" long Equal to Biorick B-6826 series Special Floor / Wall Mounted
MIR	MIRRORS: Wall mirror above lavatory B-165 Series 'A' Equal to Biorick B-165-1624 (16" x 32")
MIR	Wall mirror Full Ht. B-165 Series
MIR	Equal to Biorick B-280 (12" x 12")
MIR	Wall mirror Full Ht. B-165 Series
MIR	Equal to Biorick B-280 (12" x 12")
SP	SOAP DISPENSER: Equal to Biorick B-155 Classic Series Max. 40" AFF
TTD	TOILET TISSUE DISPENSER: 11" AFF 4 9" Forward of WC. Surface MTD Multi Roll Toilet Tissue Disp.
PTD & WRP	PAPER TOWEL DISPENSER & WASTE RECEPTACLE: Paper Towel Dispenser Biorick B-262 Surface mtd. 400 C-fold set at 40" AFF to outlet
BCS	BABY CHANGING STATION: Horizontal Equal to Koala Model KB200 35 1/4" L x 22 1/4" H
BCS	Vertical Equal to Koala Model KB201 35 1/2" L x 22" H



**Lavatory Protection**  
 TrueBro Lav-Guard ADA conforming, wheelchair accessible Lavatories. P-Trap and angle valve assemblies shall be covered with the molded, slip resistant, non-slip coating. Lavatory surface shall be covered with slip-resistant, non-slip coating. Covers shall be secured with slip-resistant fasteners. Single stop shall have Lock-Lid locking access cover.



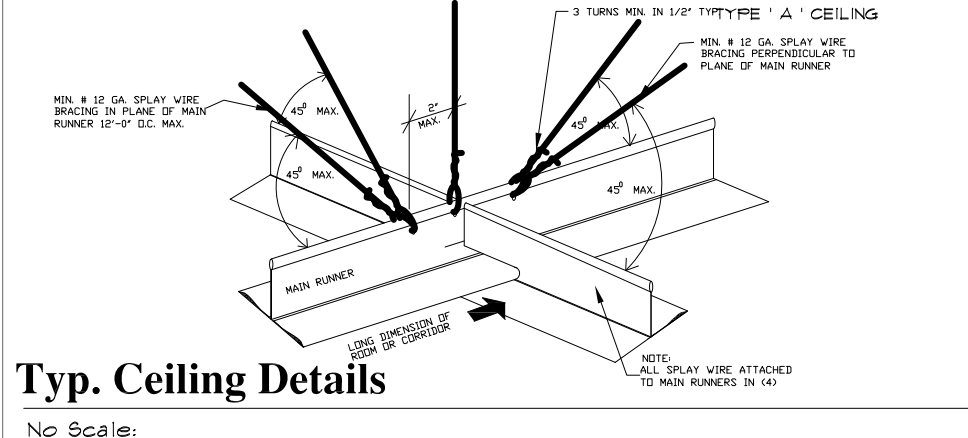
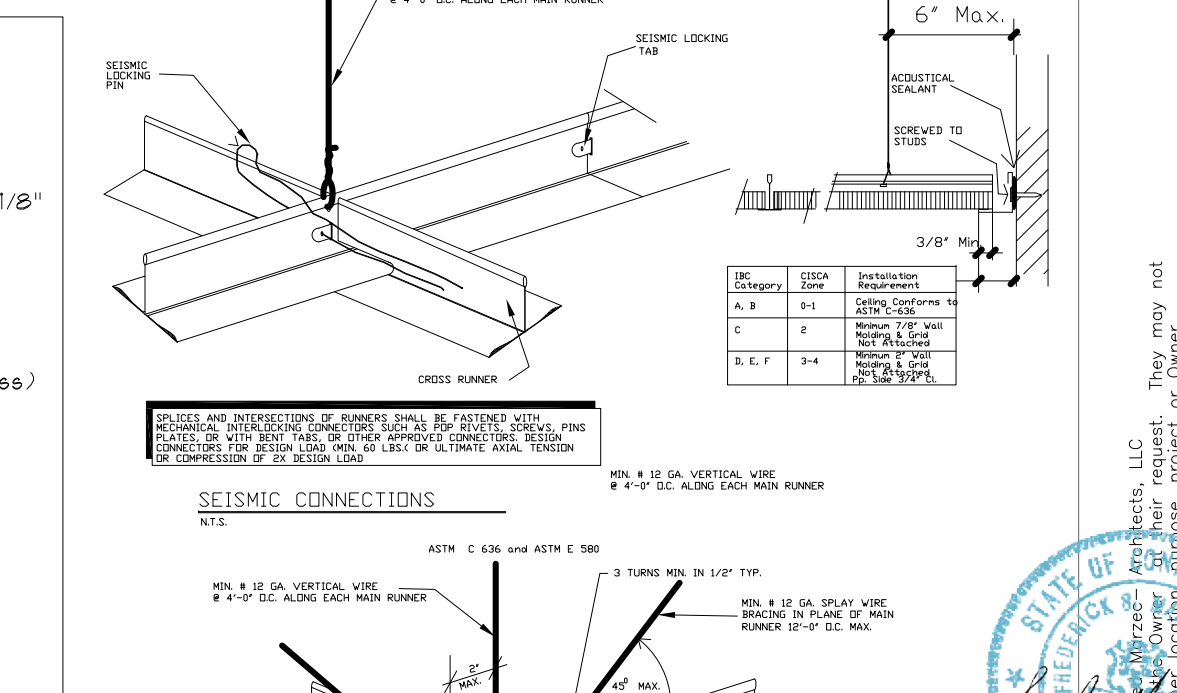
**RFP Wall Panel & Base Detail**  
 No Scale:  
 Reinforced Fiberglass Panel (RFP): Based on 'Marille' Arizona RFP w/ Semi-Coat, 0.092" nominal thickness, install in full accordance w/ manufacturer's requirements for Warranty.



**Wall Termination Details for New Wall (Floor / U/S Existing Roof)**  
 No Scale

**Ceiling Materials Legend:**

Indication	Description
[Symbol]	Type 'A' Equal to: Armstrong - 'Fine Fissured' 1155 24" x 48" x 7/8" at 108 lbs/sq. ft. NRC-0.10, CAC-35, LR 025, Articulation Class 170, R-15 Class 'A' Finish standard esp. 9/16" w/ Preclude 5/16" Exposed Grid Attachment 5 times Design Load, edge molding, standard profile, structural Classification Heavy-Duty (flame index: 75 or less, 4 smoke development 50 or less) by local for Seismic Zone Requirements
[Symbol]	Exiting Ceiling Assembly No Scheduled Work
[Symbol]	New 5/8" Gypsum Board Ceiling attached to indicated supports
[Symbol]	Recessed Ceiling Light
[Symbol]	Surfaced Mounted Ceiling Light



**Typ. Ceiling Details**  
 No Scale:

# Reflected Ceiling Plan

Scale: 1/4" = 1'-0"

**Fred Marzec - Architects, LLC**  
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 Tel: (860) 376-2999  
 Email address: fred@fredmarzec.com

**Boy's & Girls Restroom Modifications**  
**Fair Oaks School Community Center**  
 836 Old Colchester Road Oakdale, CT.

**Plans New Work Plans Details RCP-1 Floor Finish Plan**

PROJECT NO: 2022-10-22

SCALE: AS NOTED

DRAWN BY: FRED M.

CHECKED BY: **A1**

DATE: Jan. 19, 2023



# DOOR SCHEDULE

DOOR SYMBOL	DOOR DATA				FRAME DATA				HARDWARE			
	NEW	EXISTING	WIDTH	HEIGHT	FINISH	TYPE	DETAILS	REMARKS	CODE	ADA	REMARKS	REMARKS
Revised Women's Rm.	(HW)	◆	3'-0" x 1'-3/4"	1'-0"	Wd	MB-1	HM 16	◆	HW-1	(HW)	◆	
Revised Men's Rm.	(HW)	◆	3'-0" x 1'-3/4"	1'-0"	Wd	MB-1	HM 16	◆	HW-1	(HW)	◆	

**Wood Interior Doors:**  
Plain Sliced Birch Stained to Match Existing Solid Core. Equal to 1/2" solid wood + 1/2" Solid Wood 1 3/4" Prepared for scheduled Hardware.

**Hollow Metal Doors:**  
Exterior Doors: Republic DE Series S01 (20) 19 Ga. Face sheets, Top channel 16 ga. 4 Bottom inverted, hinges 4 closure reinforcement 10 ga. hardware reinforcement.  
Interior Doors: Republic DE Series S01 (20) 19 Ga. Face sheets, Top channel 16 ga. 4 Bottom inverted, hinges 4 closure reinforcement 10 ga. hardware reinforcement.  
Lock Edge non-beveled and continuous. Core: Insulated 2" Polyurethane U-10 R-10  
All Metal Doors: Factory Primed 2 Field Coats Applied.

**Keying:** Architectural Hardware Consultant (AHC) to make contact with Owner and Develop keying system in full accordance with owner requirements.

**Abbreviations:** IM - Insulated Metal UWP - Wood Stained 4 Varnished HM - Hollow Metal Painted

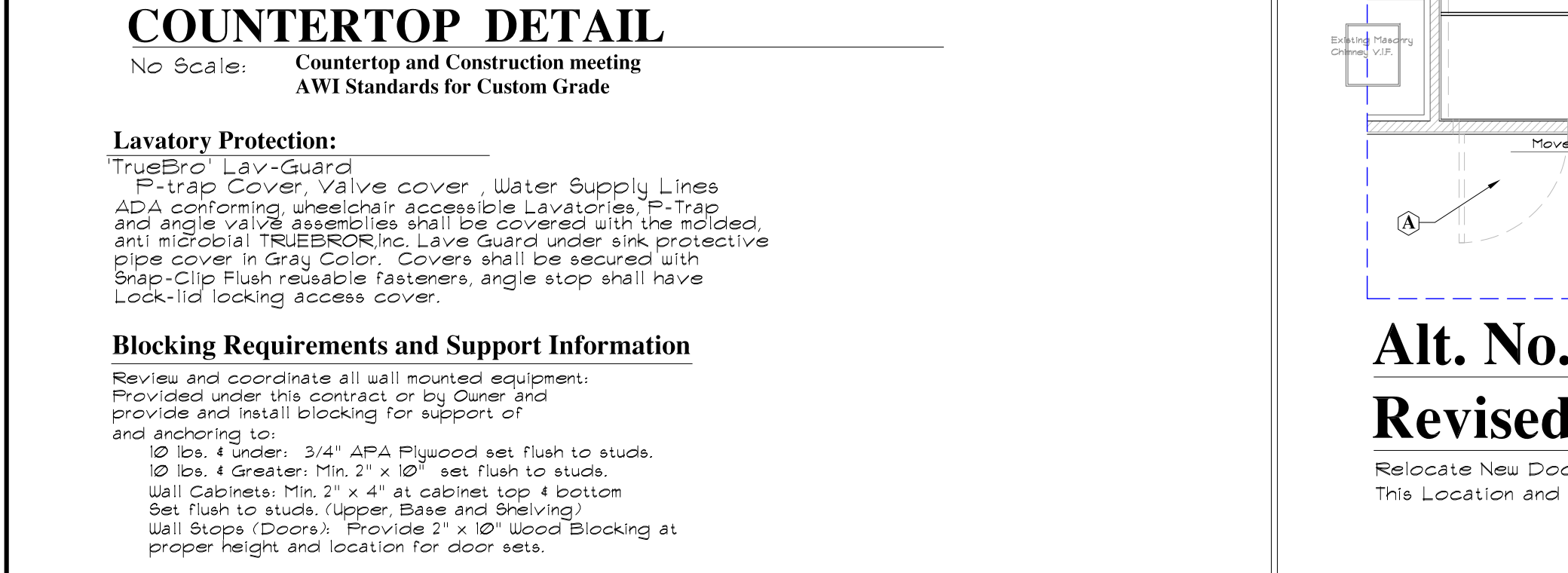
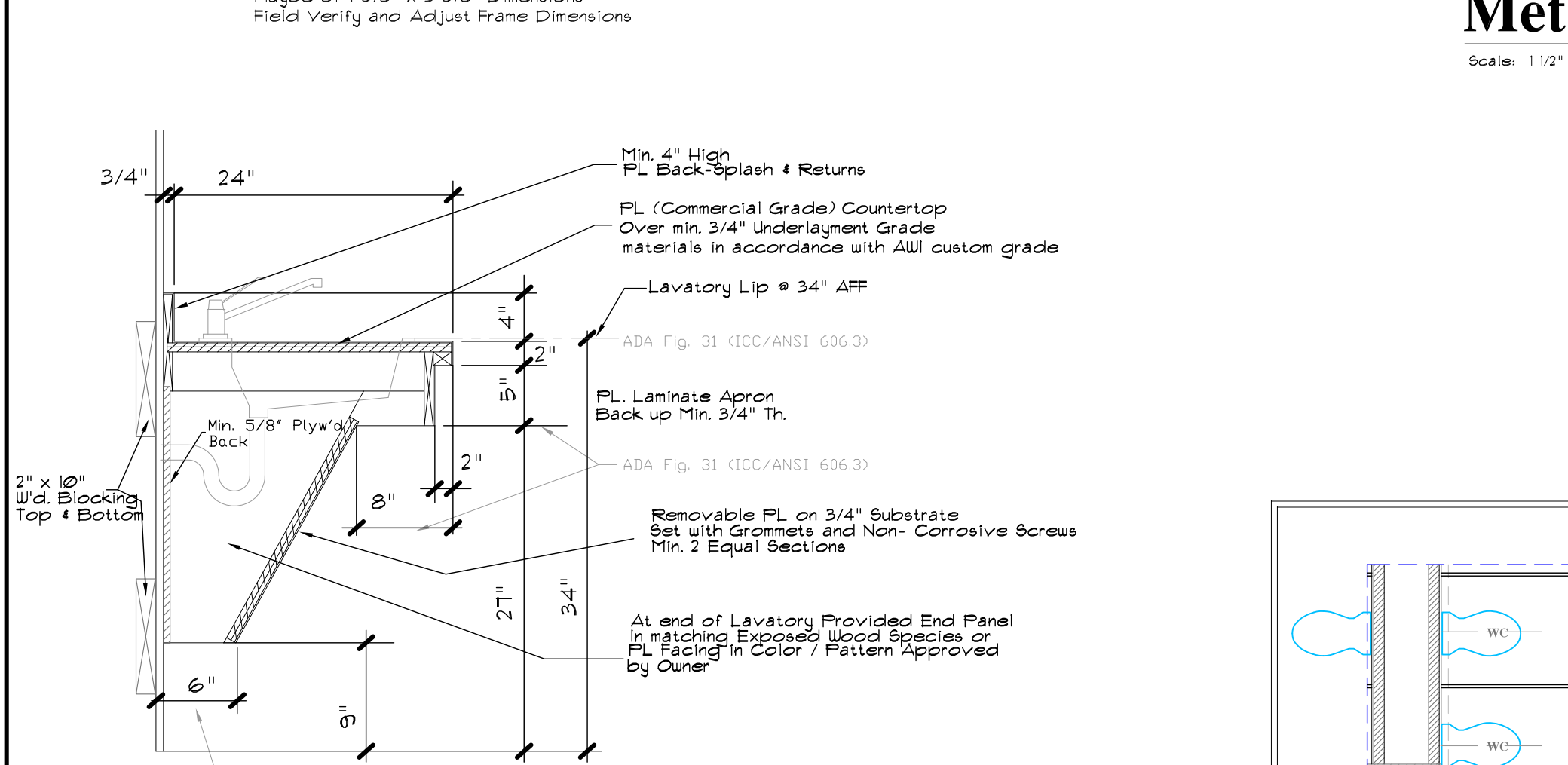
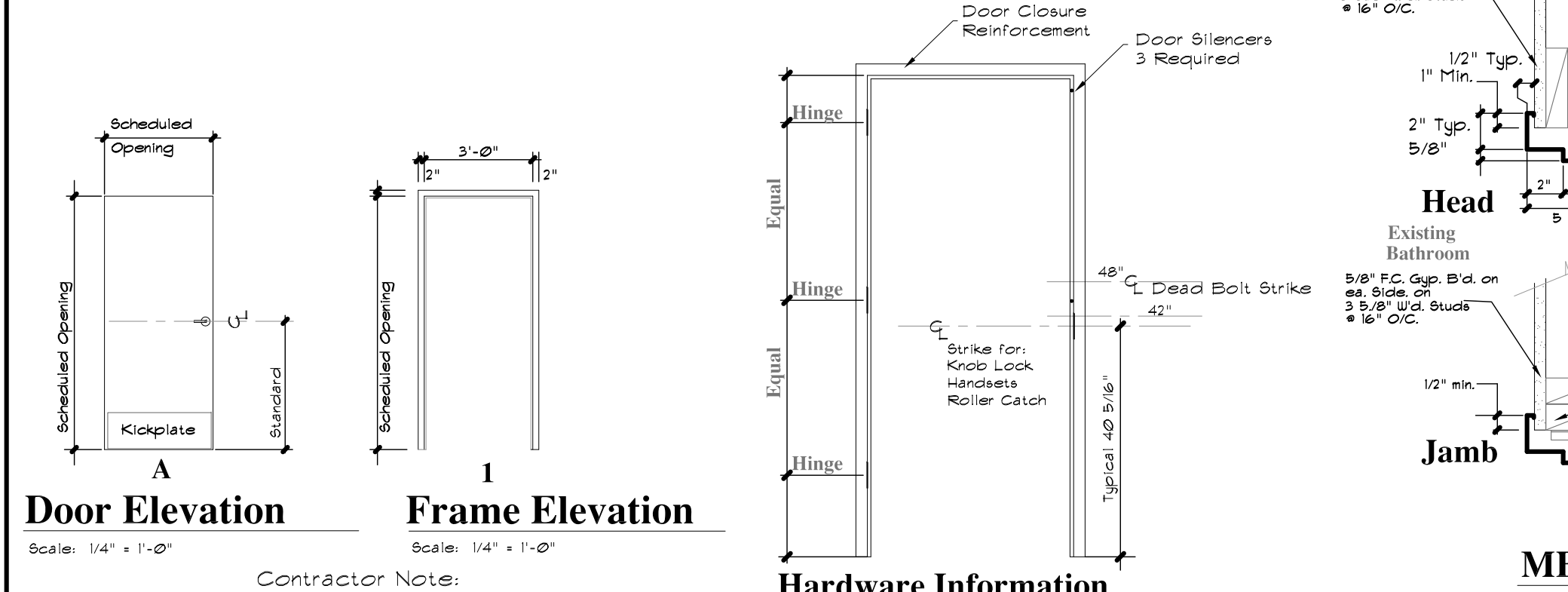
**GLAZING:**  
A Clear Float Glass 1/4"  
B Insulated Glass 1/2" x 1/4"  
C Tempered Safety Glass 1/4" Double Strength  
D Insulated Glass 1" overall thickness - Tempered Safety Glass  
E Insulated Glass 1" overall thickness - Heat Treated

## HARDWARE SCHEDULED:

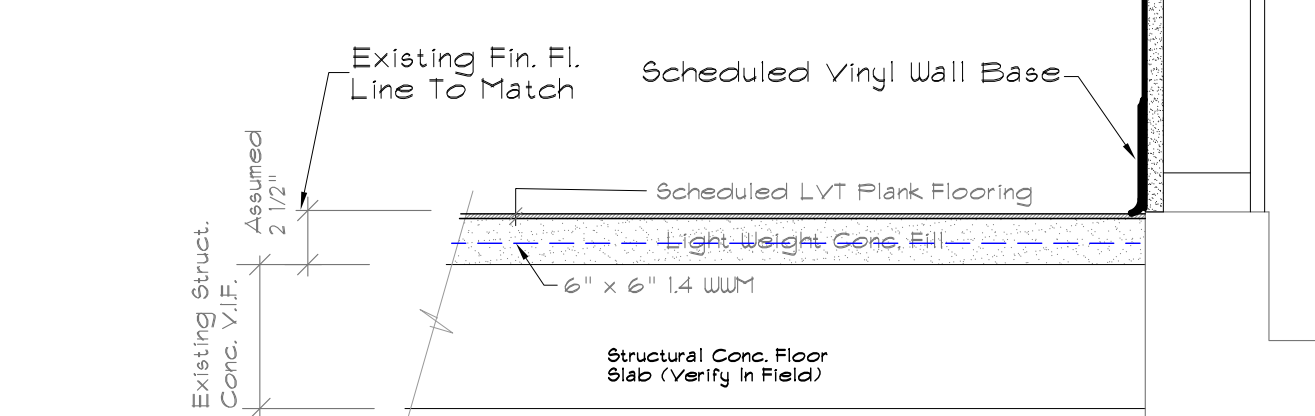
**HW-1: (Typical Passage)**

Hinges: Stanley: FBB-199 x 4 1/2" x 4 1/2" x ANSI A8111 (UB32D)  
Lockset: Corbin / Russwin: CL 3310 Passage, F15 x 626 x Lever Newport NZD x Standard Strike.  
Closer: Corbin / Russwin: DC 6210 Series Non-handed x A2 x 689 x H-15 x Through Bolts  
Bumper: Rockwood (floor type) # 442  
Kick Plate: Rockwood \* K2060 x 060" Th. Kydex x 1" less than door width x 12" high 1/2" above door bottom.

**General Hardware Notes:**  
• Exterior swinging doors to have Non-Rising Pins (NRP)  
• All Thresholds / Saddles set in full width bed of sealant  
• All Doors and Frames provided with Clearance per NFPA 80 code for rated and Standard Clearances for Non-Rated  
• Contractor Note: Seal all cut-outs for hardware w/ Prime Coat Accent Color  
Seal Top 4 Bottom of Door w/ 2 coats of finish paint.  
• Typical Clearances:  
- Head and Jamb: 1/8"  
- Paired Doors: 1/8" Max. per leaf  
- Sill Line: 3/4" max. above floor substrate and 1/4" above threshold.  
- Kick plates: 1/2" setback at door edges  
- All Wood Door have Kick plates Each Side

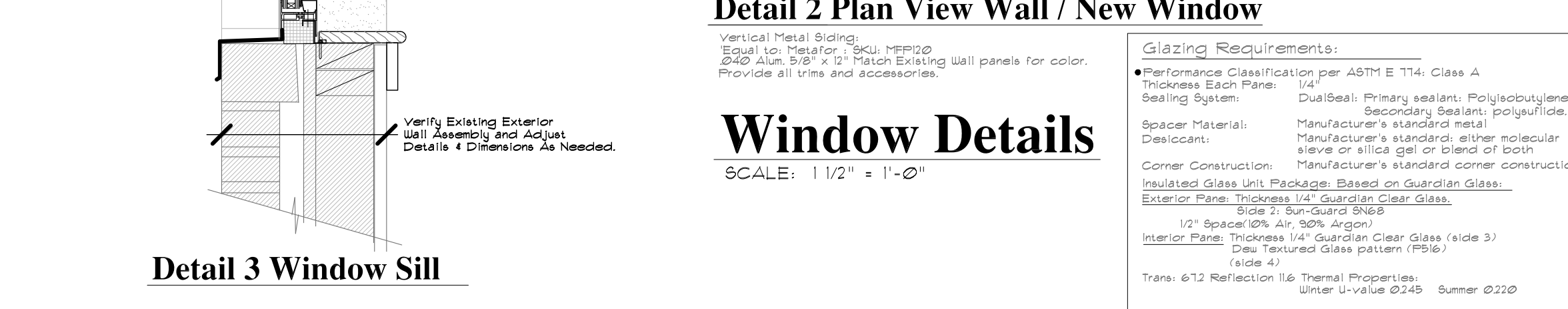
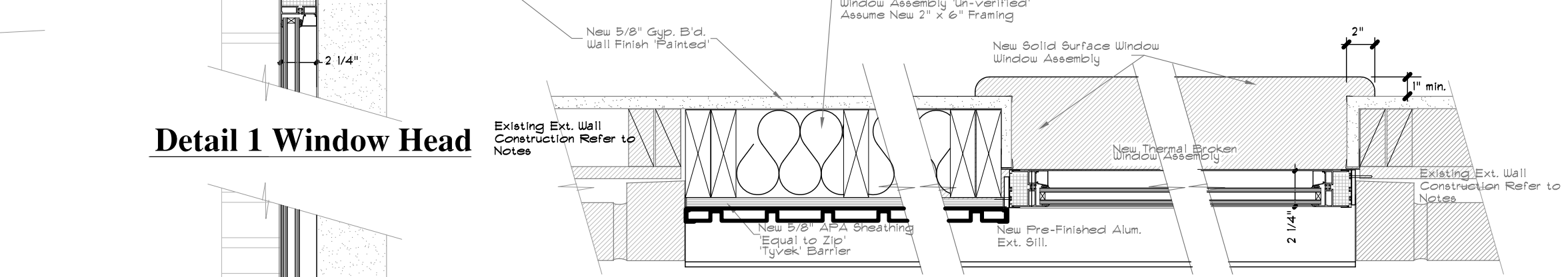
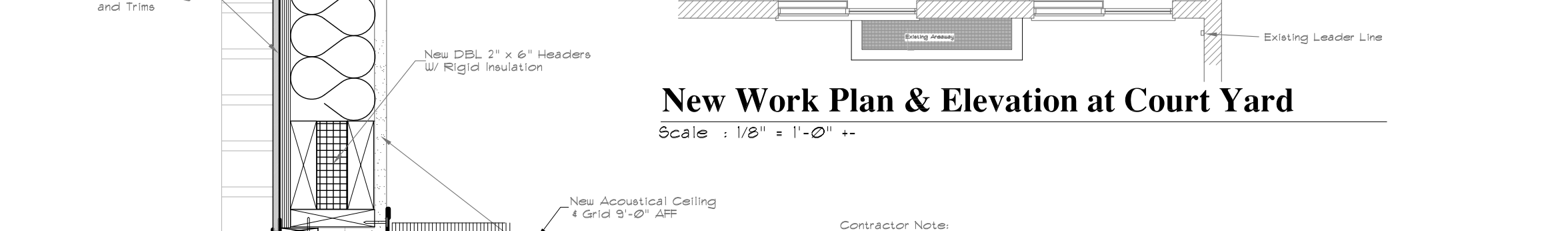
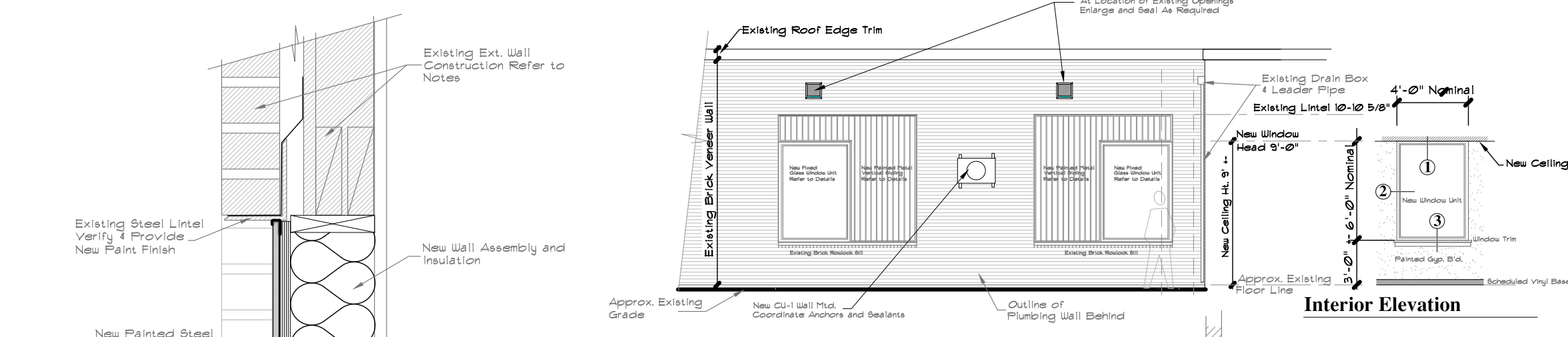
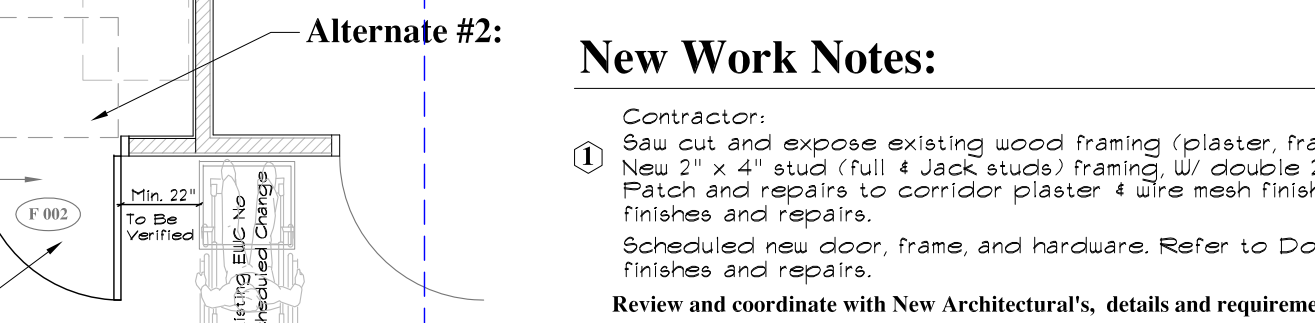
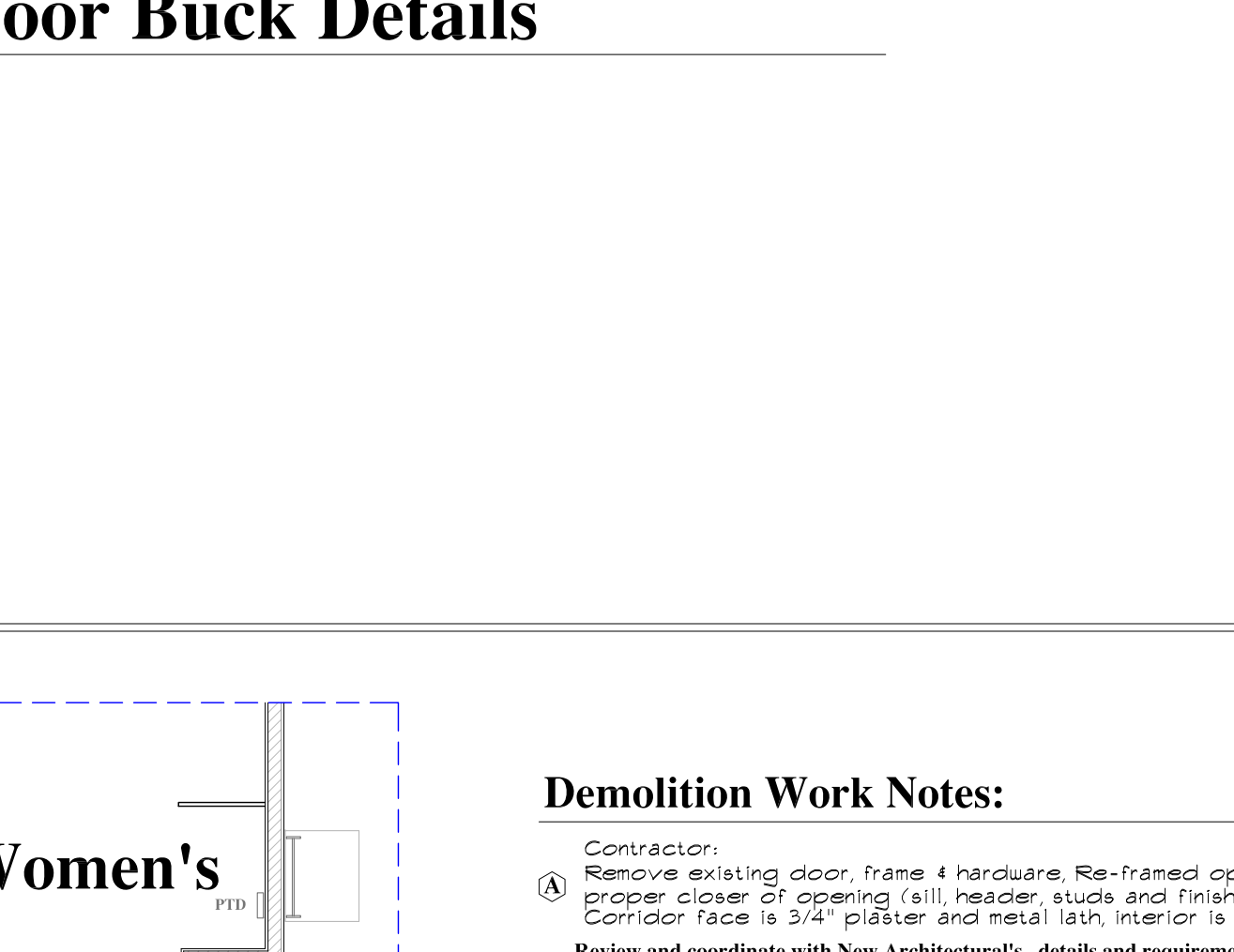
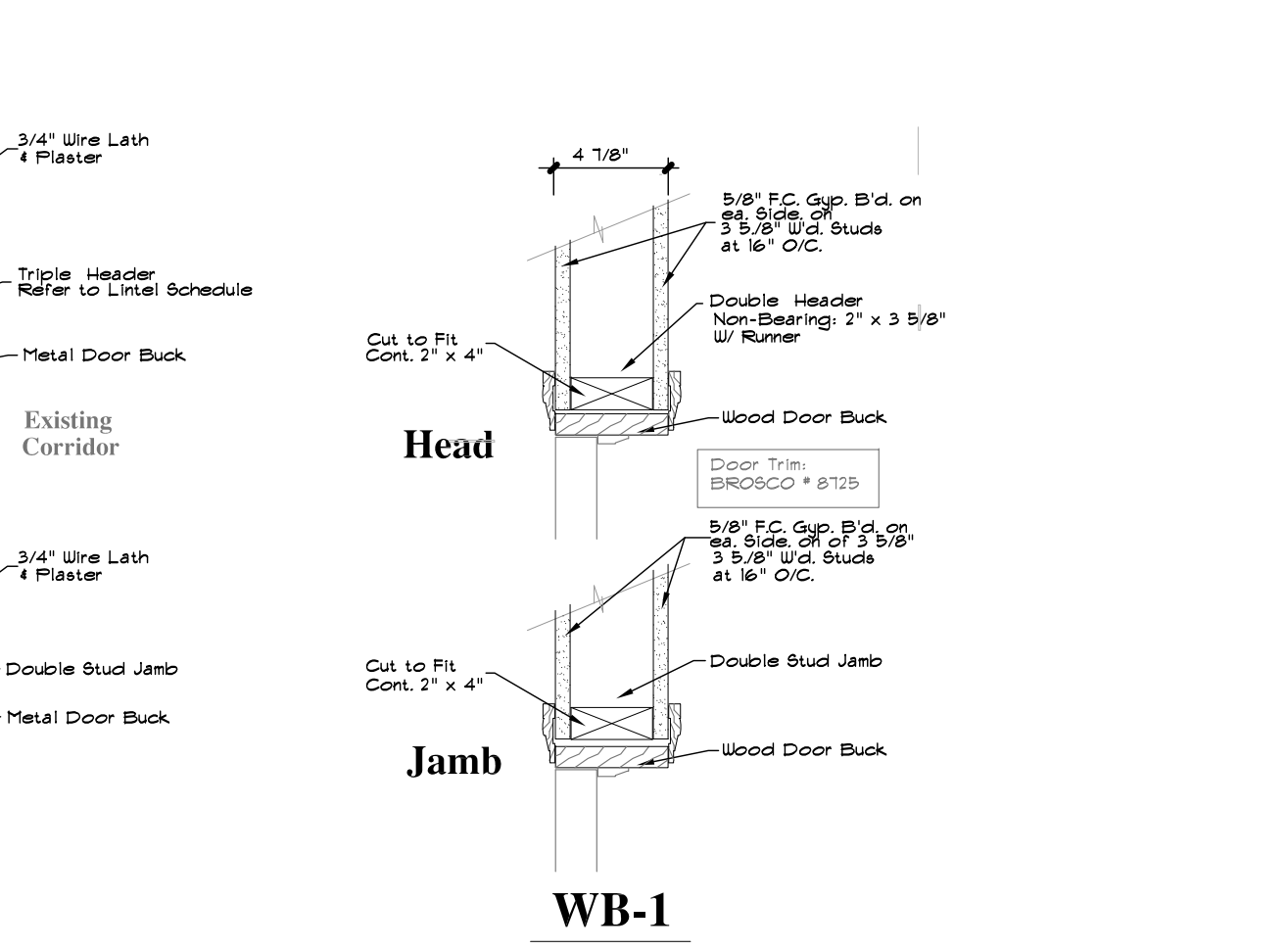


**Contractor Note:**  
Base Bid: New Light Weight Conc. Fill to U/S. Scheduled Floor. Including Fc = 3,000 psi.  
Indicated Slopes to:  
New 4 Existing Floor Drains Finished as an Acceptable Substrate.



## Base Bid: Approx. Existing Restroom Floor Assembly

**Alternate Restroom Floor:**  
In lieu of complete removal of existing ceramic mosaic floor tile, cement grout, mud set bed:  
Grind, clean and patch ceramic tile system, and include repairs to floor areas where floor mounted. Urinals existed, and infill with concrete to match surface. Review and coordinate with Mechanical / Plumbing Dugs for new floor drains.



**Window Package Outline Specifications:**  
Aluminum Framing and Windows are Based on Kawneer Products: 8225TLF Fixed Window with thermal Breaks.  
Another manufacturer of commercial aluminum thermally broken window units, meeting the design criteria when all comparable information, operation, function and size / shape provided for Review and meets Full satisfaction of the Architect of Record.

**Basic Profile / Shape:** Type of Aluminum Window Included: Series 8225TL Thermal Windows. Fixed Window. 2 1/4" frame depth with 0.125" wall thickness. AW-8200-FU.

**Meeting fenestration industry standard terminology and definitions referring to American Architectural Manufacturer's Association (AAMA) -AAMA Glossary.**  
Performance Requirements: Aluminum-frame window system shall withstand the effects of the following performance requirements with out failure due to defective manufacture, fabrication, or other related defects in construction.

**Window System Performance Requirements:**  
Provide aluminum window of performance indicated that comply with AAMA/WDMA/CSA 1011.92/A440 (NAF5).  
**Performance Class and Grade:** All-FG100-FU  
air infiltration test specimen shall be tested with ASTM E 283 at a minimum window size of 60" x 99", the air infiltration rate shall not exceed 0.10 CFM/ft. at a static pressure differential of 6.24 psf.  
**Water Resistance:** The test shall be tested in accordance with ASTM E 84 and ASTM E 331 at a minimum window size window size of 60" x 99". There shall be no leakage as defined in the test method at a static air pressure differential of 12 psf.  
**Uniform Load Deflection:** A minimum static air pressure difference of 100 psf shall be applied in the positive and negative direction in accordance with ASTM E330. There shall be no deflection in excess of 1/175 of the span of any framing member.  
**Uniform Load Structural Test:** A minimum air pressure of 150 psf shall be applied in the positive and negative direction in accordance with ASTM E330. The unit shall be evaluated after each test.  
**Condensation Resistance Test (CRT):** When tested with AAMA 1503 with clear glass, the condensation resistance factor (CRF) shall not be less than (CRF50) glass.  
**Forced Entry Resistance:** All windows shall conform to ASTM F588, Grade 10.  
**Sound Performance:** When tested in accordance with ASTM E 90, the STC shall not be less than (34) and OTC but less the (28) based on IG with 1/2" air space.  
**Thermal Barrier Test:** Testing shall be in general accordance with AAMA 505 Dry Shrinkage and Composite Thermal Cycling test procedure, AIA TR-48 Structural Performance of Composite Thermal Barrier Systems.  
**Environmental Product Declarations (EPD)** shall have a Type III product specific EPD created from a Product Category Rule specific to North America.

**Recycled Content:** For each documentation that aluminum has a minimum of 50% mixed pre-and post-consumer recycled content with a sample document illustrating project specific information that will be provided after product shipment.

**Submittals:** Provide a full set of shop-drawings (plans, elevations and details) in scales that are easy to read and understand. Plans @ min. 1/4" / ft. Sections @ min. 1/2" / ft. and Details @ min. 3" / ft.

**Warranty:** Provide manufacturer's warranty for a 2 year period from issuance of Architect's 'AIA G104 Certificate of Substantial Completion'

**Aluminum Extrusions:** Alloy and temper recommended by Glazed aluminum curtain wall and storefront system manufacturer for strength corrosion resistance, and application of required finish and complying with ASTM B 221: 6063-T6, 6105-T6, or 6061-T6 alloy and temper. Wall thickness at any location for the main frame to be not less than 0.070".

**Thermal Barrier:** The thermal barrier shall be Kawneer IsoLock with a nominal 3/8" separation consisting of a two-part, chemically curing high density polyurethane which is mechanically and adhesively bonded to the aluminum.

**Fasteners:** Aluminum, nonmagnetic stainless steel or other materials to be non-corrosive and compatible with aluminum window members, trim hardware, anchors and other components.  
**Anchors, Clips and Accessories:** Aluminum, nonmagnetic stainless steel, or zinc-coated steel or iron complying with ASTM B 633 for SC 3 severe service conditions provide sufficient strength to withstand design pressure indicated.  
**Reinforcing Members:** Aluminum, nonmagnetic stainless steel, or nickel/chrome-plated steel complying with ASTM B 456 for Type SC 3 severe service conditions, or zinc-coated steel or iron complying with ASTM B 633 for SC 3 Severe Conditions provide sufficient to withstand design pressure indicated.  
**Sealant:** For sealants required within fabricated windows, provide window manufacturer's standard, permanently elastic, non-shrinking, and non-migrating type recommended by sealant manufacturer for joint size and movement.

**Fabrication:**  
**Framing Members, General:** Fabricate components that, when assembled, have the following characteristics:  
• Profiles that are sharp, straight, and free of defects or deformations.  
• Accurately fit joints, make joints flush, tight and weatherproof.  
• Means to drain water passing joints, condensation within the framing members, and moisture migrating within the system to exterior.  
• Physical and thermal isolation of glazing from framing members.  
• Accommodations for thermal isolation of glazing from framing members.  
• Accommodations for thermal and mechanical movements of glazing and framing to maintain required glazing edge clearances.  
• Provisions for field replacement of glazing.  
• Fasteners, anchors, and connection devices that are concealed from view to the greatest extent possible.  
**Window Frame Joinery:** Screw-splices, factory sealed frame and corner joints.  
Fabricated aluminum windows in sizes indicated, include a complete system for assembling components and anchoring windows.  
Fabricated aluminum windows that are re-glazable without dismantling framing.  
**Sub-frames:** Provide sub frames for window units as shown, of profile and dimensions indicated but not less than 0.033" thick extruded aluminum miter or cope corners, and join with concealed mechanical joint fasteners. Finish to match window units.  
Provide sub frames capable of withstanding design loads of window units.  
**Factory-Glazed Fabrication:** Glaze aluminum windows in the factory where practical and possible for applications indicated, comply with requirements if indicated glazing and AAMA/WDMA/CSA 1011.92/A440 (NAF5).  
**Finish:** Kawneer Permfluor (10% PVDF), AAMA 2605, Fluoropolymer Coating in Color Selected by Owner.  
**Examination / Installation:**  
Field review all existing conditions prior to installation of scheduled window and components, review carefully manufacturer's requirements for installation to ensure all conditions, measurements, supports, structure and anchors are ready and in full compliance to window manufacturer's requirements full warranty, and finished installation will meet all design requirements.

Date: \_\_\_\_\_  
Revisions: \_\_\_\_\_

**Fred Marzec - Architects, LLC**  
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Email address: fred@fredmarzec.com

**Boy's & Girls Restroom Modifications**  
**Fair Oaks School**  
**Community Center**  
836 Old Colchester Road Oakdale, CT.

**Door Schedule**  
**New Window Details**  
**New Floor Finish**  
**Plan**

PROJECT NO: 2022-10-22

SCALE: AS NOTED

DRAWN BY: FRED M.

CHECKED BY: \_\_\_\_\_

DATE: Jan. 19, 2023

**A2**