

PROJECT TITLE: \_\_\_\_\_

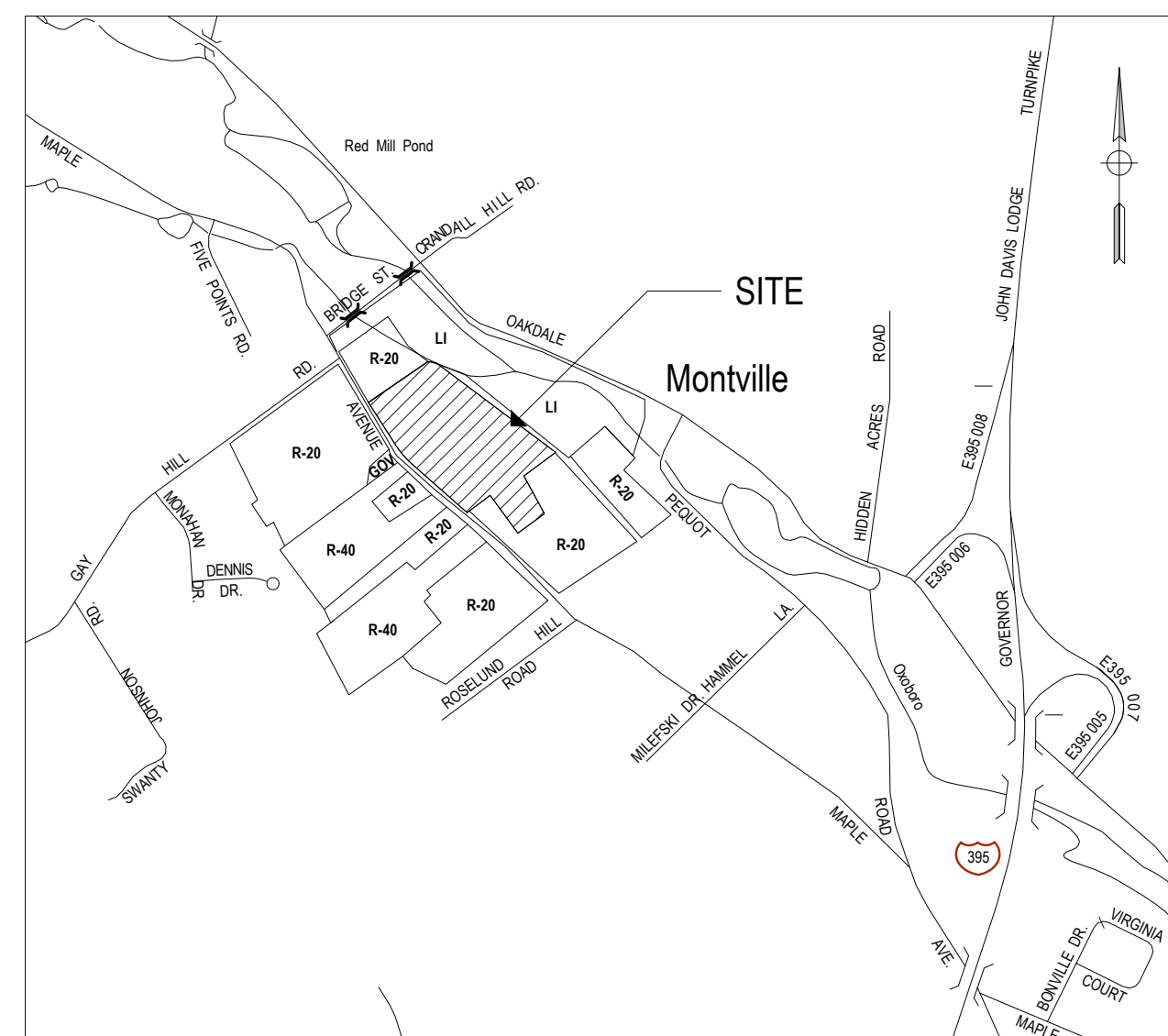
New Animal Facility at:

# Montville Animal Shelter

225 Maple Ave. Parcel ID: 077-041-000  
Montville, CT

## TOWN OF MONTVILLE

310 Norwich-New London Tpke.  
Uncasville, CT 06382



LOCUS MAP SCALE: 1" = 1000'



SILVER PETRUCELLI + ASSOCIATES

3190 WHITNEY AVENUE HAMDEN CT 06518  
311 STATE STREET NEW LONDON CT 06320  
203 230 9007 silverpetrucelli.com

PLANNING AND ZONING 10/02/2023

Revision #1: 10/23/2023  
Revision #2: 11/08/2023

ARCHITECT  
**SILVER PETRUCELLI & ASSOC.**  
3190 WHITNEY AVENUE, HAMDEN CT 06518  
311 STATE STREET NEW LONDON, CT 06320  
PHONE 203 230 9007 silverpetrucelli.com

### DRAWINGS LIST

#### CIVIL DRAWINGS

1 of 1 TOPOGRAPHIC SURVEY  
C100 SITE PLAN  
C200 EXISTING CONDITIONS & DEMOLITION PLAN  
C300 GRADING, EROSION CONTROL & UTILITY PLAN  
C400 DETAILS

#### ARCHITECTURAL DRAWINGS

A100 FLOOR PLANS & EXTERIOR ELEVATIONS

#### ELECTRICAL DRAWINGS

ES100 ELECTRICAL SITE PLAN

### M/E/P/FP

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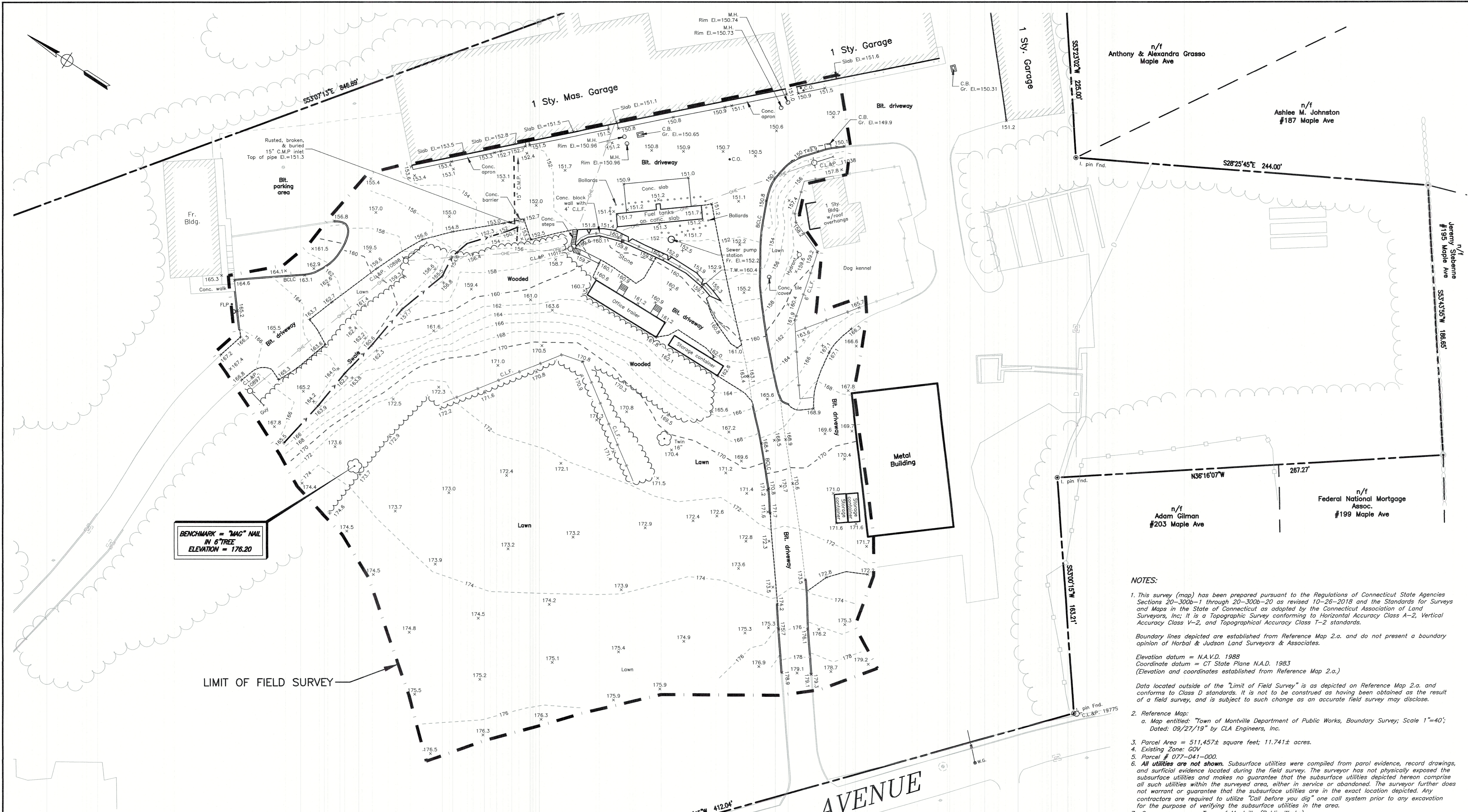
### STRUCTURAL

**E2 ENGINEERS**  
488 MONTAUK AVENUE, NEW LONDON, CT 06320  
2250 MAIN STREET, CONCORD, MA 01742  
NEW LONDON PHONE 860 437 3259  
CONCORD PHONE 978 294 8806 e2engineers.com

### CIVIL

**DONALD W. SMITH, JR. P.E.**  
56 GREENWOOD CIRCLE, SEYMOUR, CT 06483  
PHONE 203 888 4804

APPROVED BY THE MONTVILLE PLANNING & ZONING COMMISSION ON _____
BY: _____
CHAIRMAN, VICE CHAIRMAN, SECRETARY
DATE: _____
EXPIRATION DATE: _____
APPROVAL OF THIS SITE PLAN BY THE COMMISSION SHALL MEAN CERTIFICATION OF THE EROSION AND SEDIMENT CONTROL PLAN.



BENCHMARK = "MAG" NAIL  
IN 6" TREE  
ELEVATION = 176.20

LIMIT OF FIELD SURVEY

- NOTES:**
- This survey (map) has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 as revised 10-26-2018 and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc; it is a Topographic Survey conforming to Horizontal Accuracy Class A-2, Vertical Accuracy Class V-2, and Topographical Accuracy Class T-2 standards.
  - Boundary lines depicted are established from Reference Map 2.a. and do not present a boundary opinion of Horbal & Judson Land Surveyors & Associates.
  - Elevation datum = N.A.V.D. 1988  
Coordinate datum = CT State Plane N.A.D. 1983  
(Elevation and coordinates established from Reference Map 2.a.)
  - Data located outside of the "Limit of Field Survey" is as depicted on Reference Map 2.a. and conforms to Class D standards. It is not to be construed as having been obtained as the result of a field survey, and is subject to such change as an accurate field survey may disclose.
  - Reference Map:  
a. Map entitled: "Town of Montville Department of Public Works, Boundary Survey; Scale 1"=40'; Dated: 09/27/19" by CLA Engineers, Inc.
  - Parcel Area = 511,457± square feet; 11,741± acres.
  - Existing Zone: GOV
  - Parcel # 077-041-000.
  - All utilities are not shown. Subsurface utilities were compiled from parcel evidence, record drawings, and surficial evidence located during the field survey. The surveyor has not physically exposed the subsurface utilities and makes no guarantee that the subsurface utilities depicted hereon comprise all such utilities within the surveyed area, either in service or abandoned. The surveyor further does not warrant or guarantee that the subsurface utilities are in the exact location depicted. Any contractors are required to utilize "Call before you dig" or call system prior to any excavation for the purpose of verifying the subsurface utilities in the area.
  - Owner:  
Town of Montville (Public Works)  
310 Norwich New London Tpke  
Uncasville, CT 06382  
Deed reference: Volume 465 Page 280

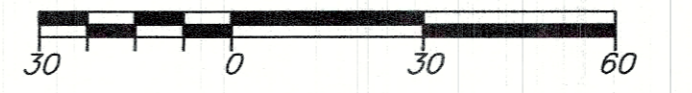
LEGEND			
Mon.	Monument	○ FNTR	Frontier
○ I. pipe	Iron Pipe	○ EVRS	Utility Pole w/ number
○ I. pin	Iron Pin	○ W.G.	Evercourse Utility Pole w/ number
---	Property Line	○ M.H.	Manhole
---	Adjacent Property Line	○ C.B. or LI	Catch Basin or Lawn Inlet
---	Fence	○ W.G.	Water Gate Valve
---	Stone Wall	○ C.C.	Clean Out
○ or × 6"	Tree with D.B.H.	○ G.G.	Gas Gate Valve
○	Gas service location	□	Stone masonry pillar w/ light
---	Brushy/tree line	---	Gas Service Lateral
---	Concrete Curb	---	Water Service Lateral
CC	Stormwater Sewer Pipe	---	Sanitary Sewer Lateral
U-E	Underground Electric Wire	---	10 foot contour with elevation
---	Overhead Electric Wires	---	2 foot contour with elevation
---	Water main	---	1 foot contour with elevation
---	Sanitary Sewer Pipe	---	Spot elevation
W	Wetlands	---	1% chance floodplain boundary
W-1	Wetland Boundary w/Flag #		
---	Wetland Flagging by others		
---	Water line		
FB	Flood Boundary		
---	Ledge or Rock		
		---	Found
		---	n/i
		---	Now or Formerly
		---	Woven Wire Fence
		---	Chain Link Fence
		---	w/
		---	Flag pole
		---	Polyvinyl Chloride Pipe
		---	Reinforced Concrete Pipe
		---	HDPP
		---	High Density Plastic Pipe
		---	C.M.P.
		---	Corrugated Metal Pipe
		---	C.I.P.
		---	Cast Iron Pipe
		---	el. or elev.
		---	Elevation
		---	Bituminous
		---	Concrete
		---	Masonry
		---	Bituminous Concrete Lip Curb
		---	Concrete Curb
		---	S.F.H.A.
		---	Special Flood Hazard Areas
		---	Concrete Block Patio
		---	Typ.
		---	Existing

THIS MAP IS NOT VALID WITHOUT SURVEYOR'S LIVE SIGNATURE AND EMBOSSED SEAL.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HERON.

JESSE T. JUDSON  
DATE: 7/26/2023  
L.S. REG. NO. 70390

MAPLE AVENUE



REVISIONS		
NO.	DESCRIPTION	DATE

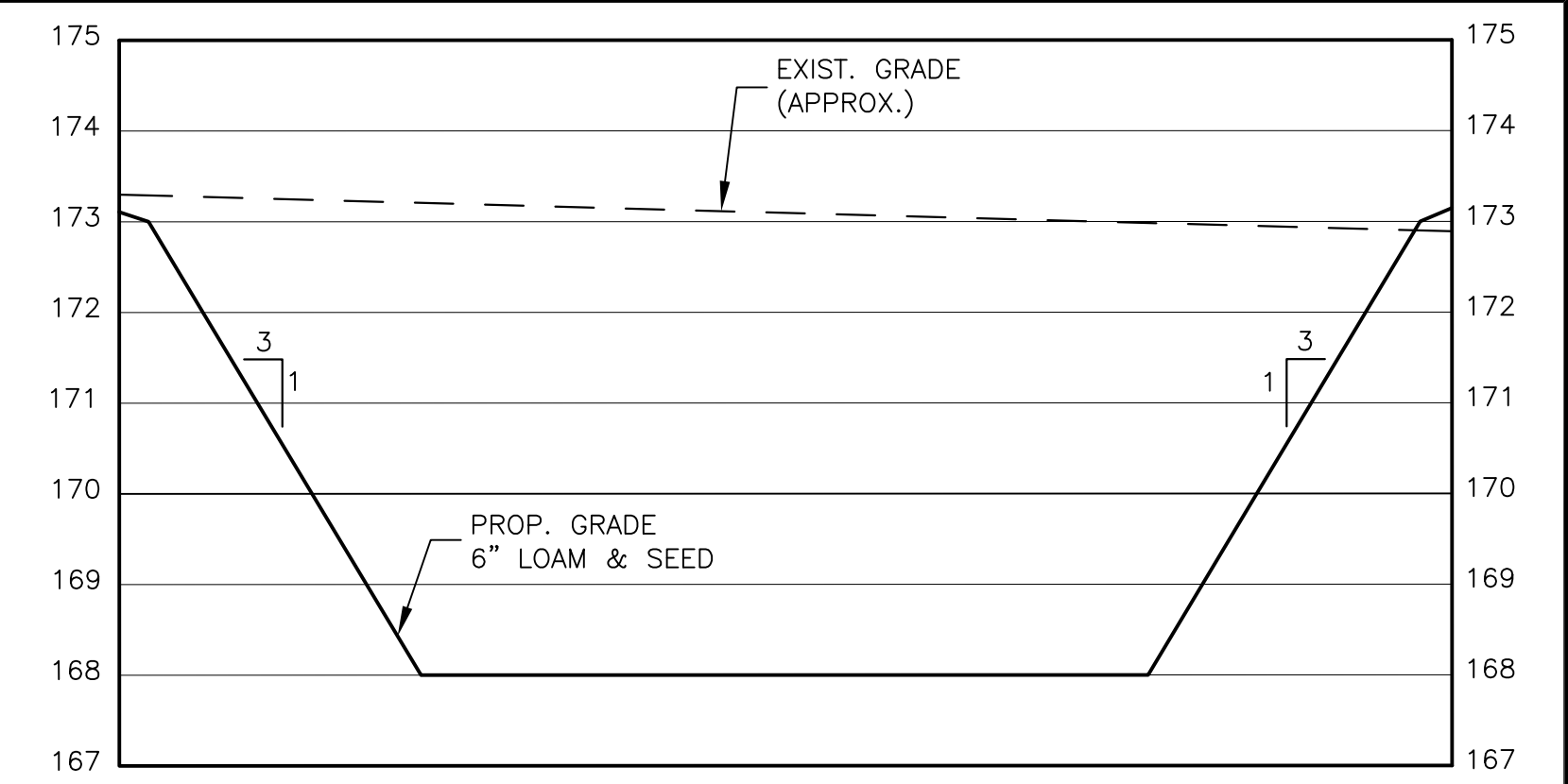
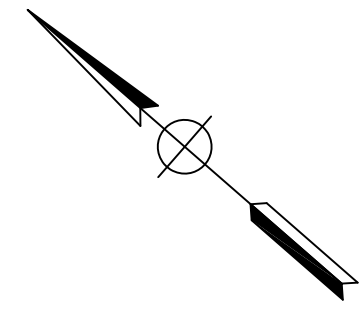
**TOPOGRAPHIC SURVEY**

PREPARED FOR  
**MONTVILLE ANIMAL SHELTER**  
222 MAPLE AVENUE  
MONTVILLE, CONNECTICUT

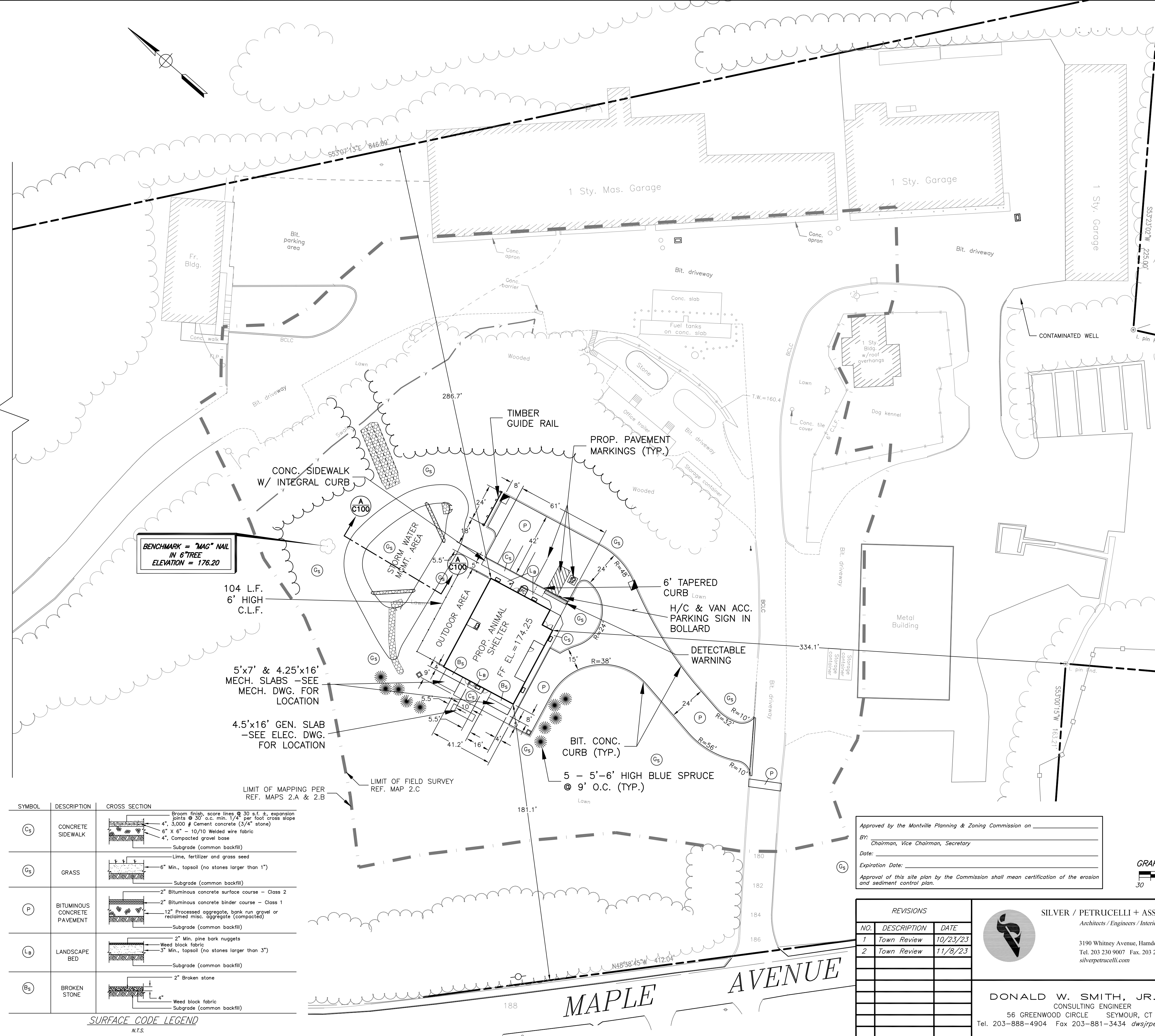
Scale: 1"=30'

Date: 7/26/2023  
Sheet: 1 of 1  
Checked By: J.T.J.  
Drawn By: G.P.D.  
F.B. No. 502 & 503  
CAD No. d2588.dwg  
Disk: 91/12  
Job No. D-2588

**HORBAL & JUDSON**  
Land Surveyors & Associates  
52 Main Street, Seymour, Connecticut (203)888-9660



**STORM WATER MGMT. AREA**  
**SECTION (A) C100**  
 SCALE: HORIZONTAL 1"=10'  
 VERTICAL 1"=2'



**BENCHMARK = "MAG" NAIL  
 IN 6" TREE  
 ELEVATION = 176.20**

104 L.F.  
 6' HIGH  
 C.L.F.

5'x7' & 4.25'x16'  
 MECH. SLABS - SEE  
 MECH. DWG. FOR  
 LOCATION

4.5'x16' GEN. SLAB  
 - SEE ELEC. DWG.  
 FOR LOCATION

LIMIT OF FIELD SURVEY  
 REF. MAP 2.C

LIMIT OF MAPPING PER  
 REF. MAPS 2.A & 2.B

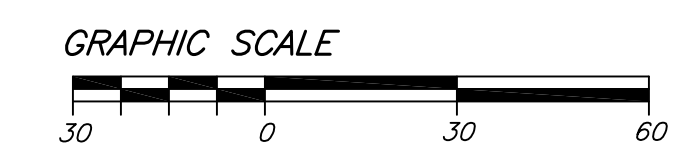
SYMBOL	DESCRIPTION	CROSS SECTION
Cs	CONCRETE SIDEWALK	Broom finish, score lines @ 30 s.f. ±, expansion joints @ 30' o.c. min. 1/4" per foot cross slope 4" 5,000 # Cement concrete (3/4" stone) 6" x 6" - 10/10 Welded wire fabric 4" Compacted gravel base Subgrade (common backfill)
Gs	GRASS	Lime, fertilizer and grass seed 6" Min., topsoil (no stones larger than 1") Subgrade (common backfill)
P	BITUMINOUS CONCRETE PAVEMENT	2" Bituminous concrete surface course - Class 2 2" Bituminous concrete binder course - Class 1 12" Processed aggregate, bank run gravel or reclaimed misc. aggregate (compacted) Subgrade (common backfill)
Lb	LANDSCAPE BED	2" Min. pine bark nuggets Weed block fabric 3" Min., topsoil (no stones larger than 3") Subgrade (common backfill)
Bs	BROKEN STONE	2" Broken stone Weed block fabric Subgrade (common backfill)

**SURFACE CODE LEGEND**  
 N.T.S.

**NOTES:**

- Base survey and map provided by CLA Engineers, Inc., 317 Main Street, Norwich, CT 06360, (860) 886-1966. This survey and map has been prepared in accordance with Section 20-300b-1 through 20-300b-20 of the Regulations for State Agencies "Standards for Surveys and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc.  
 "This plan was compiled from other maps, record research or other sources of information. It is not to be construed as having been obtained as the result of a field survey, and is subject to such change as an accurate field survey may disclose."
- Reference Maps:
  - Map entitled "Town of Montville, Department of Public Works, Boundary Survey," Horizontal Accuracy: A-2, Scale 1"=40', Sheet No. 1, Dated 09/27/19 by CLA Engineers, Inc., 317 Main Street, Norwich, CT 06360, (860) 886-1966.
  - CT Environmental Conditions Online (CTECO) Advanced Viewer Spring 2016 Aerial Imaging with elevation contours.
  - Map entitled "Topographic Survey, prepared for Montville Animal Shelter, 222 Maple Avenue, Montville, Connecticut," Vertical Accuracy: T-2, Scale 1"=30', Sheet 1 of 1, Dated 7/26/23 by Harbol & Judson Land Surveyors & Associates, 52 Main Street, Seymour, Connecticut 06483, (203)888-9660.
- Total Area = 511,476± square feet, 11.77± acres.
- Existing Zone: GOV. There are no minimum setbacks/building requirements in this zone.
- Parcel I.D.: 077-041-000.
- Portions of parcel may be located within a Special Flood Hazard Area, Zone AE and/or a 0.2% Flood Hazard Area per National Flood Insurance Program, Flood Insurance Rate Map, New London County, Connecticut, Map Number 09011C0334G; Effective date: July 18, 2011. The area of the proposed building is located in Zone X on said map.
- All utilities are not shown. Utility information depicted hereon is approximate and is based on aboveground structures, record drawings, point mark-outs and as-built field locations. Actual utility locations may vary from those depicted hereon. All contractors are required to utilize "CALL BEFORE YOU DIG" One Call System 1-800-922-4455 for verification of the utility information prior to the start of any work.
- Owner & Applicant: Town of Montville  
 310 Norwich New London Tpk  
 Uncasville, CT 06382

Approved by the Montville Planning & Zoning Commission on \_\_\_\_\_  
 BY: \_\_\_\_\_  
 Chairman, Vice Chairman, Secretary  
 Date: \_\_\_\_\_  
 Expiration Date: \_\_\_\_\_  
 Approval of this site plan by the Commission shall mean certification of the erosion and sediment control plan.



REVISIONS		
NO.	DESCRIPTION	DATE
1	Town Review	10/23/23
2	Town Review	11/8/23

**SILVER / PETRUCELLI + ASSOCIATES**  
 Architects / Engineers / Interior Designers

3190 Whitney Avenue, Hamden, CT 06518-2340  
 Tel. 203 230 9007 Fax. 203 230 8247  
 silverpetrucelli.com

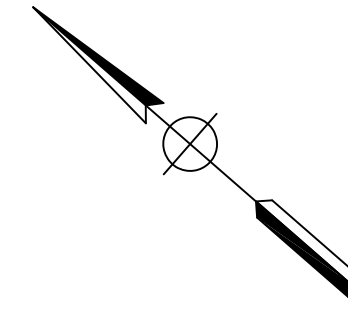
**DONALD W. SMITH, JR., P.E.**  
 CONSULTING ENGINEER  
 56 GREENWOOD CIRCLE SEYMOUR, CT 06483  
 Tel. 203-888-4904 Fax 203-881-3434 dwsjrpe@sbglobal.net

**SITE PLAN**

**MONTVILLE ANIMAL SHELTER**

225 MAPLE AVENUE  
 PARCEL I.D. 077-041-000  
 MONTVILLE, CONNECTICUT

Job No. 22-24  
 Scale: 1"=30'  
 Date: 10/2/23  
 Designed: D.W.S.  
 Drawn: K.D.K.  
 Sheet: C100



BENCHMARK = "MAG" NAIL  
IN 6" TREE  
ELEVATION = 176.20

Approved by the Montville Planning & Zoning Commission on \_\_\_\_\_  
 BY: \_\_\_\_\_  
 Chairman, Vice Chairman, Secretary  
 Date: \_\_\_\_\_  
 Expiration Date: \_\_\_\_\_  
 Approval of this site plan by the Commission shall mean certification of the erosion and sediment control plan.



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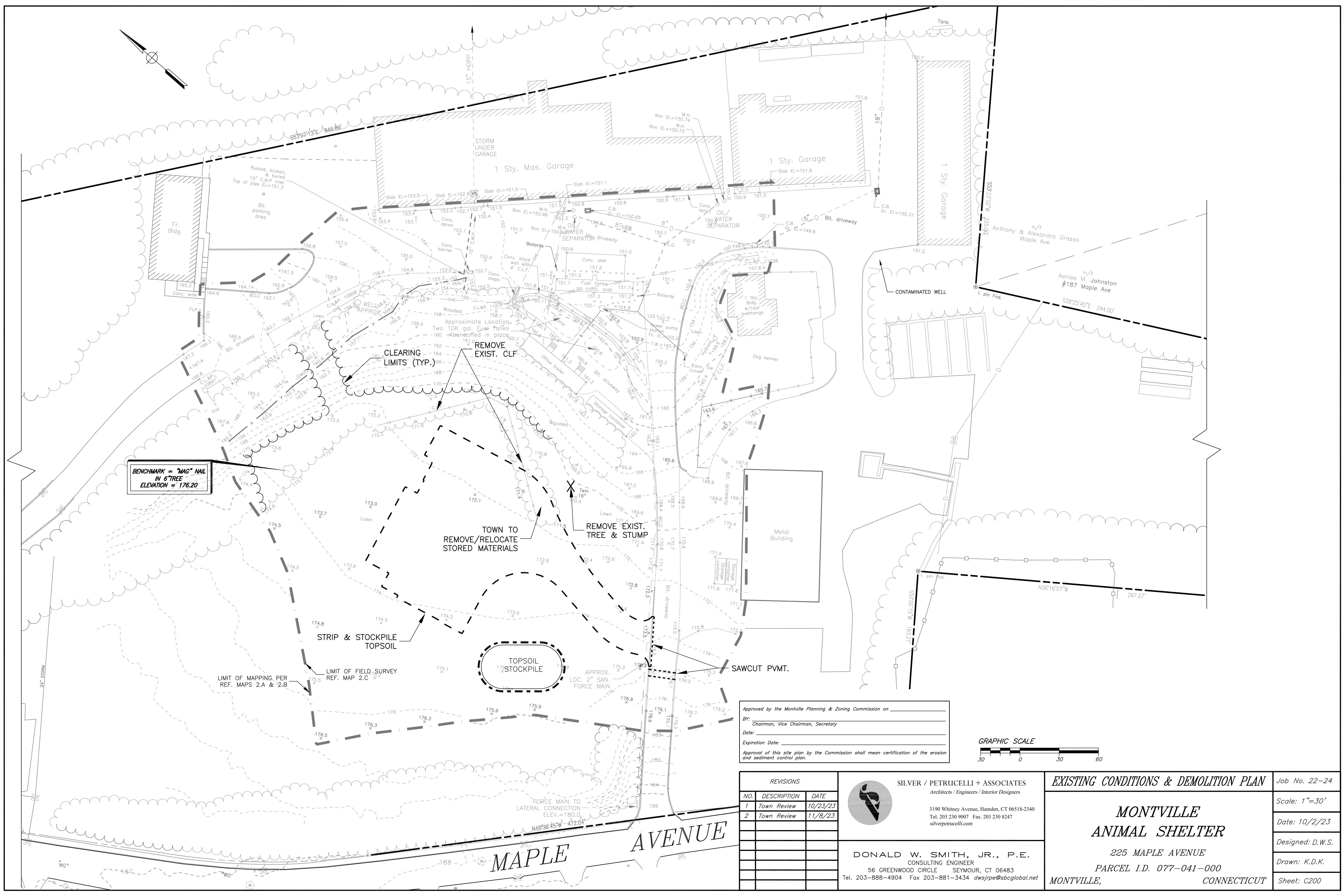
3190 Whitney Avenue, Hamden, CT 06518-2340  
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 silverpetrucelli.com

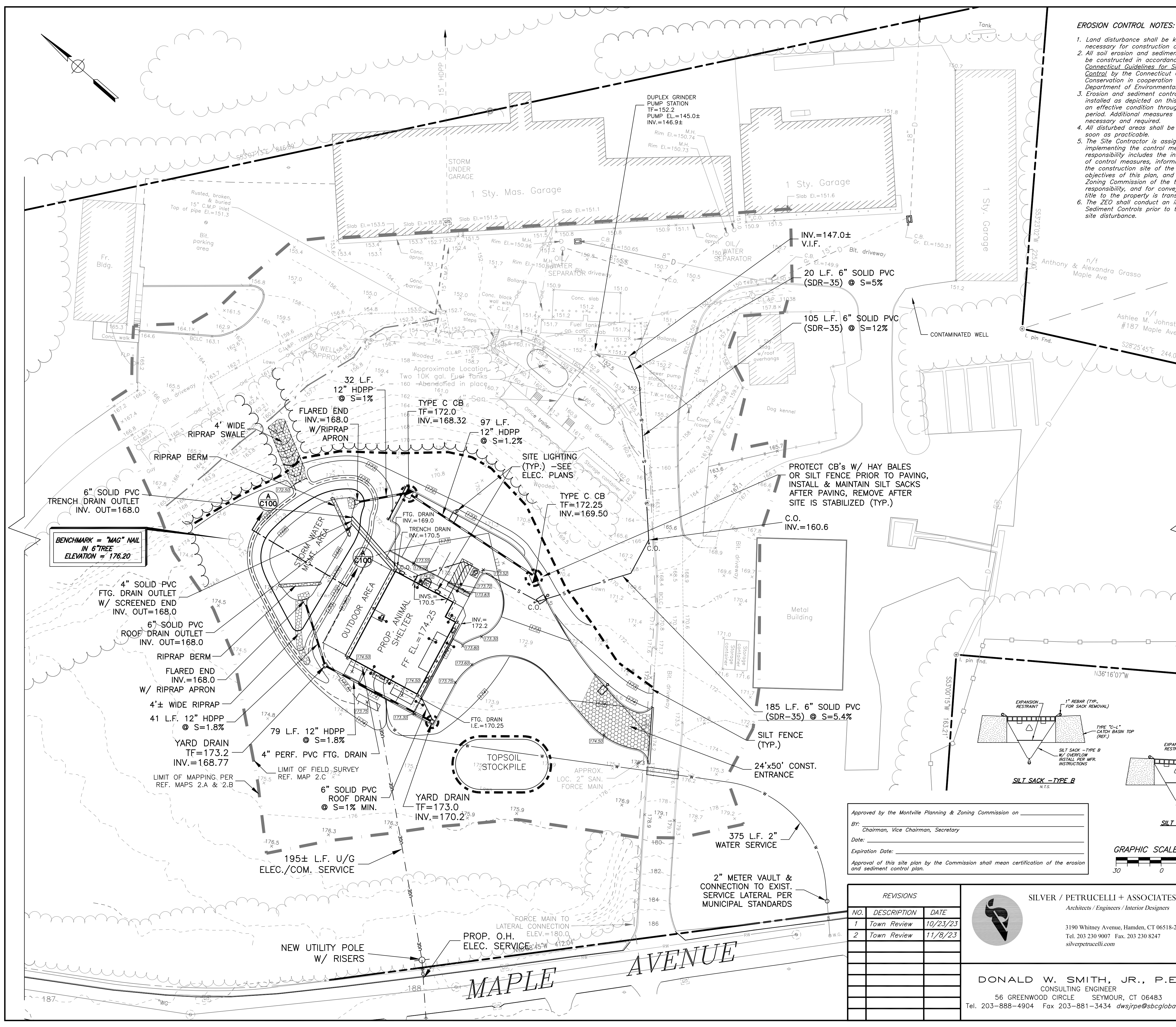
**DONALD W. SMITH, JR., P.E.**  
 CONSULTING ENGINEER  
 56 GREENWOOD CIRCLE SEYMOUR, CT 06483  
 Tel. 203-888-4904 Fax 203-881-3434 dwsjrpe@sbcglobal.net

**EXISTING CONDITIONS & DEMOLITION PLAN** Job No. 22-24

**MONTVILLE ANIMAL SHELTER**  
 225 MAPLE AVENUE  
 PARCEL I.D. 077-041-000  
 MONTVILLE, CONNECTICUT

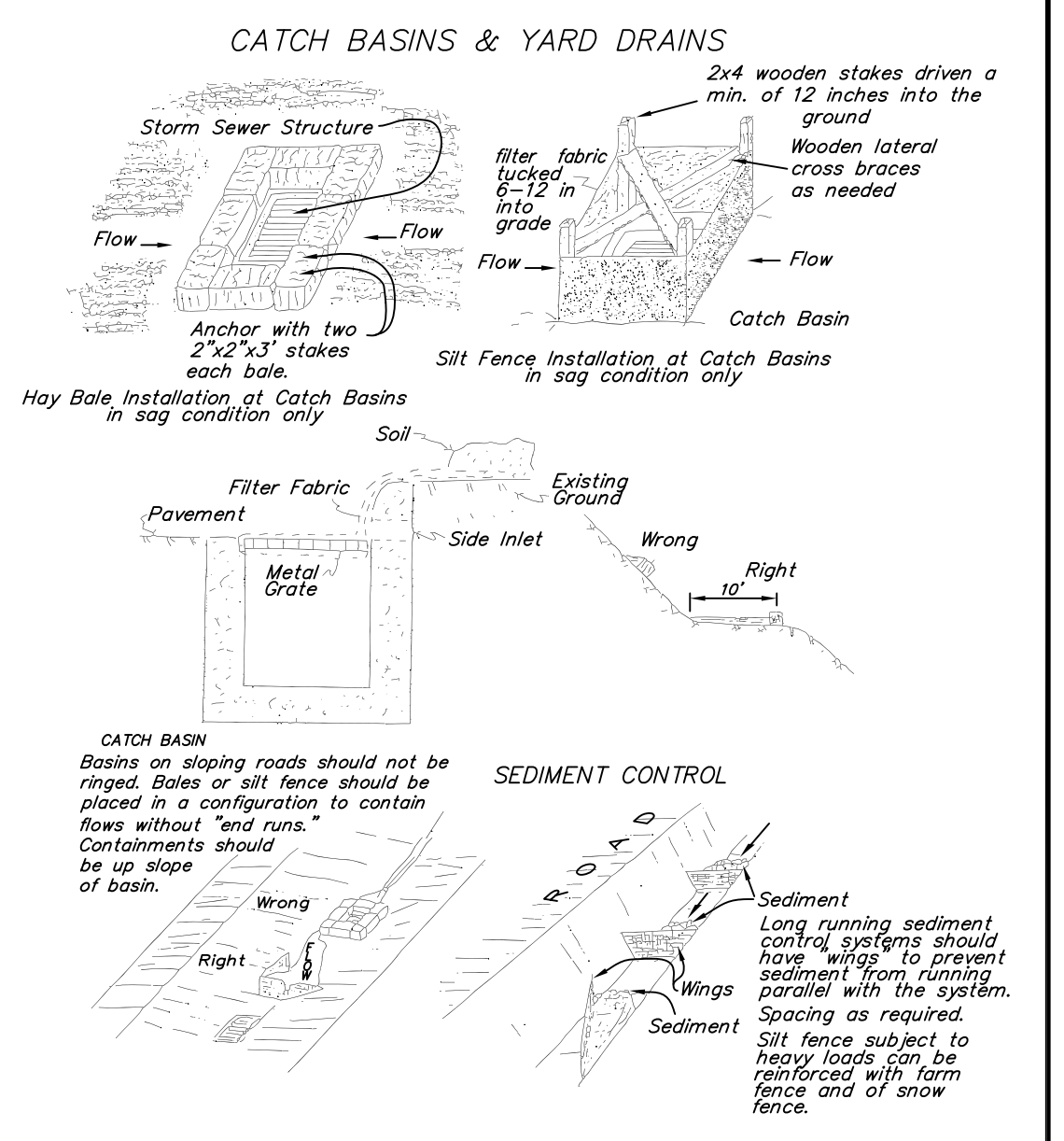
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 Date: 10/2/23  
 Designed: D.W.S.  
 Drawn: K.D.K.  
 Sheet: C200



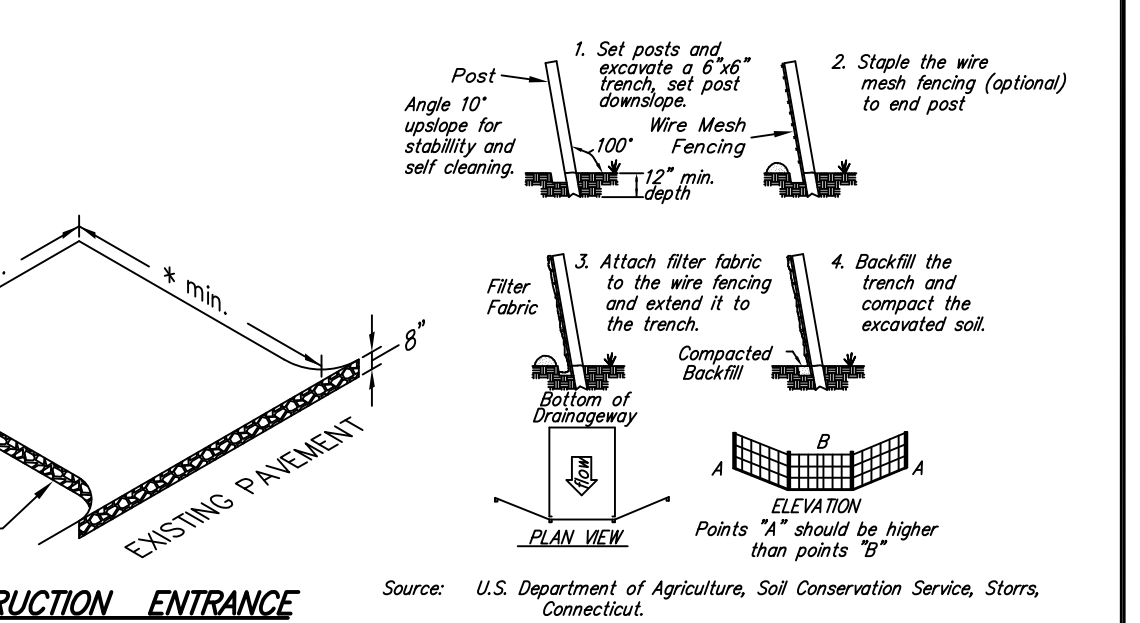


**EROSION CONTROL NOTES:**

1. Land disturbance shall be kept to the minimum necessary for construction operations.
2. All soil erosion and sediment control measures must be constructed in accordance with the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control by the Connecticut Council on Soil and Water Conservation in cooperation with the Connecticut Department of Environmental Protection.
3. Erosion and sediment control measures shall be installed as depicted on this plan, and maintained in an effective condition throughout the construction period. Additional measures shall be installed as necessary and required.
4. All disturbed areas shall be permanently stabilized as soon as practicable.
5. The Site Contractor is assigned the responsibility for implementing the control measures of this plan. This responsibility includes the installation and maintenance of control measures, informing all parties engaged on the construction site of the requirements and objectives of this plan, and notifying the Planning and Zoning Commission of the transfer of this responsibility, and for conveying a copy of this plan if title to the property is transferred.
6. The ZEO shall conduct an inspection of Erosion & Sediment Controls prior to the start of any work or site disturbance.



**PLACEMENT OF CONTROL MEASURES AT CATCH BASINS & YARD DRAINS**



**STORM WATER SYSTEM MAINTENANCE AND INSPECTION PROCEDURES AND SCHEDULE:**

The property owner and all subsequent property owners shall be responsible for implementing the following inspection and Maintenance procedures:

**Catch Basins:**  
The catch basins shall be visually inspected for floatables by looking down through the grate into the catchbasin.  
Inspection for sediment build-up can be conducted by probing the depth of sediment through the grate. Several readings (2 or 3) should be made to ensure that an accurate sediment depth measurement is recorded.

**Inspection Frequency**  
**Construction Period**  
The catch basins should be inspected every two weeks and after every large storm (over 0.5" of rain) during the construction period.  
**Post-Construction Period**  
The catch basins should be inspected once per year.  
**Periodic Maintenance**  
Catch basins can fill with sediment quickly during the construction period. They must be maintained when the depth of sediment reaches 24". They must also be maintained if there is an appreciable depth of oil in the unit (more than a sheen) or if floatables other than oil cover more than 50% of the open water surface.  
The catch basins are typically maintained by removing floatables and accumulated sediment using a vacuum truck, clam shell bucket or by hand.  
The catch basins shall be cleaned of all floating debris and accumulated sediment at the end of the construction period, prior to final acceptance by the Owner.

**Reporting**  
A Record of all Inspections and Maintenance performed shall be completed to document the results of each inspection and all maintenance that is performed. All Inspection and Maintenance records shall be maintained by the property owner for a minimum of ten (10) ten years and they shall be made available upon request.

Approved by the Montville Planning & Zoning Commission on \_\_\_\_\_  
By: \_\_\_\_\_  
Chairman, Vice Chairman, Secretary  
Date: \_\_\_\_\_  
Expiration Date: \_\_\_\_\_  
Approval of this site plan by the Commission shall mean certification of the erosion and sediment control plan.



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2	Town Review	11/8/23

**SILVER / PETRUCELLI + ASSOCIATES**  
Architects / Engineers / Interior Designers

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CONSULTING ENGINEER  
56 GREENWOOD CIRCLE SEYMOUR, CT 06483  
Tel. 203-888-4904 Fax 203-881-3434 dwsjrpe@sbcglobal.net

**GRADING, EROSION CONTROL & UTILITY PLAN** Job No. 22-24

**MONTVILLE ANIMAL SHELTER**  
225 MAPLE AVENUE  
PARCEL I.D. 077-041-000  
MONTVILLE, CONNECTICUT

Scale: 1"=30'  
Date: 10/2/23  
Designed: D.W.S.  
Drawn: K.D.K.  
Sheet: C300

**GENERAL CONSTRUCTION SEQUENCE:**

The anticipated time of completion for all aspects of construction is ten (10) months from the initial start date.

Prior to any on-site activity, the Contractor shall be responsible for holding a pre-construction meeting with the design team and appropriate Town of Montville officials and for notifying "Call Before You Dig" (1-800-922-4455) of the proposed project. (Estimated Time: 3 days)

The general sequence of work will be as follows:

1. Stakeout limits of new construction, saw cut and remove the designated portions of bituminous concrete pavement and dispose off-site. (Estimated Time: 1 day)
2. Install silt fence and other erosion control measures as shown on plans and as directed by the "Engineer". Maintain all erosion and sediment control measures in an effective condition throughout the construction phase. (Estimated Time: 1 day)
3. Clear and grub existing trees and stumps and dispose off-site. (Estimated Time: 3 days)
4. Excavate for new building foundation, pour foundation and backfill. (Estimated Time: 4 weeks)
5. Construct new building and utility services. (Estimated Time: 26 weeks)
6. Excavate storm water management area, install and backfill new storm drainage system. (Estimated Time: 3 weeks)
7. Complete "boxing out" of parking area and new sidewalks and prepare subgrade for specified base materials (Estimated Time: 3 days)
8. Install specified base courses, new concrete sidewalks and curb and bituminous concrete pavement. (Estimated Time: 15 days)
9. Install bituminous concrete curbing. (Estimated Time: 1 day)
10. Install Handicap parking signage and pavement markings. (Estimated Time: 1 week).
11. Install topsoil and seed all disturbed areas as soon as practical. (Estimated Time: 1 day)

**DEEP TEST DATA:**

SOIL TESTING PERFORMED 9/12/23 BY THE OFFICE OF DONALD W. SMITH, JR., P.E., CONSULTING ENGINEER

**TP #1E (9/12/23)**

0 - 6" TOPSOIL  
6 - 102" BROWN COARSE SAND & GRAVEL, LITTLE SILT

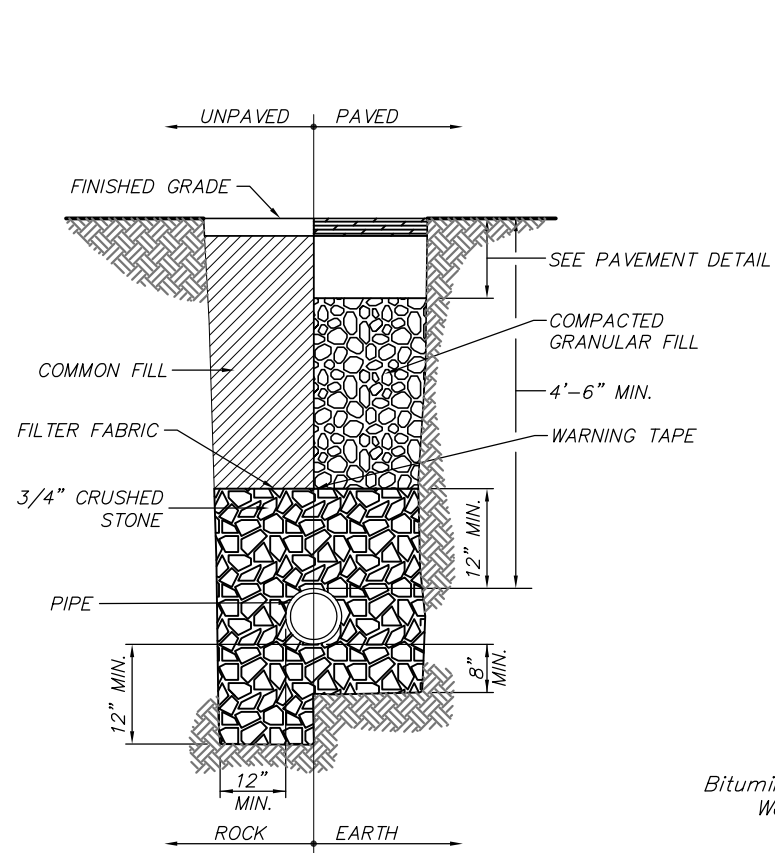
**TP #2W (9/12/23)**

0 - 6" TOPSOIL  
6 - 48" POSSIBLE FILL  
48 - 58" DARK, POSSIBLE TOPSOIL  
58 - 86" BROWN SILTY SAND & GRAVEL  
NO WATER / REFUSAL @ 86"

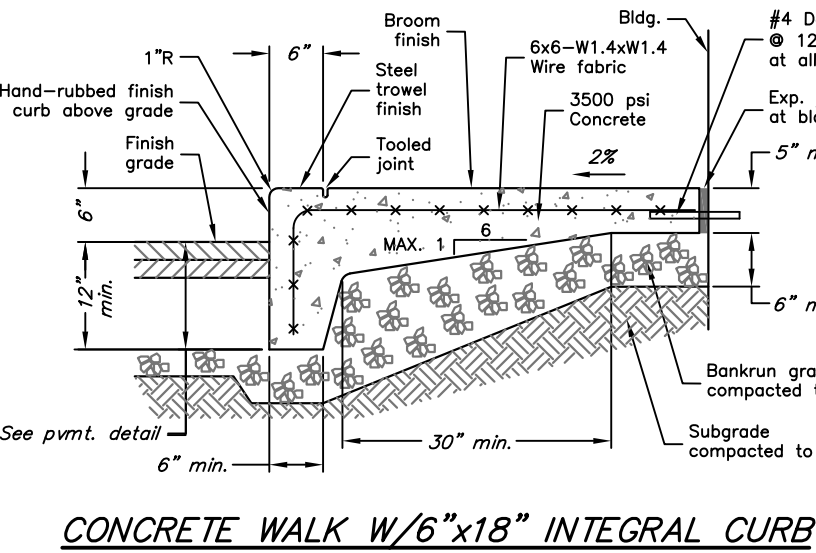
IN-SITU, FALLING HEAD, HYDRAULIC CONDUCTIVITY TESTS WERE PERFORMED BY DOWN TO EARTH CONSULTING, LLC ON 9/12/23 IN THE AREA OF THE PROPOSED STORMWATER MANAGEMENT AREA AS PART OF THE GEOTECHNICAL INVESTIGATION OF THE PROJECT SITE.

THE TESTS WERE PERFORMED AT DEPTH OF 7 FEET BELOW GRADE USING THE MEASURED DATA FROM THREE TRIALS, AN ESTIMATED HYDRAULIC CONDUCTIVITY OF 20 - 21 INCHES PER HOUR WAS REPORTED. COPIES OF THE TEST RESULTS WILL BE PROVIDED UNDER SEPARATE COVER UPON REQUEST.

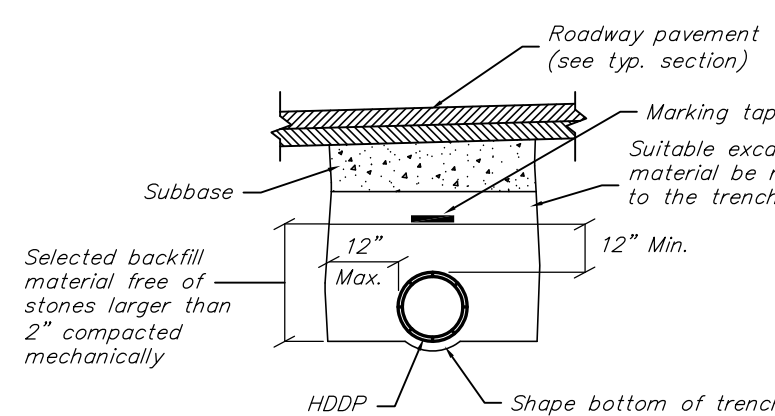
APPLYING A FACTOR OF SAFETY OF 4, A HYDRAULIC CONDUCTIVITY RATE OF 5 INCHES PER HOUR WAS USED IN THE DESIGN ANALYSIS.



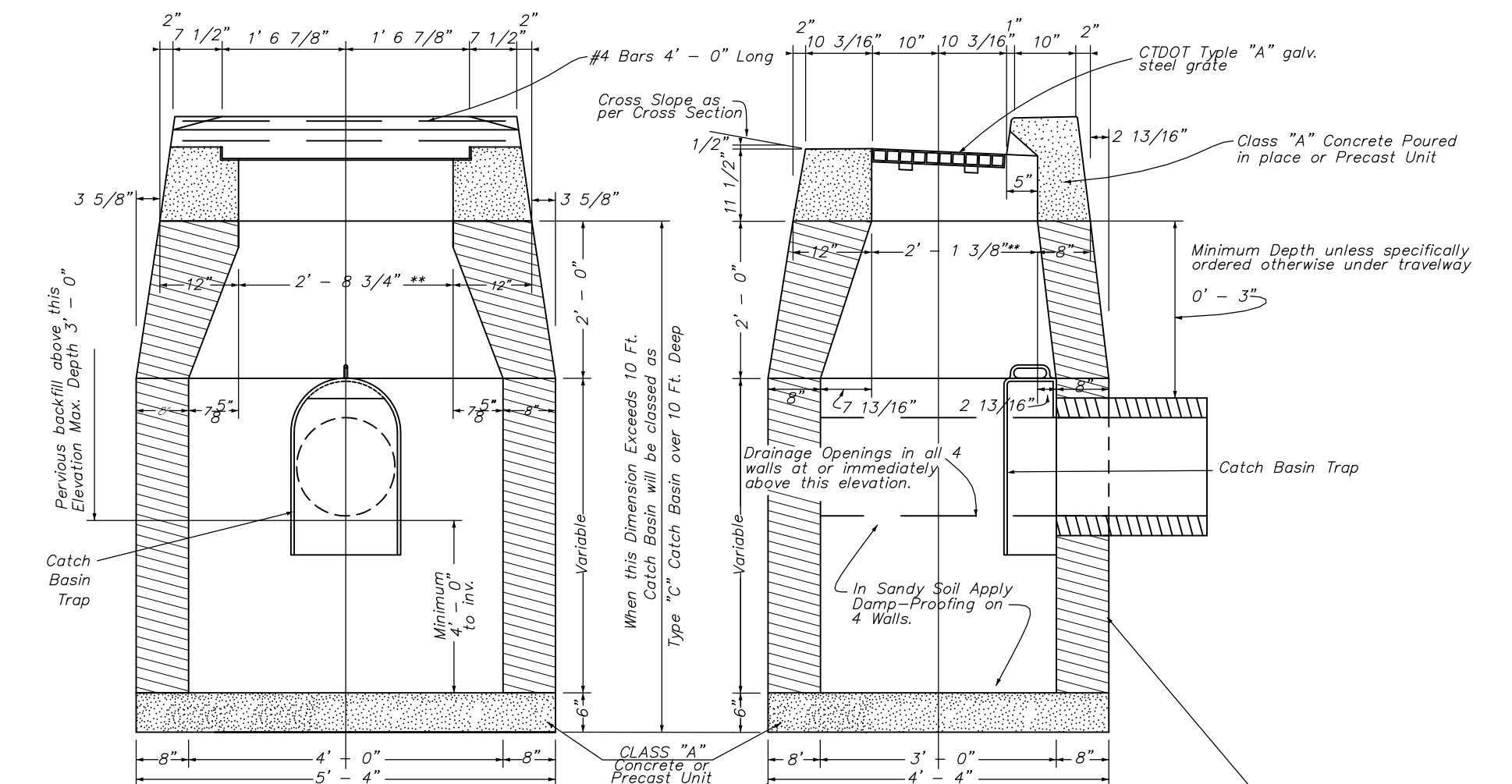
**TYPICAL WATER SERVICE TRENCH DETAIL**  
NOT TO SCALE



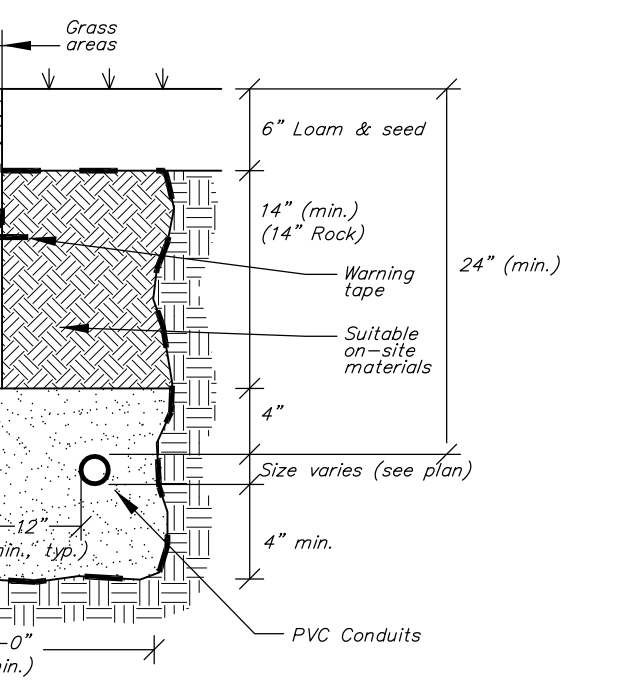
**CONCRETE WALK W/6\"/>**



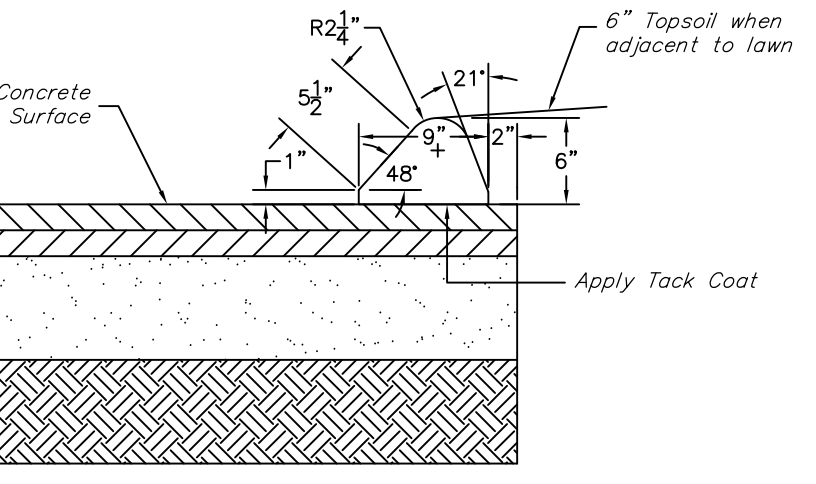
**HDDP STORM DRAIN TRENCH**  
N.T.S.



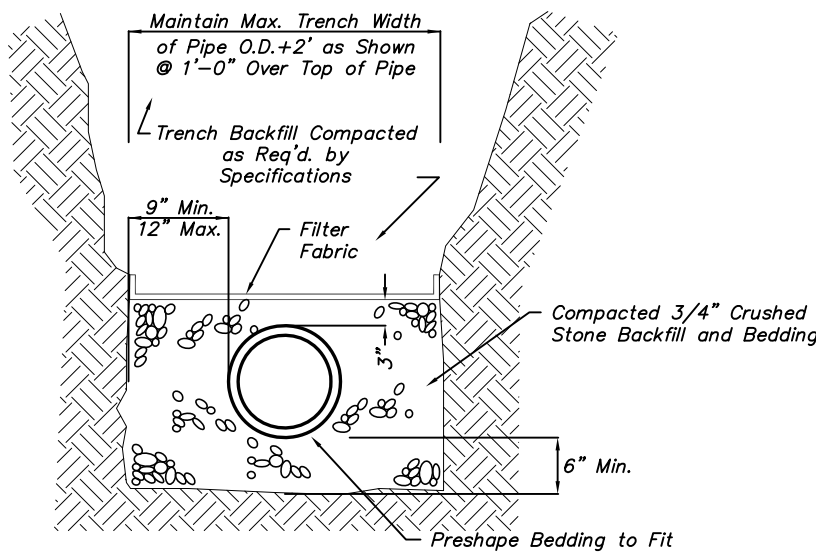
**CATCH BASIN DETAIL**  
N.T.S.



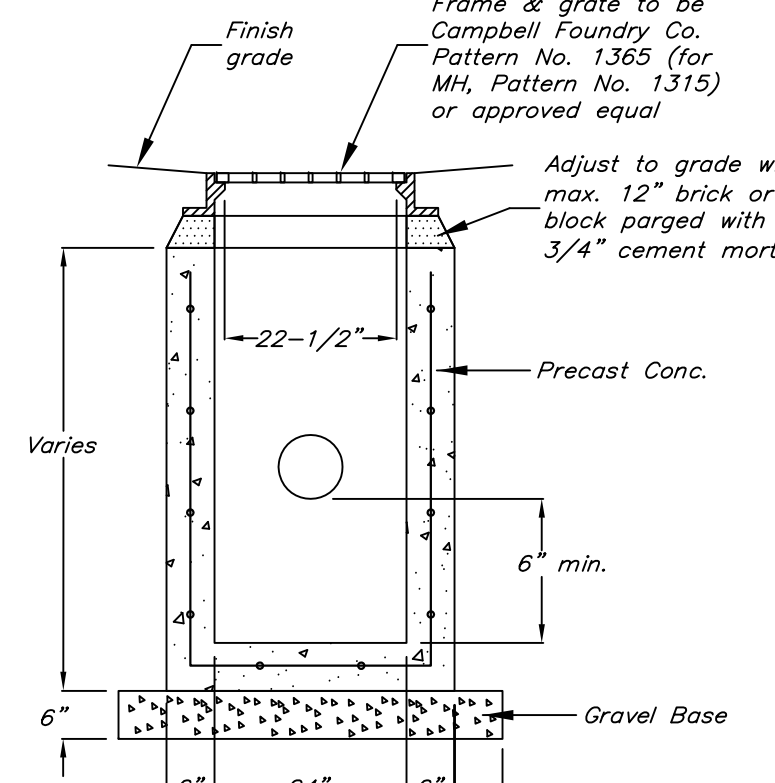
**U/G CONDUIT BEDDING DETAIL**  
N.T.S.



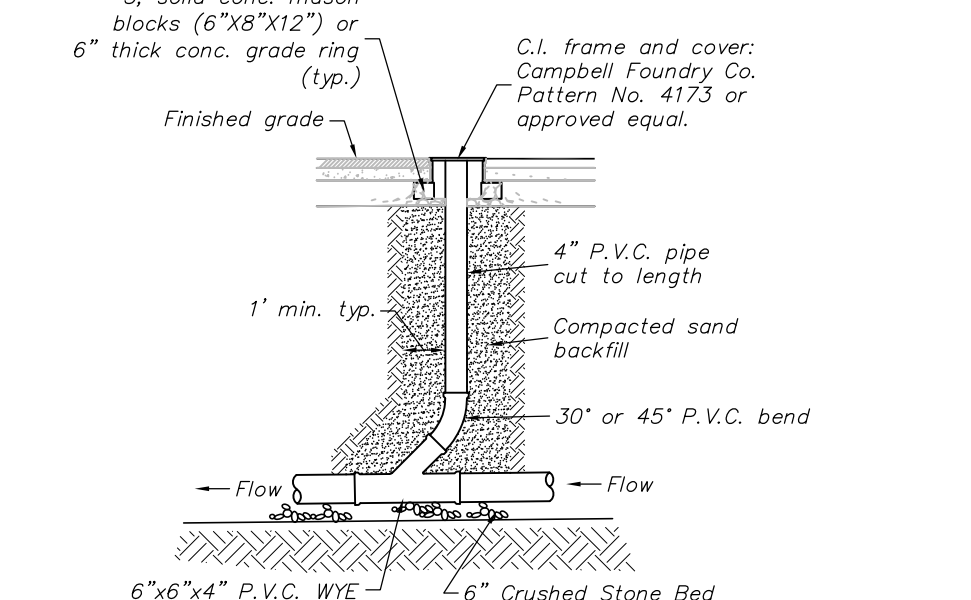
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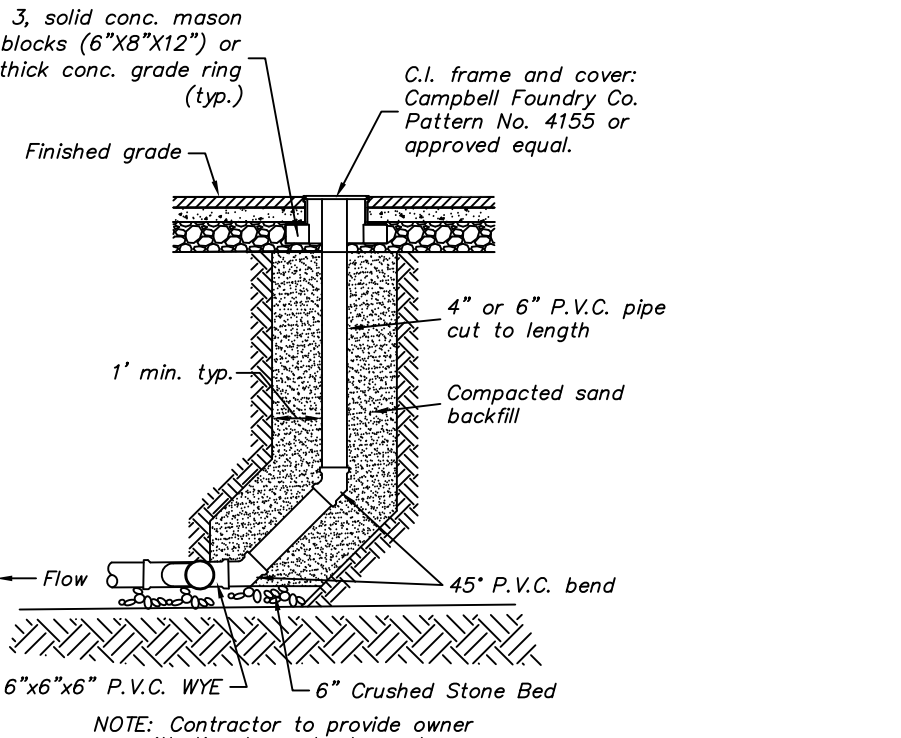
**SANITARY SEWER BEDDING DETAIL**  
N.T.S.



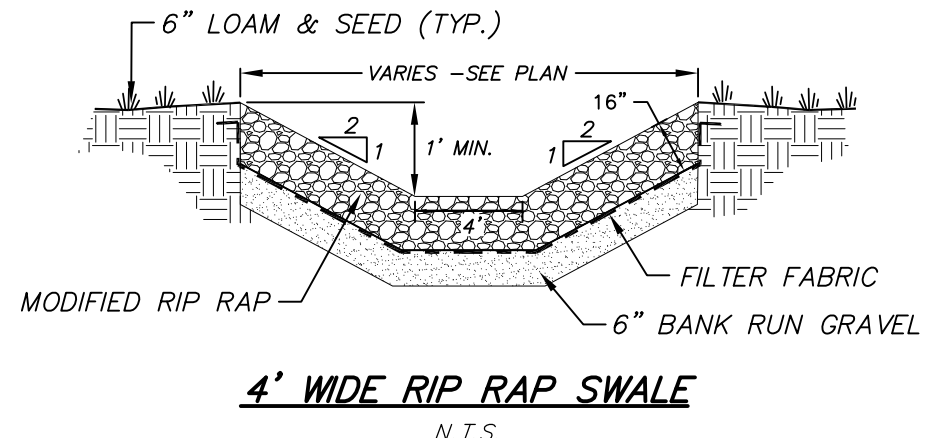
**YARD DRAIN**  
N.T.S.



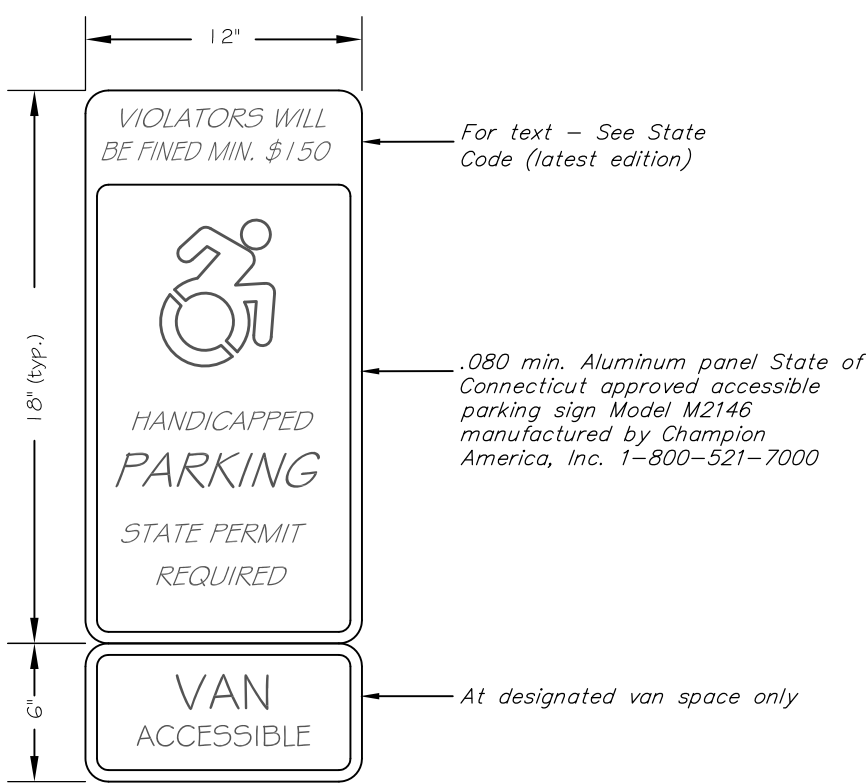
**SANITARY SEWER CLEANOUT DETAIL**  
N.T.S.



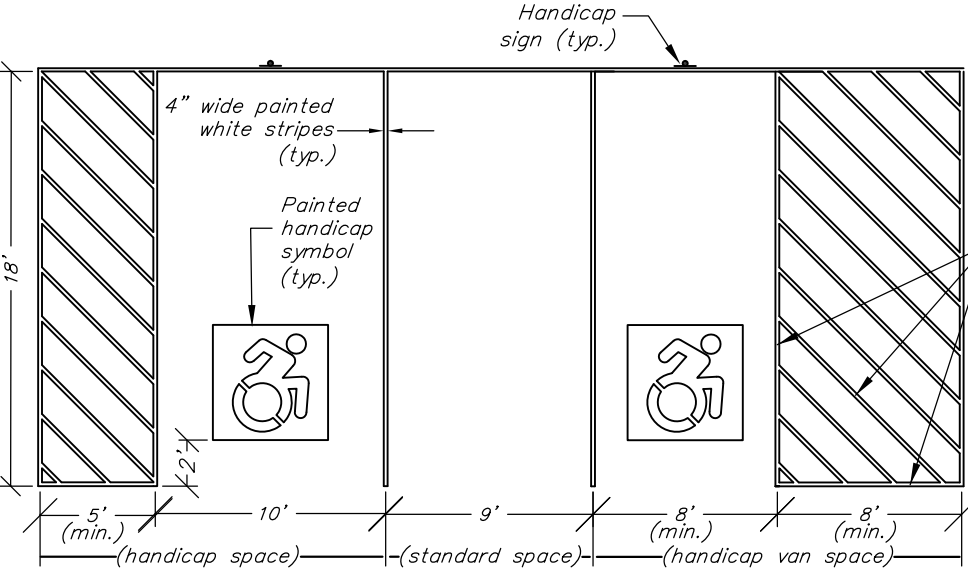
**ANGLE-POINT SANITARY SEWER CLEANOUT DETAIL**  
N.T.S.



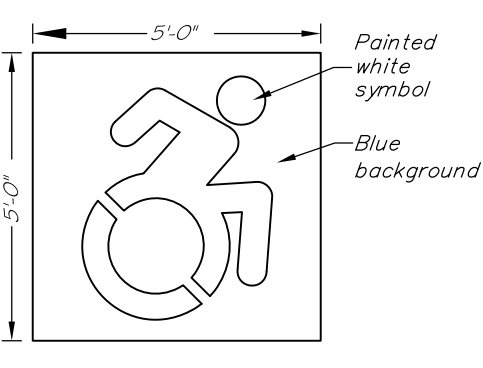
**4\"/>**



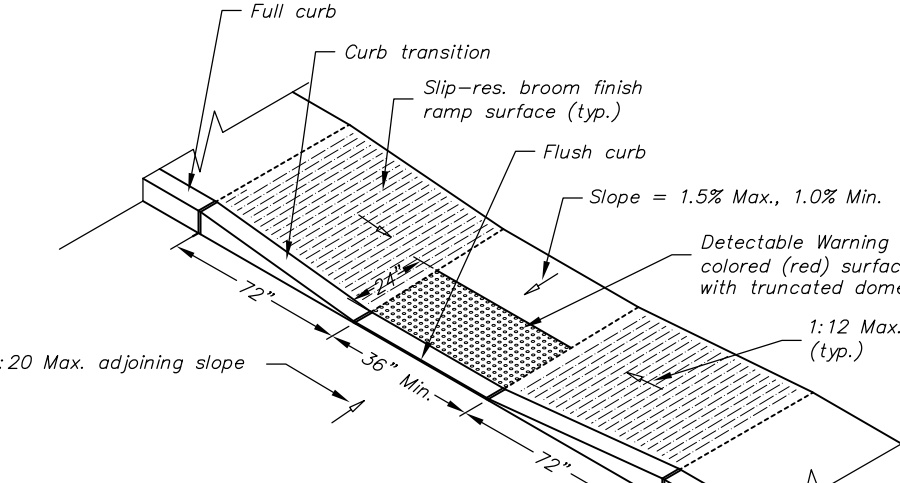
**HANDICAP PARKING SIGN**  
N.T.S.



**TYPICAL HANDICAP PARKING SPACE PAVEMENT MARKING**  
N.T.S.

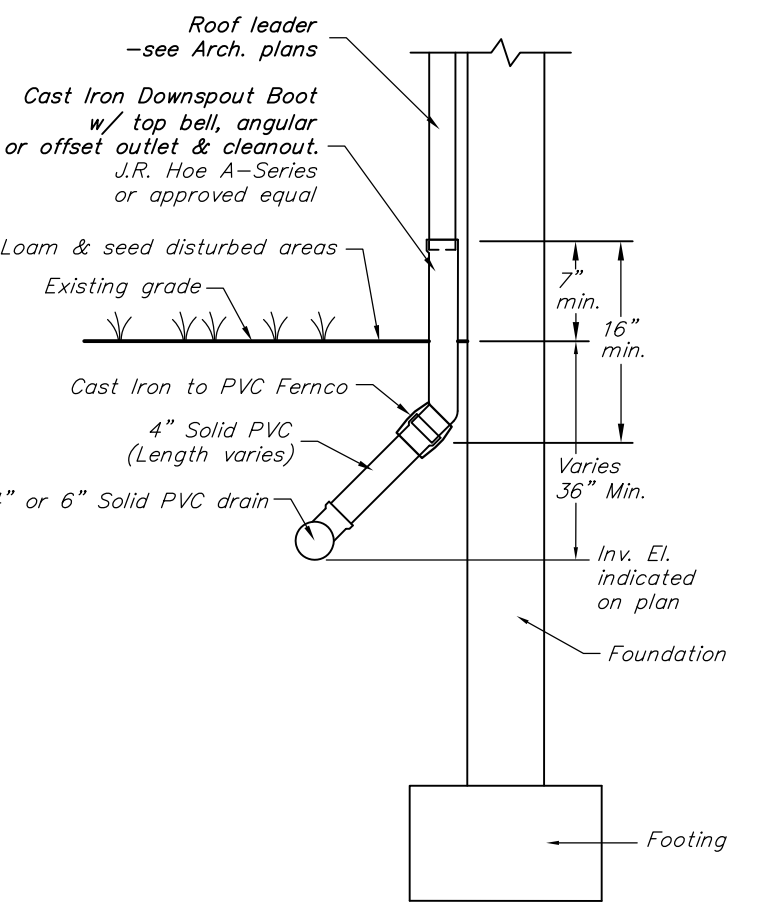


**STANDARD HANDICAP SYMBOL**  
N.T.S.

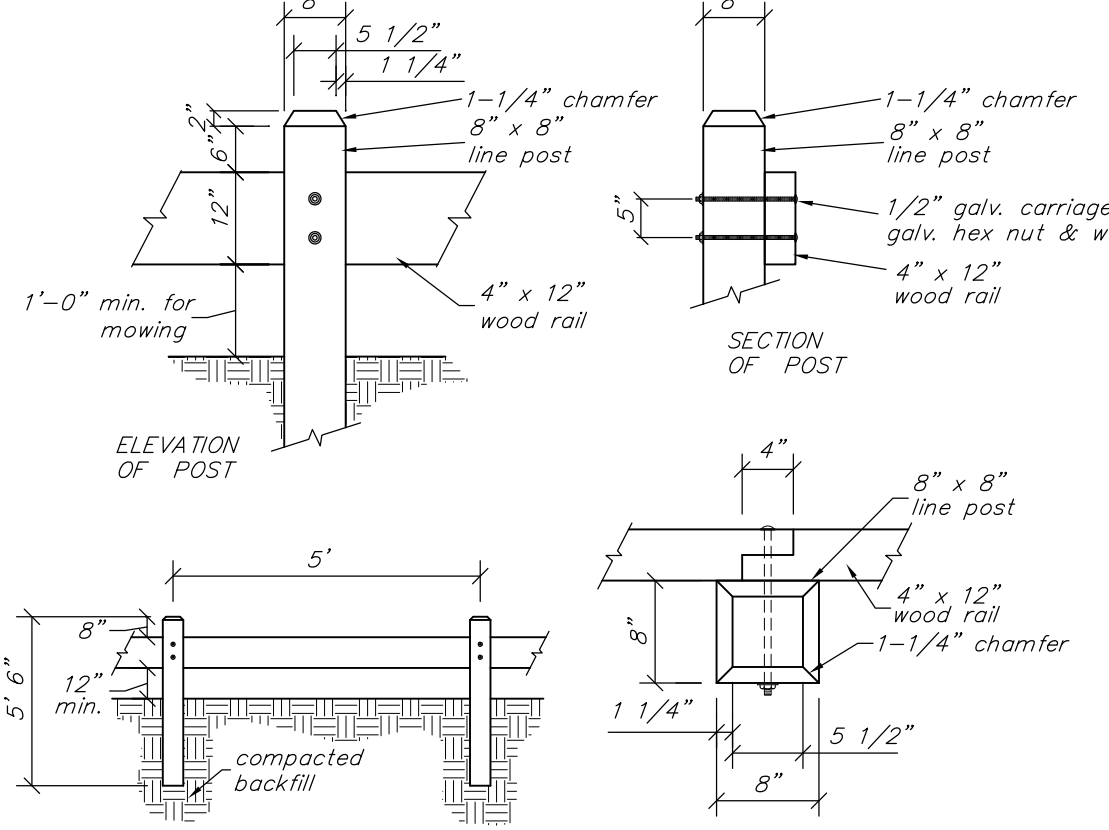


**PARALLEL SIDEWALK FLUSH CURB & RAMPS**  
N.T.S.

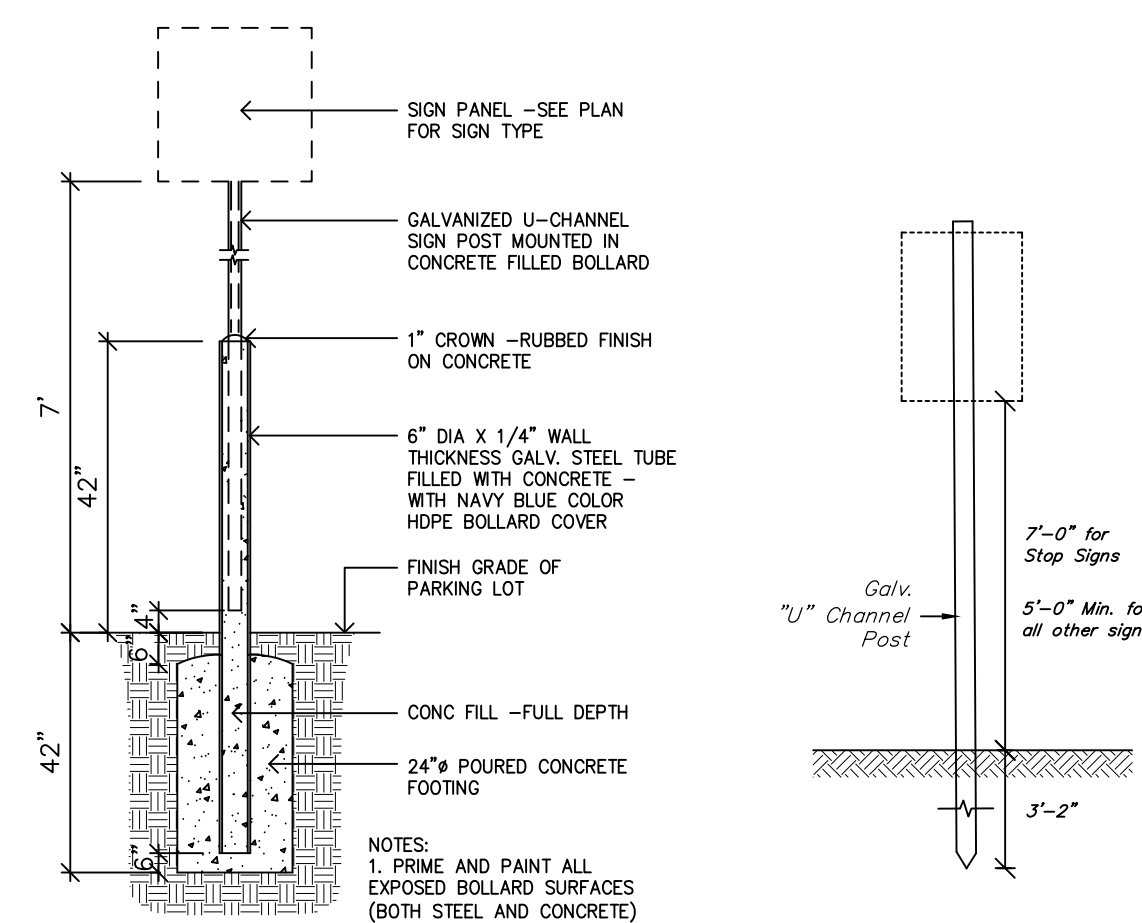
**ACCESSIBLE RAMP DETAILS**  
N.T.S.



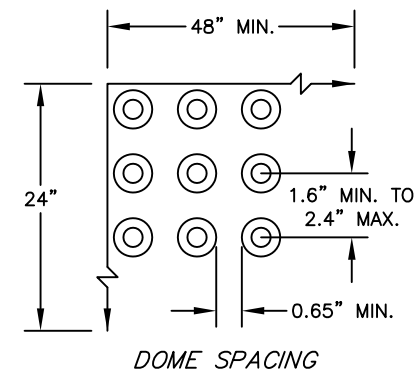
**C.I. ROOF DRAIN CONNECTION DETAIL**  
N.T.S.



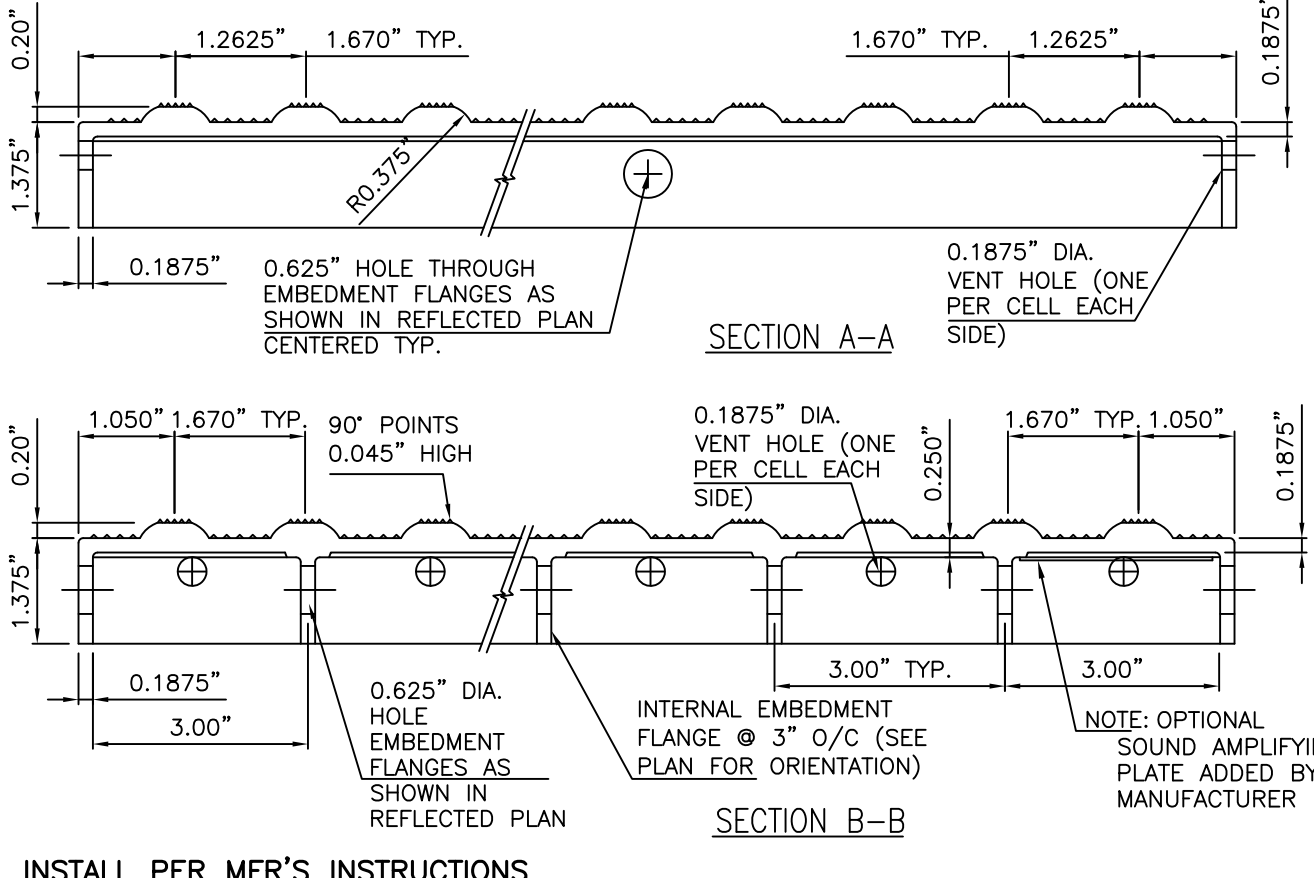
**WOODEN GUIDE RAIL**  
N.T.S.



**SIGN MOUNTED IN STEEL BOLLARD**  
N.T.S.



**DETECTABLE WARNING AREA**  
N.T.S.



**DETECTABLE WARNING DETAIL (CAST IN PLACE) ARMOR-TILE OR APPROVED EQUAL**  
N.T.S.

Approved by the Montville Planning & Zoning Commission on \_\_\_\_\_  
By: \_\_\_\_\_ Chairman, Vice Chairman, Secretary  
Date: \_\_\_\_\_  
Expiration Date: \_\_\_\_\_  
Approval of this site plan by the Commission shall mean certification of the erosion and sediment control plan.

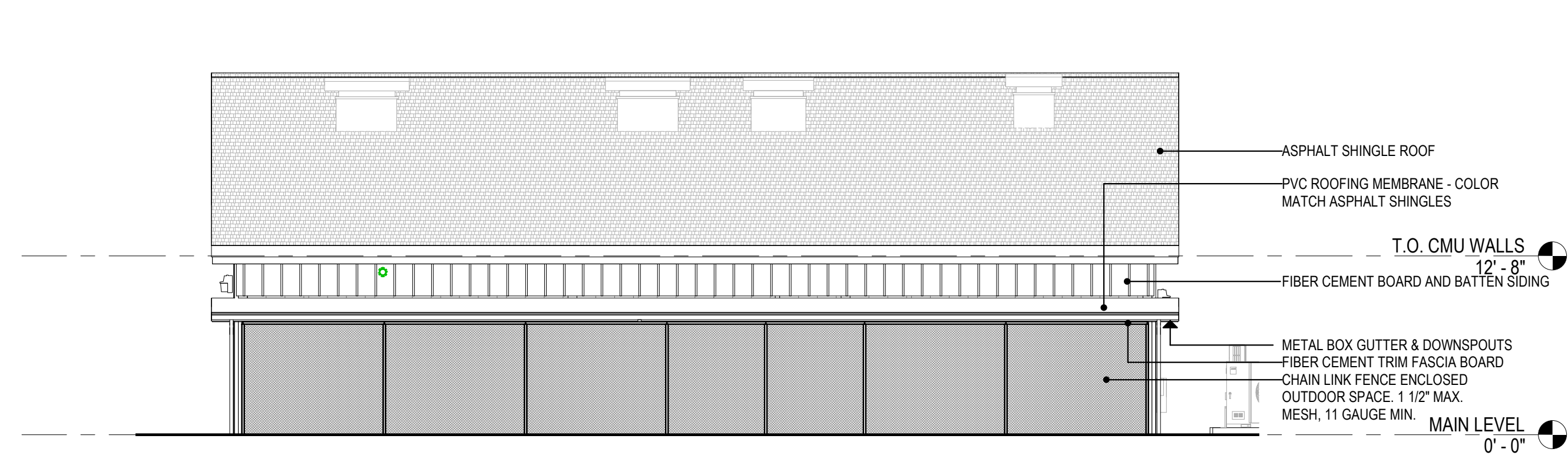
REVISIONS		
NO.	DESCRIPTION	DATE
1	Town Review	10/23/23
2	Town Review	11/8/23



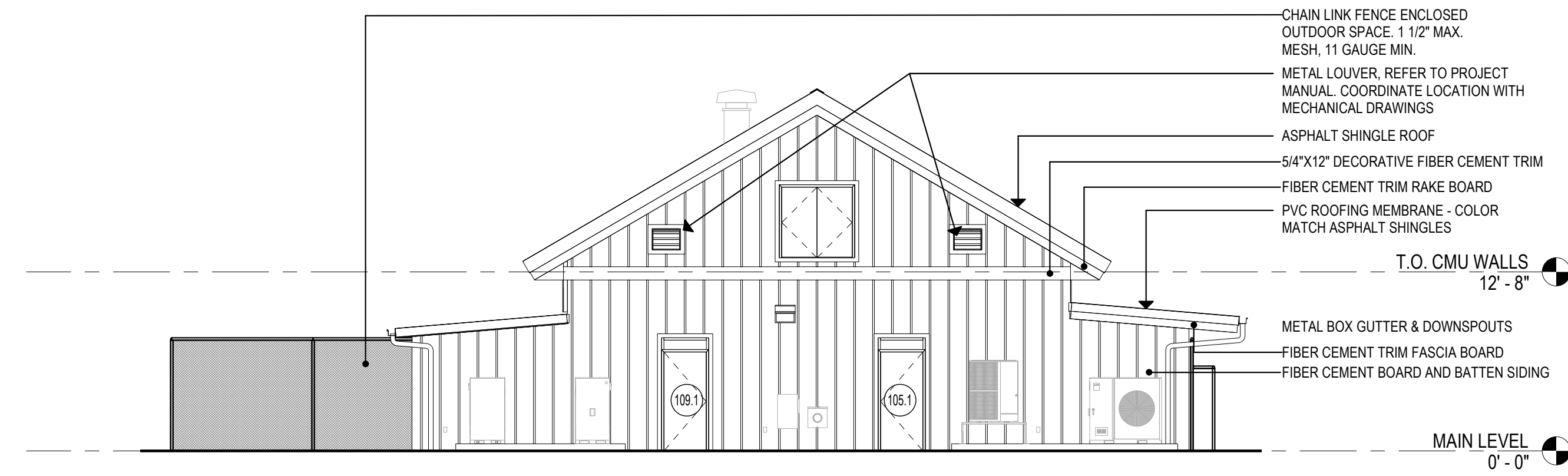
**SILVER / PETRUCELLI + ASSOCIATES**  
Architects / Engineers / Interior Designers  
3190 Whitney Avenue, Hamden, CT 06518-2340  
Tel. 203 230 9007 Fax. 203 230 8247  
silverpetrucelli.com

**DONALD W. SMITH, JR., P.E.**  
CONSULTING ENGINEER  
56 GREENWOOD CIRCLE SEYMOUR, CT 06483  
Tel. 203-888-4904 Fax 203-881-3434 dwsjpe@sbcglobal.net

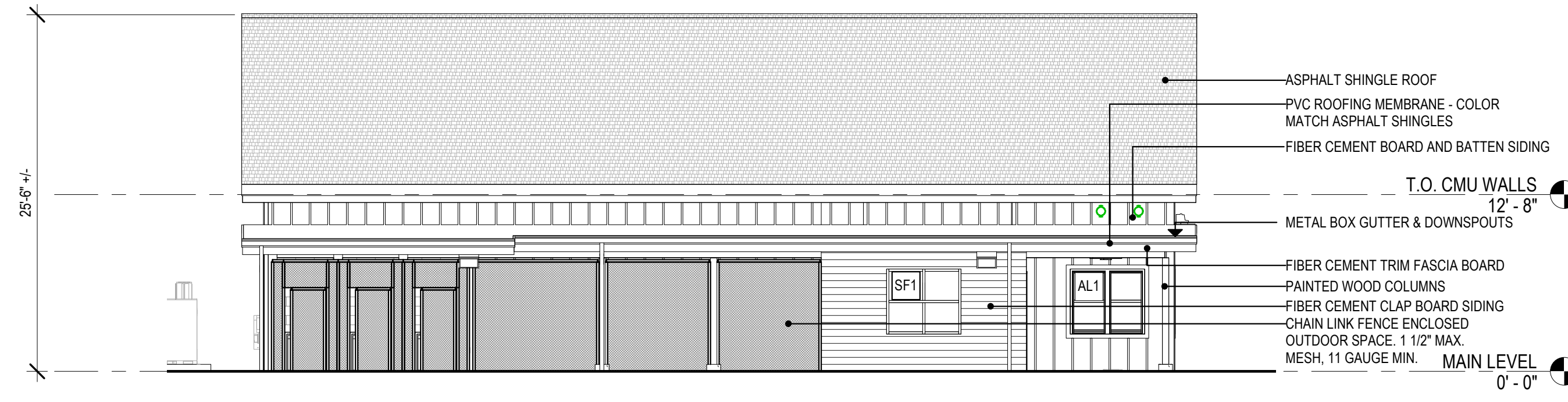
<b>DETAILS</b>		Job No. 22-24
<b>MONTVILLE ANIMAL SHELTER</b>		Scale: As Noted
225 MAPLE AVENUE		Date: 10/2/23
PARCEL I.D. 077-041-000		Designed: D.W.S.
MONTVILLE, CONNECTICUT		Drawn: K.D.K.
		Sheet: C400



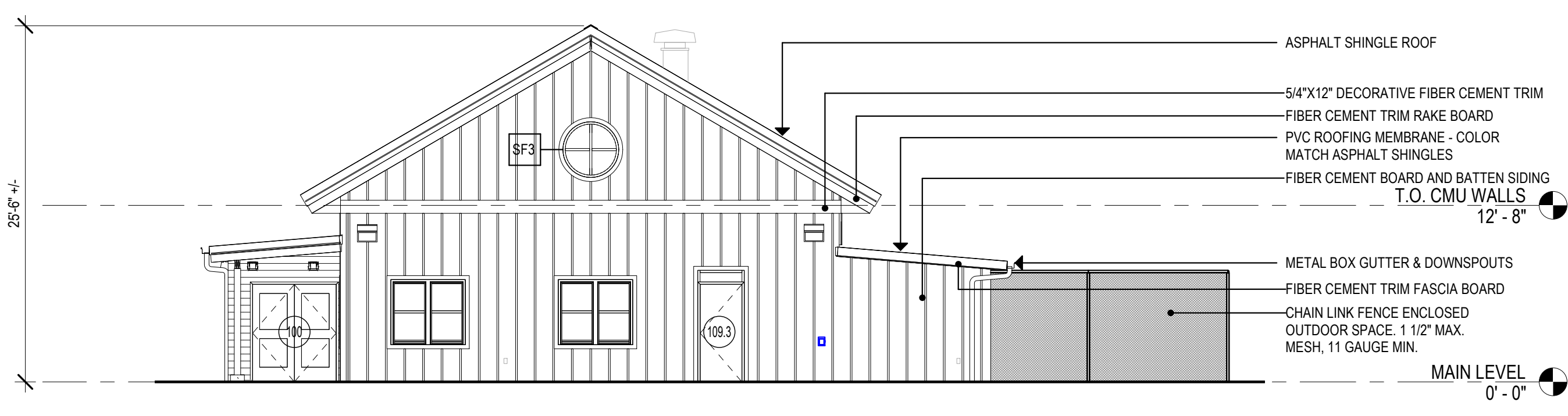
**6 EAST ELEVATION**  
1/8" = 1'-0"



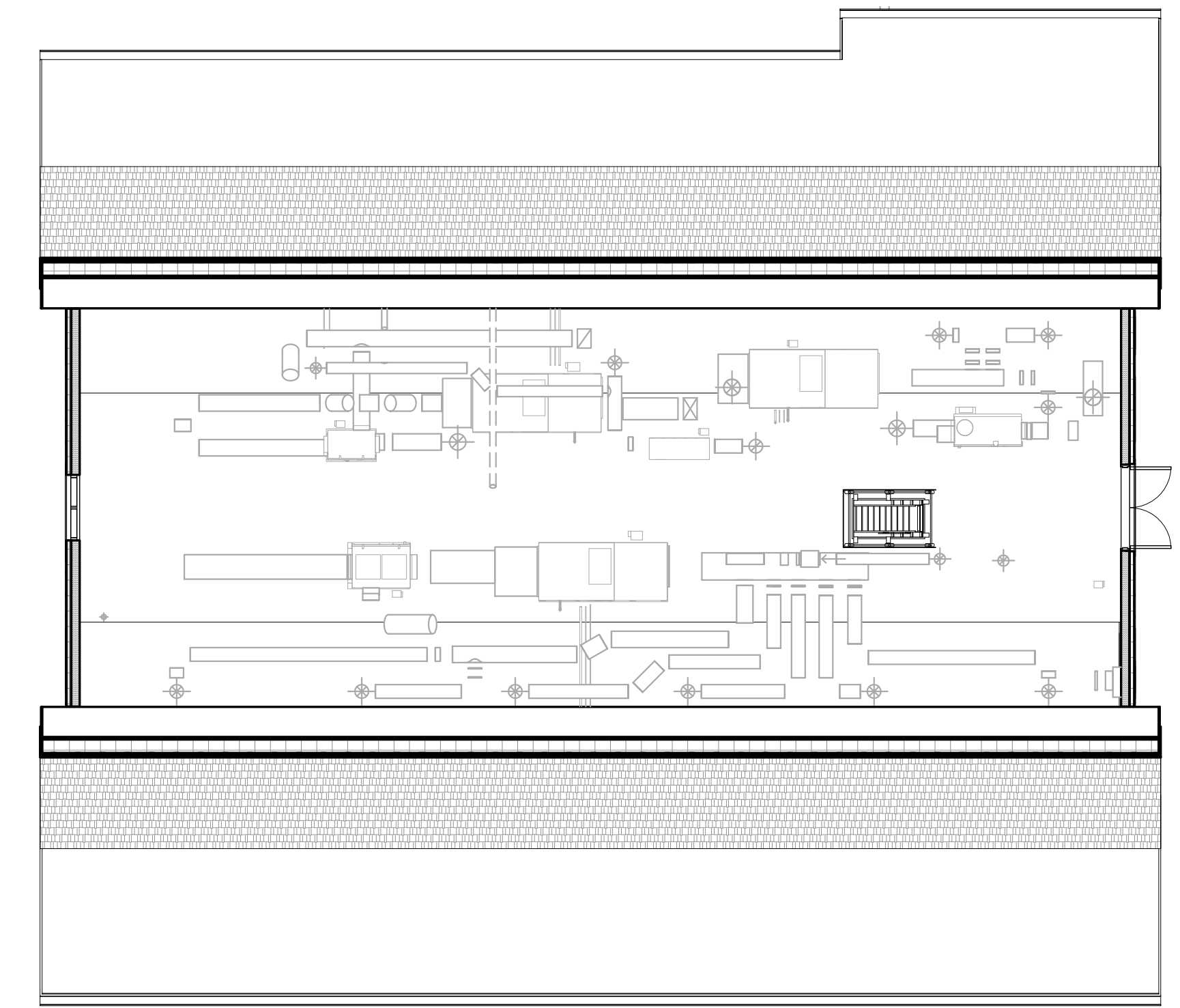
**5 NORTH ELEVATION**  
1/8" = 1'-0"



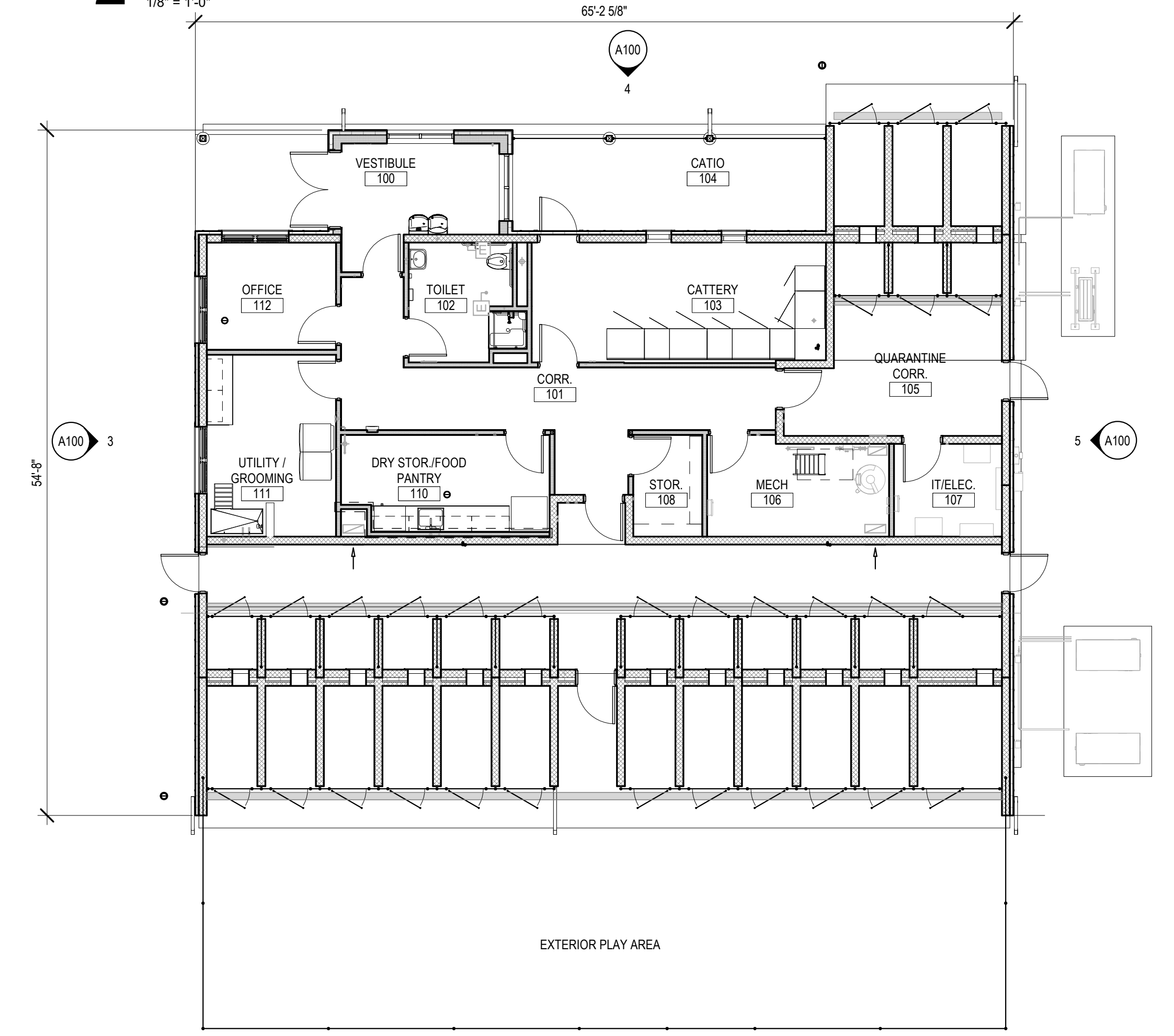
**4 WEST ELEVATION**  
1/8" = 1'-0"



**3 SOUTH ELEVATION**  
1/8" = 1'-0"



**2 ATTIC FLOOR PLAN**  
1/8" = 1'-0"



**1 MAIN LEVEL FLOOR PLAN**  
1/8" = 1'-0"

APPROVED BY THE MONTVILLE PLANNING & ZONING COMMISSION ON \_\_\_\_\_  
 BY: \_\_\_\_\_ CHAIRMAN, VICE CHAIRMAN, SECRETARY  
 DATE: \_\_\_\_\_  
 EXPIRATION DATE: \_\_\_\_\_  
 APPROVAL OF THIS SITE PLAN BY THE COMMISSION SHALL MEAN CERTIFICATION OF THE EROSION AND SEDIMENT CONTROL PLAN.

Project Title:  
**New Animal Facility at:  
 Montville Animal Shelter**  
 225 Maple Ave. Parcel ID: 077-041-000  
 Montville, CT

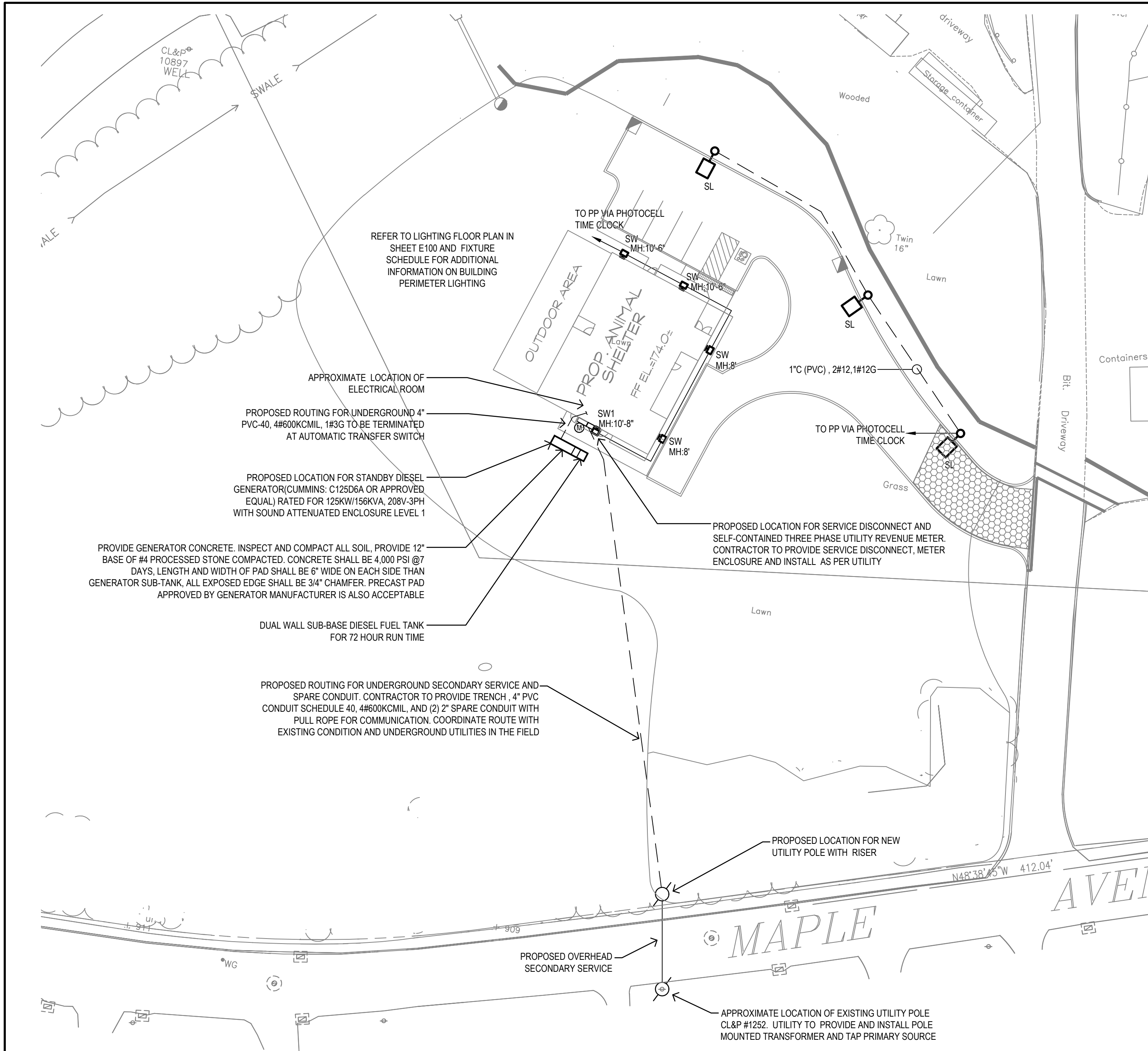


**SILVER PETRUCELLI + ASSOCIATES**  
 3190 WHITNEY AVENUE HAMDEN CT 06518  
 311 STATE STREET NEW LONDON CT 06320  
 203 230 9007 silverpetrucelli.com

Revision:	Description:	Date:	Revised By:

Drawing Title:  
**FLOOR PLANS & ELEVATIONS**

Date: 10/02/2023  
 Scale: 1/8" = 1'-0"  
 Drawn By: MES  
 Project Number: 22-130  
 Drawing Number: **A100**



**1 ELECTRICAL SITE PLAN**  
1"=30'-0"

**LIGHTING FIXTURE SCHEDULE**

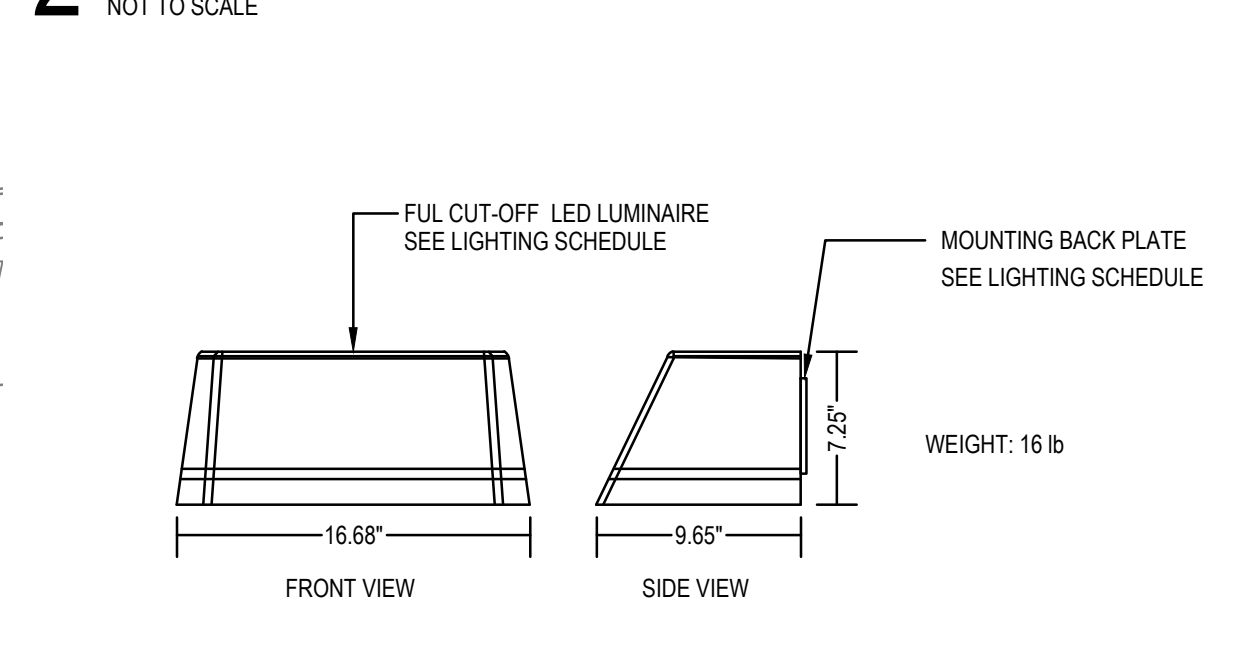
SYMBOL	DESIGNATION	DESCRIPTION	MANUFACTURER/ MODEL NUMBER	LAMP			ELECTRICAL			NOTES
				TYPE	COLOR TEMP	NO	BALLAST	VOLTAGE	WATTS	
SL	SL	SMALL 16.76" LED SQUARE SINGLE HEAD LIGHT TYPE-3 DISTRIBUTION	BEACON VP-1-160L-35-4K8-3-UNV-A-PC	LED	4,000	-	ELECTRONIC	UNV.	36.8	(1) (4)
SW	SW	BUILDING PERIMETER LED COMPACT WALL PACK LIGHT TYPE-4 DISTRIBUTION	HUBBELL TRP2-24L-30-4K8-4-UNV-PC	LED	4,000	-	ELECTRONIC	UNV.	27.9	(1) (4)
SW1	SW1	BUILDING PERIMETER LED COMPACT WALL PACK LIGHT TYPE-3 DISTRIBUTION	HUBBELL TRP2-24L-30-4K8-3-UNV-PC	LED	4,000	-	ELECTRONIC	UNV.	27.9	(1) (4)

**LIGHTING FIXTURE SCHEDULE**

- PROVIDE BACKING PLATE, FOAM GASKET, MOUNTING PLATE, ARM ADAPTER, ALL ASSEMBLY REQUIRED, AND ALL ADDITIONAL MATERIALS AND ACCESSORIES REQUIRED FOR COMPLETE INSTALLATION TO BE FULLY OPERATIONAL.
- ALL FIXTURES SHALL BE CAPABLE OF OPERATING IN COLD TEMP (0° F).
- ALL LIGHTING FIXTURE SHALL BE UL LISTED FOR WET LOCATIONS.
- FIXTURE TO BE PROVIDED WITH INTEGRATED BUTTON PHOTOCONTROL.

**SYMBOL AND ABBREVIATION:**  
MH MOUNTING HEIGHT.

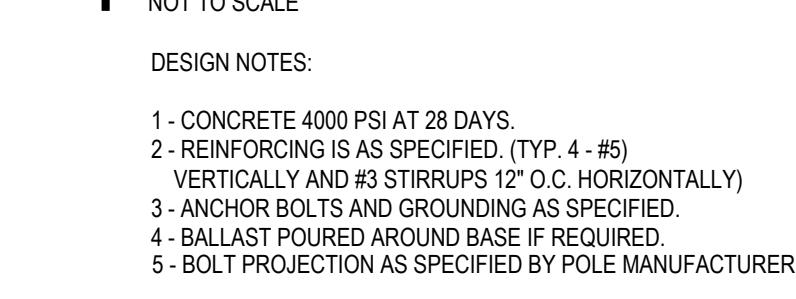
**2 POLE MOUNTED LUMINAIRE DETAIL**  
NOT TO SCALE



**3 BUILDING MOUNTED LUMINAIRE DETAIL**  
NOT TO SCALE

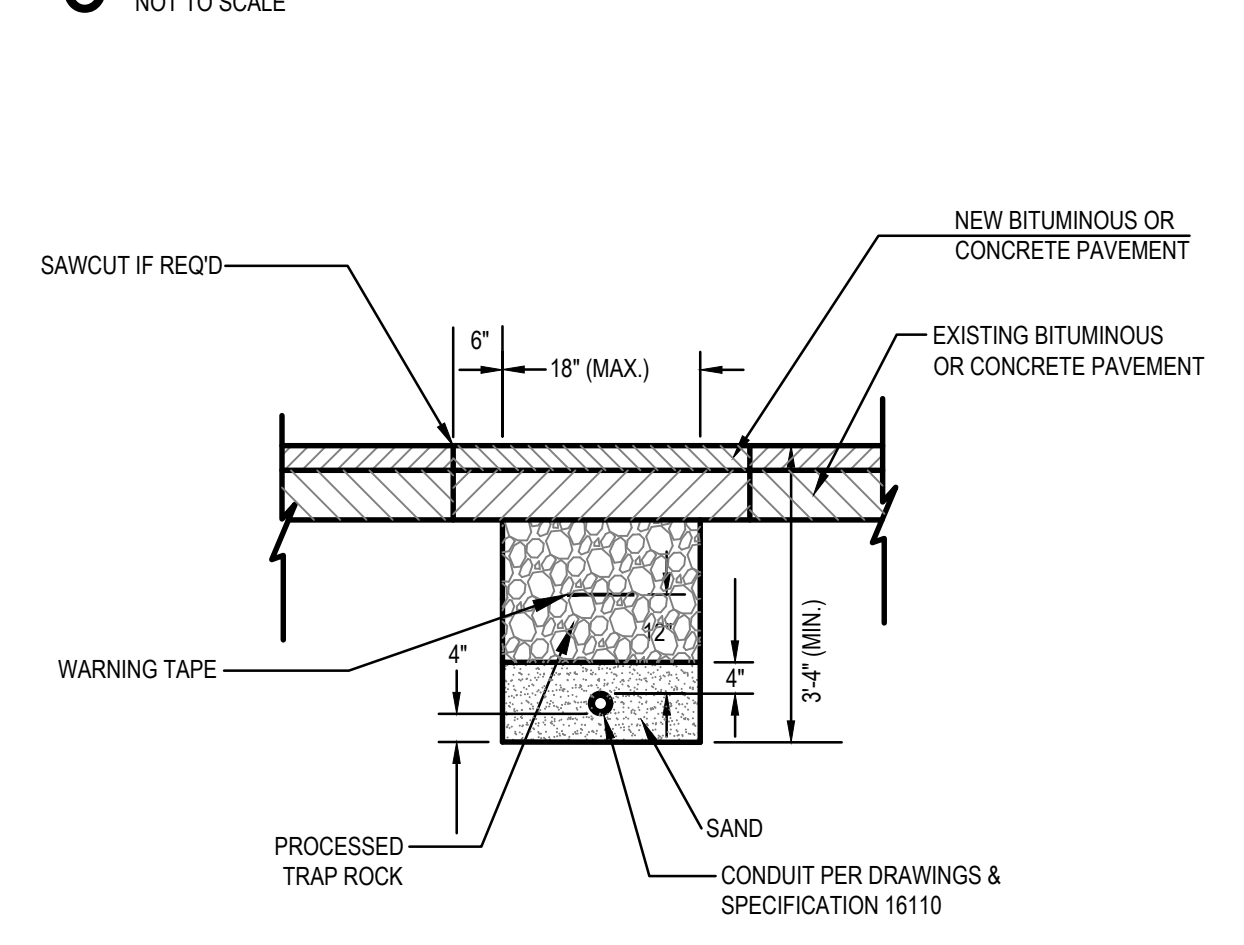


**4 LIGHTING POLE BASE DETAIL**  
NOT TO SCALE

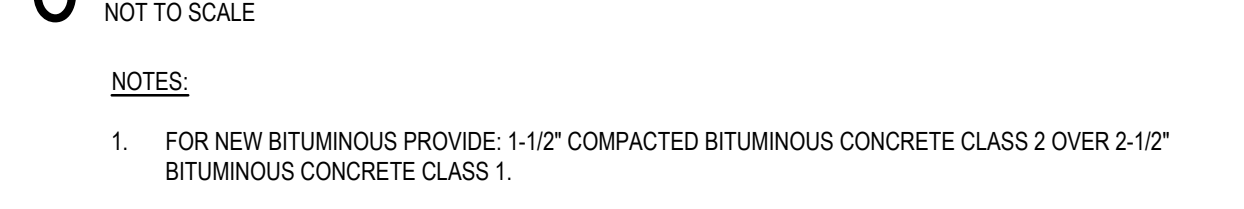


DESIGN NOTES:  
1 - CONCRETE 4000 PSI AT 28 DAYS.  
2 - REINFORCING IS AS SPECIFIED, (TYP. 4 - #5)  
VERTICALLY AND #3 STIRRUPS 12" O.C. HORIZONTALLY  
3 - ANCHOR BOLTS AND GROUNDING AS SPECIFIED.  
4 - BALLAST POURED AROUND BASE IF REQUIRED.  
5 - BOLT PROJECTION AS SPECIFIED BY POLE MANUFACTURER.

**5 TYPICAL TRENCHING AND BACKFILLING DETAIL**  
NOT TO SCALE

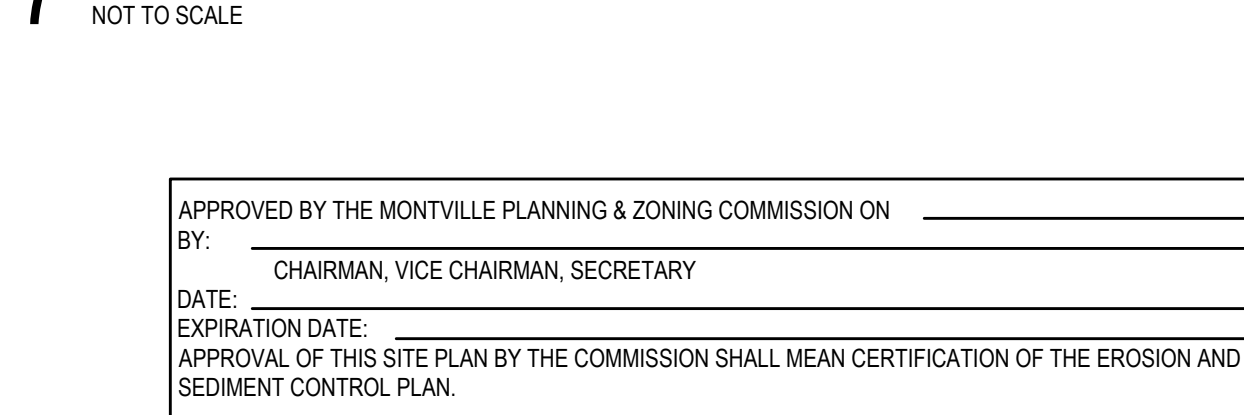


**6 TYPICAL TRENCHING AND BACKFILLING DETAIL**  
NOT TO SCALE



NOTES:  
1. FOR NEW BITUMINOUS PROVIDE: 1-1/2\"/>

**7 SERVICE POLE DETAILS**  
NOT TO SCALE



**CALL BEFORE YOU DIG**  
1-800-922-4455 OR 811  
CALL NO LESS THAN TWO FULL WORKING DAYS AND NO MORE THAN 30 DAYS  
PRIOR TO START OF EXCAVATION MONDAY THRU FRIDAY, 7AM TO 5PM

APPROVED BY THE MONTVILLE PLANNING & ZONING COMMISSION ON \_\_\_\_\_  
BY: \_\_\_\_\_  
CHAIRMAN, VICE CHAIRMAN, SECRETARY  
DATE: \_\_\_\_\_  
EXPIRATION DATE: \_\_\_\_\_  
APPROVAL OF THIS SITE PLAN BY THE COMMISSION SHALL MEAN CERTIFICATION OF THE EROSION AND  
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Project Title:  
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311 STATE STREET NEW LONDON CT 06320  
203 230 9007 silverpetrucelli.com

Revision:	Description:	Date:	Revised By:

Drawing Title:  
**ELECTRICAL SITE PLAN**

Date: 10/02/2023  
Scale: \_\_\_\_\_  
AS NOTED  
Drawn By: \_\_\_\_\_  
JRP  
Project Number: 23.130

**ES100**