

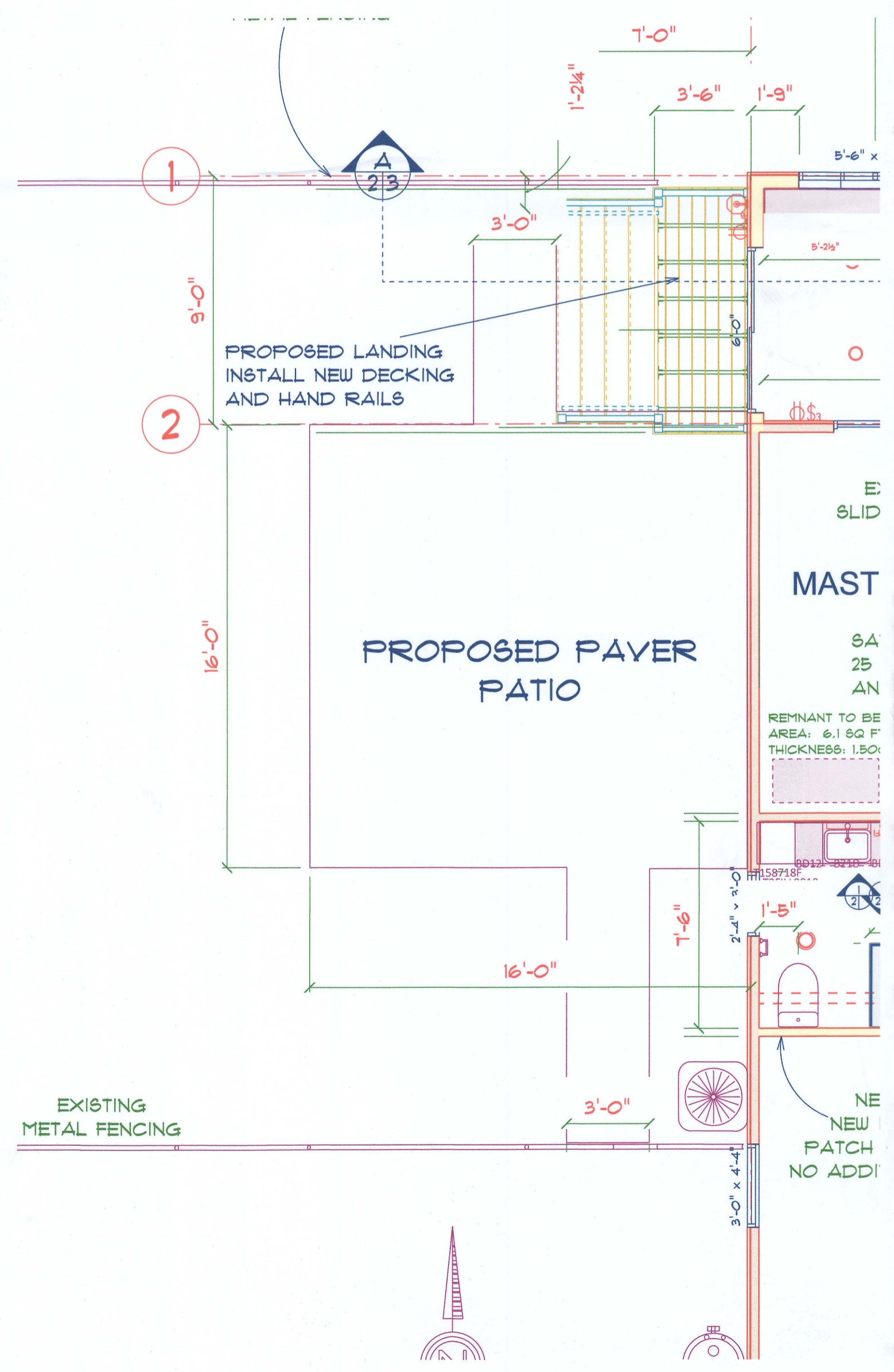
PROPOSED ELEVATION LOOKING EAST



EXISTING CONDITIONS

1. REMOVE NON COMPLIANT PRESSURE TREATED STAIR
2. RELOCATE EXISTING STAIR WITH LANDING AND STAIR 1' TO THE EAST
3. INSTALL 2 10" SONO TUBES TO SUPPORT PROPOSED LANDING
4. INSTALL PROPOSED 8' X 3'6" COMPOSITE LANDING WITH STAIRS

ABUTTER WEST
 Parcel Number: 105-004-000
 Mailing Address:
 LACOURSIERE JAMES A JR & LISA K
 28 LAUREL POINT DR
 OAKDALE, CT 06382



MAIN FLOOR
 SCALE: 1/4" = 1'-0"

Narrative

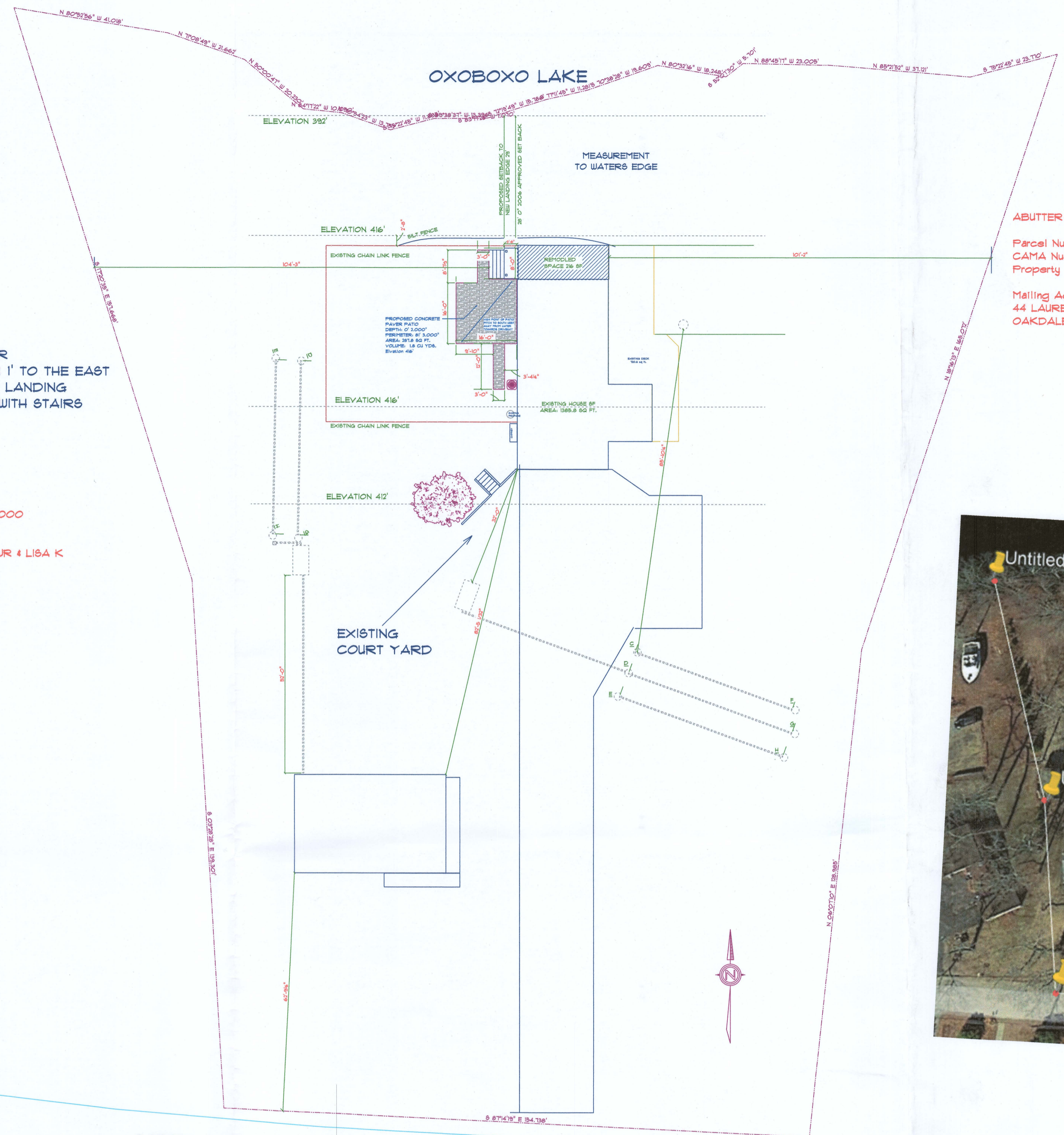
- LANDING AND STAIR PROPOSED
1. REMOVE THE EXISTING STAIR TO THE WEST SIDE OF THE EXISTING PORCH.
 2. RELOCATE LANDING 1' FURTHER SOUTH THAN EXISTING STAIR LOCATION AWAY FROM OXOBOXO LAKE.
 3. INSTALL COMPLIANT TO CODE LANDING 3'56" x 8' WITH STAIRS 5 RISERS.
 4. IMPACT TO SOIL 2 EA 10 IN SONO TUBES WILL BE INSTALLED 42" BELOW GRADE. TO SUPPORT LANDING. 10" x 42" IN THE GROUND. THESE TUBES WILL BE HAND DUG. AND Poured WITH 10 BAGS OF CONCRETE.
 5. INSTALL COMPOSITE DECKING AND RAILS.

PAVER PATIO

1. EXCAVATE PROPOSED PATIO AREAS. ALL MATERIAL WILL BE REMOVED BY HAND.
2. INSTALL 281 SF OF PAVER PATIO TO THE SOUTHWEST SIDE OF EXISTING HOUSE. 2" PAVER WITH SAND JOINT INSTALLED OVER COMPACTED SAND.
3. PATIO SLOPE WILL BE TO THE SOUTH AWAY FROM OXOBOXO LAKE
4. EDGE OF PROPOSED WALK 29'2" FROM EDGE OF LAKE.
5. THE MAIN BODY OF THE PROPOSED PATIO WILL BE 31' TO THE SOUTH OF OXOBOXO LAKE.
6. ALL PROPOSED WORK WILL HAPPEN IN MARCH OR APRIL OF 2024.
7. EXISTING GRASS WILL BE RESTORED AT FINISH OF PATIO.

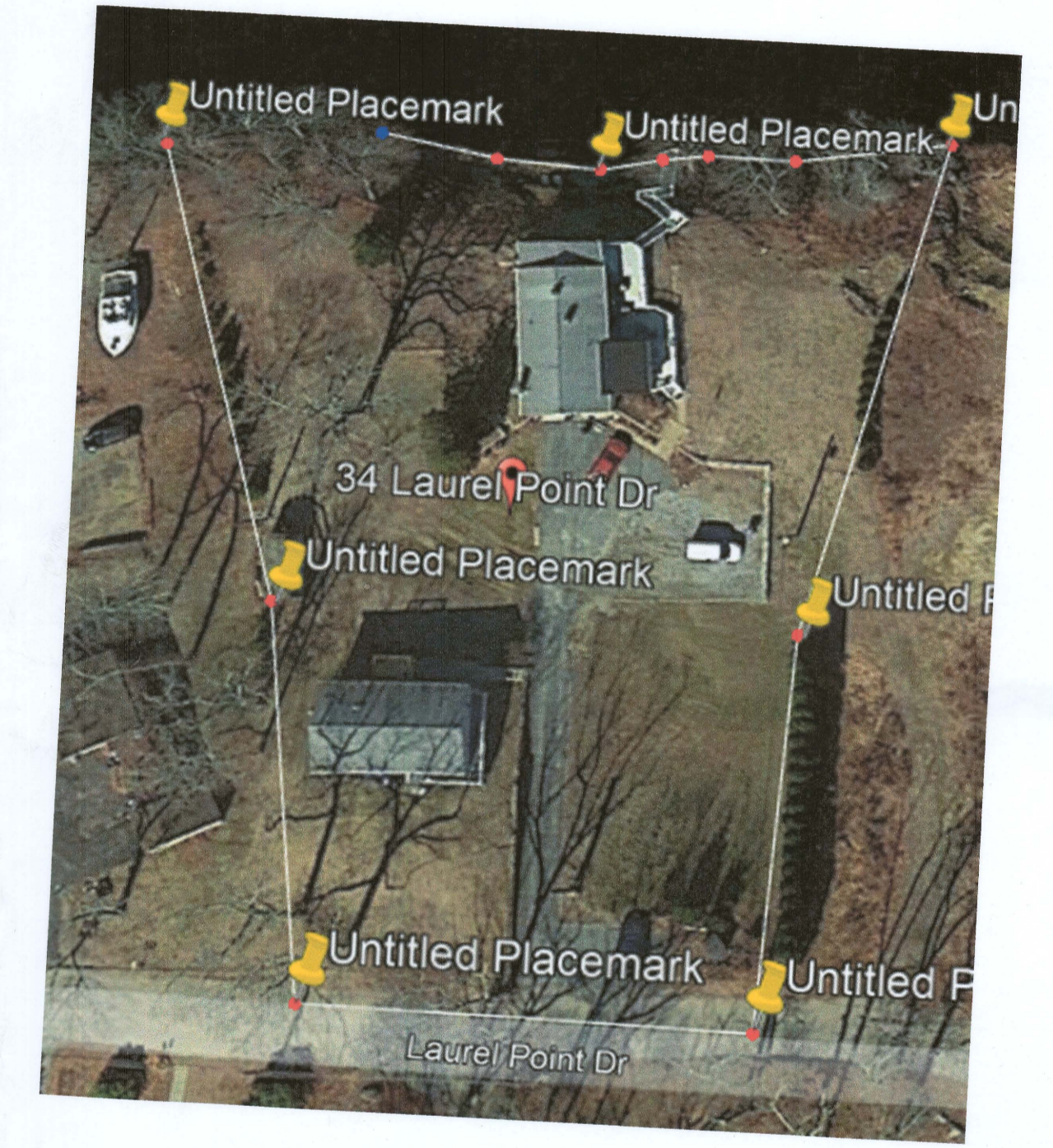
EROSION AND SEDIMENT CONTROL.

1. TO THE NORTH OR PROPOSED PATIO APPROXIMATELY 5 FEET FROM WORK AREA. A SILT FENCE WILL BE INSTALLED TO CONTROL ANY POTENTIAL RUN OFF.
2. TOTAL TOPSOIL REMOVED 5 YARDS.



SITE
 SCALE: 1" = 20'-0"

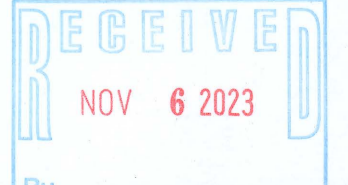
34 LAUREL POINT DR



REMODEL EXISTING SUNROOM
 9'24" NORTH SIDE OF PROPERTY
 ALL EXISTING WALLS AND STRUCTURES
 SHALL MEET EXISTING SIZE AND SET BACKS

R&O
 6.4 MINIMUM LOT SIZE The minimum lot size in this district is 120,000 square feet. (SF ACTUAL 49222.8)
 6.5 MINIMUM LOT FRONTAGE
 Each lot in this district shall have at least two hundred feet (200') of frontage on a street. Cemeteries are not required to have frontage but shall have a deeded access.
 6.6 MINIMUM SETBACKS
 6.6.1 FRONT YARD 60 FEET
 6.6.2 SIDE YARD 25 FEET 1061F TO THE WEST, 101 SF TO THE EAST
 6.6.3 REAR YARD 60 FEET 30FEET ACTUAL 38' PROPOSED
 6.7 MAXIMUM BUILDING HEIGHT
 No residential building shall exceed thirty five feet (35') in height.
 Any improvements proposed to be located within a regulated area, as set by the Montville Inland Wetlands and Watercourses Commission, or that may have any impact on the regulated wetlands or watercourses, shall require approval by the Montville Inland Wetlands and Watercourses Commission and meet the requirements of the Montville Inland Wetlands and Watercourses Commission.

ADJUSTED FOR WETLANDS
 APPLICATION 11/6/2023



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APPROVED: [Signature]
 CHECKED BY: [Signature]
 SCALE: As Noted
 DRAWN BY: [Signature]
 DATE: Monday, November 6, 2023

SECTION LETTER: A
 PAGE NUMBER: 11
 ZONING: 7/7

SOFTPLAN
 ARCHITECTURAL DESIGN SOFTWARE