
**NEW ANIMAL SHELTER
225 MAPLE AVENUE
MONTVILLE, CT 06353**

S/P+A PROJECT #22.130

DATE: November 27, 2023

The following changes to the Drawings and Project Specifications shall become a part of the Drawings and Project Specifications; superseding previously issued Drawings and Project Specifications to the extent modified by Addendum #1.

General Information:

- The pre-bid sign-in sheet is attached for reference. (1)
- The deadline for RFIs is Tuesday, November 28, 2023, 10:00am.
- See attached RFI log. (2)
- As indicated in the Invitation to Bid, RFIs should be sent to Barbara Griffin, Director of Finance. Her email address is bgriffin@montville-ct.org.

New Specifications:

- SECTION 329300, PLANTS has been added and is attached as part of this addendum. (8)

Changes to the Specifications:

- COVER, Volume 1 & 2, revise Zip Code “06791” to read “06353”.
- TABLE OF CONTENTS:
 - Project Title, revise Zip Code “06791” to read “06353”.
 - Division 32 – Exterior Improvements, Section 329300, Pages, revise “6” to read “8”.
- BID FORM, Project, revise Zip Code “06791” to read “06353”.
- DRAWING LIST, Project Title, revise Zip Code “06791” to read “06353”.
- SECTION 084113, ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS:
 - Page 6:
 - Article 2.3.A.3., revise “Front” to read “Center”.
 - Articles 2.3.B. and .C., delete in their entirety.
 - Page 7, Article 2.4.A.1., revise “1-3/4-inch” to read “2¼-inch”.
- SECTION 131850, ANIMAL SHELTER AND KENNEL EQUIPMENT, Page 1, Part 2, Article 0.1.A, add “Model BG 1631, without sill”.

Changes to the Drawings:

- The following CIVIL drawings have been deleted in their entirety. New drawings have been added and are attached as part of this addendum*:
 - C100 SITE PLAN
 - C200 EXISTING CONDITIONS & DEMOLITION PLAN
 - C300 GRADING, EROSION CONTROL & UTILITY PLAN
 - C400 DETAILS

- The following ARCHITECTURAL drawings have been deleted in their entirety. New drawings have been added and are attached as part of this addendum*:
 - A110 FLOOR PLANS
 - A600 WINDOW ELEVATIONS & DETAILS
 - A900 PARTITION TYPES, DOOR SCHEDULE & DETAILS

- The following ELECTRICAL drawings have been deleted in their entirety. New drawings have been added and are attached as part of this addendum*:
 - E500 ELECTRICAL SCHEDULES
 - E600 ELECTRICAL RISER DIAGRAM

- DRAWING E500, ELECTRICAL SCHEDULES, Lighting Fixture Schedule, Manufacturer/Model Number:
 - Designations 'X' and 'X1', revise 'AC' to read 'E'.
 - Designation 'X2', revise 'A' to read 'E'.

The bid date remains unchanged by this addendum.

The addendum consists of thirteen (13) pages of 8½" x 11" text and nine (9) 30" x 42" drawings*.
End of Addendum #1

11/9/2023

MONTVILLE ANIMAL SHELTER
PRE-BID MEETING
SIGN IN:

10:00 AM

G. Donovan Associates Jeff Erfe estimating@gdonovan.com
627 Rt 32 N. Franklin CT 06254 860-642-0760

Rob Croston ESC Controls r.croston@esccontrols.com
10 Teason Ct, West Hartford, CT (860) 471-1941

Brian Piolunek D/E/F Services group bpiolunek@desg.com
860-942-7426

MIKE KIROZIK MUNGER CONSTRUCTION 203-996-8774

M KIROZIK & MUNGER CONSTRUCTION, WM

NOSAL BUILDERS, INC. ROEL LEGASPI 203-919-2442 ESTIMATING@NOSALBUILDERS.COM

860 644 2424
Orlando Annulli + Son, Allison Annulli, ALLISON@ANNULLI.COM

203 303 1317
Jonell Webster / Diversity Construction Group Estimating@DiversityCG

LEON KATEBI BRD Builders L.KATEBI@brdbuilders.com

(860) 706-0359



SILVER PETRUCELLI + ASSOCIATES
 3190 Whitney Avenue | Hamden CT 06518
 311 State Street | New London CT 06320

BID RFI LOG

Project: **New Animal Shelter - Montville**
 State Project/Bid #:
 S/P+A Project #: **22.130**

RFI Deadline: **11/28/23, 10a**
 Bids Due: **12/05/23, 10a**

| RFI # | QUESTION | DATE RECEIVED | RESPONSE | ADDENDUM # ISSUED |
|-------|--|---------------|---|-------------------|
| 001 | Regarding "Montville Animal Shelter" project, could you confirm that the scale of 1":1000' on the cover sheets is correct? It shows that Site Area are around 3,500SF. On C-300, I see a site with almost 150,000 SF area and a rectangle building with almost 3,500SF area. Please clarify. | 11/02/23 | | |
| 002 | Would you kindly advise if this project requires DAS Pre-Qualification? | 11/17/23 | | |
| 003 | What is the starting date for the project? | 11/21/23 | | |
| 004 | Please clarify the extend of survey you are requiring. Do you want a survey of the entire 11-acre Town owned parcel or just the building area? | 11/21/23 | No survey is required. | 1 |
| 005 | Do you want final as built survey a. of just the foundation? b. project area only? c. property improvement of 11-acre parcel? | 11/21/23 | a. Yes. b. Yes. c. No. | 1 |
| 006 | Is testing agency costs by the owner? If not provide a list of special inspections to be carried by the general contractor. | 11/21/23 | | |
| 007 | Can the job super be in charge of the quality control or should we have a separate quality control person full time on site? | 11/21/23 | | |
| 008 | Can we use the owner's toilets in existing building or carry separate temporary toilets? | 11/21/23 | | |
| 009 | Are we to carry field computer, printer and internet and phone service in trailer for the owner/Architect? | 11/21/23 | | |
| 010 | Are we to carry a project sign? If so, please provide size and list of names to be included. | 11/21/23 | | |
| 011 | Are we to carry pest control? If so, please provide exact specification. | 11/21/23 | | |
| 012 | Please provide limits of temporary fence for the project. | 11/21/23 | | |
| 013 | You have a spec section 329300 Plants but nothing has been provided. | 11/21/23 | Refer to Addendum #1. | 1 |
| 014 | Please provide specifications and details for 24 LF of timber guardrail shown on drawing C100. | 11/21/23 | Refer to Addendum #1 for revised drawings. | 1 |
| 015 | Please provide Kawneer model numbers for the basis-of-design storefront and entrance doors as several products meet the specifications. | 11/21/23 | Storefront: Trifab 451UT Framing System Doors: 500T Insulpour Thermal Entrances | 1 |
| 016 | Specification section 084113-2.3-A-3 calls for the glazing plane to be front, while drawings A600 depicts center plane. Which is correct? | 11/21/23 | Center plane is correct. | 1 |
| 017 | Glass type GL-13, listed in specification 088000-2.14-H, is indicated as tinted but a tint color is not provided. Referencing specification section 088000-2.2-B & 088000-2.2-C, the tint color is listed as "selected by Architect and Owner from manufacturer's full range". As different tints and tin types have varying price points, can a more specific range be provided for balanced pricing? | 11/21/23 | Gray and bronze tint ranges. | 1 |
| 018 | Glass type GL-13, listed in specification 088000-2.14-H, is indicated to receive a low-e coating on the #3 surface, but no product is listed. Please provide desired products. | 11/21/23 | | |
| 019 | The door schedule on drawing A900 indicates door 100 to be an aluminum door with a type B frame. Type B frame indicates a 6" frame header which is not offered. Our option would be to stack 2" mullions to achieve the 6" height, but there will be seams visible. Please confirm the stacking is acceptable. If not, please provide alternate direction/detail. | 11/21/23 | Door 100 frame to be Type C. | 1 |
| 020 | Please confirm the opening opposite door 100, in Vestibule 100, is to be type SF15. There are several questions regarding the round opening marked SF3. a. As drawn, we cannot utilize the system drawn as there are issues both with the bending, and the configuration to be able to glaze it. An alternate product that can be bent and configured for glazing would be Kawneer's Encore system. This product can be found at https://www.kawneer.us/products/storefront-framing/encore-framing-system/ . Please confirm if this is acceptable to utilize at this location. If not, please provide direction. b. The details indicate a subsill around the entirety of the opening. This would not be possible as this application would not shed water like a typical storefront system. We recommend a framing only install with full perimeter sealant and a wet sealed glazing system to ensure no water infiltration. Please confirm this is acceptable. c. The perimeter flashing indicated cannot be bent by our vendors to the radius without damaging the metal. We have not found a suitable substitute for this. Please provide | 11/21/23 | Both windows in Vestibule 100 are SF1. a. The Encore framing system is acceptable. b. This would be acceptable. c. Refer to Addendum #1 for drawing revisions. | 1 |



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BID RFI LOG

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State Project/Bid #:
S/P+A Project #: **22.130**

RFI Deadline: **11/28/23, 10a**
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| RFI # | QUESTION | DATE RECEIVED | RESPONSE | ADDENDUM # ISSUED |
|-------|--|---------------|--|-------------------|
| 021 | Retractable Stairs: a. Do you want a lock for the door panel? b. Do you want 2-hour fire rated door panel with lock? | 11/21/23 | a. No lock. b. No rating is required. | 1 |

SECTION 329300 - PLANTS

PART 1 - GENERAL

1.1 SECTION INCLUDES

- A. The work shall include, but not be limited to, the following:
1. New trees, plants, and ground cover including trees and shrubs.
 2. Mulch and fertilizer.
 3. Maintenance.

1.2 RELATED SECTIONS

- A. Section 329115 - Soil Preparation: Preparation of subsoil and placement of topsoil in preparation for the work of this Section.

1.3 REFERENCES

- A. ANSI Z60.1 - Nursery Stock.
B. "American Standards for Nursery Stock", latest edition.

1.4 DEFINITIONS

- A. Weeds: Includes Dandelion, Jimsonweed, Quackgrass, Horsetail, Morning Glory, Rush Grass, Mustard, Lambsquarter, Chickweed, Cress, Crabgrass, Canadian Thistle, Nutgrass, Poison Oak, Blackberry, Tansy Ragwort, Johnson Grass, Poison Ivy, Nut Sedge, Nimble Will, Bindweed, Bent Grass, Wild Garlic, Silverlace, and Crab Grass, Japanese Knotweed.
- B. Plants: Living trees, plants, and ground cover specified in this Section.

1.5 OPERATION AND MAINTENANCE DATA

- A. Submit instructions for continuing Owner maintenance under provisions of Division
1. Include cutting and trimming methods; types, application frequency, and recommended coverage of fertilizer.

1.6 QUALITY ASSURANCE

- A. Supply plants in compliance with "Standardized Plant Names: as adapted by the latest edition of the American Joint Committee of Horticultural Nomenclature. Provide stock true to botanical name and legibly tagged.
- B. Comply with sizing and grading standards of the latest edition of "American Standards for Nursery Stock."
- C. All plants to be grown in nurseries with climatic conditions similar to the locality of the project.
- D. Stock furnished shall be at least the minimum size indicated. Larger stock is

acceptable, at no additional cost, providing that the larger plants will not be cut back to the size indicated.

- E. Plants may be inspected and approved at the place of growth for compliance with specification requirements for quality, size, and variety. Such approval shall not impair the right of inspection and rejection upon delivery at the site or during the progress of the work.

1.7 QUALIFICATIONS

- A. Nursery: Company specializing in growing and cultivating the plants with three years documented experience.
- B. Installer: Company specializing in installing and planting the plants with three years documented experience approved by nursery.

1.8 REGULATORY REQUIREMENTS

- A. Comply with regulatory requirements for fertilizer and herbicide composition.

1.9 DELIVERY, STORAGE, AND HANDLING

- A. Deliver products to site under provisions of Division 1. Cover plants transported in open vehicles to prevent windburn.
- B. Deliver fertilizer in waterproof bags showing weight, chemical analysis, and name of manufacturer.
- C. Protect plants until planted.
- D. Deliver plant life materials immediately prior to placement. Keep plants moist.

1.10 ENVIRONMENTAL REQUIREMENTS

- A. Do not install plant life when ambient temperatures may drop below 35 degrees F or above 80 degrees F.
- B. Do not install plants when wind velocity exceeds 30 MPH.

1.11 SEQUENCING AND SCHEDULING

- A. Coordinate work under provisions of Division 1. Notify Landscape Architect at least seven (7) working days prior to installation of plant material.

1.12 WARRANTY

- A. Provide a warranty on work of this Section for a minimum of one year including one continuous growing season.
- B. Warranty: Include coverage of plants from death or unhealthy conditions. Replace dead, unvigorous, or unhealthy plants.
- C. Replacements: Plants of same size and species as specified, planted in the next growing season, with a new warranty commencing on date of replacement.

1.13 MAINTENANCE SERVICE

- A. Maintenance Services: Performed by installer.
- B. Maintain plant life immediately after placement until plants are well established and exhibit a vigorous growing condition. Continue maintenance until termination of warranty period.
- C. Maintenance to include:
 1. Cultivation and weeding plant beds and tree pits.
 2. Application of herbicides for weed control in accordance with manufacturer's instructions. Remedy damage resulting from use of herbicides.
 3. Application of pesticides in accordance with manufacturer's instructions. Remedy damage from use of pesticides.
 4. Irrigating sufficient to saturate root system.
 5. Trimming and pruning, including removal of clippings and dead or broken branches, and treatment of pruned areas or other wounds.
 6. Disease control.
 7. Maintaining wrapping, guys, turnbuckles, and stakes. Adjust turnbuckles to keep guy wires tight. Repair or replace accessories when required.

PART 2 - PRODUCTS

2.1 TREES, PLANTS, AND GROUND COVER

- A. Plants: Provide plant typical of their species or variety; with normal, densely developed branches and vigorous, fibrous root systems. Provide only sound, healthy, vigorous plants free from defects, disfiguring knots, sun scale, injuries, and frost cracks, abrasions of the bark, plant diseases, voids and open spaces. Plants held in storage will be rejected if they show signs of growth during storage.
 1. Dig balled and burlapped plants with firm, natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant. Cracked or mushroomed balls are not acceptable.
 2. Container-grown stock: Grown in a container for sufficient length of time for the root system to have developed to hold its soil together, firm and whole.
 - a. No plants shall be loose in the container.
 - b. Container stock shall not be pot bound.
 3. Provide tree species that mature at heights over 25'-0" with a single main trunk. Trees that have the main trunk forming a "Y" shape are not acceptable.
 4. Plants planted in a row shall be matched in form.
 5. Plants larger than those specified in the plant list may be used when acceptable to the Owner.
 - a. If the use of larger plants is acceptable, increase the spread of roots or root ball in proportion to the size of the plant.
 6. The height of the trees, measured from the crown of the roots to the top of the top branch, shall not be less than the minimum, size designated in the plant list.

7. No pruning wounds shall be present with a diameter of more than one inch and such wounds must show vigorous bark on all edges.
8. Evergreen trees shall be branched to the ground.
9. Shrubs shall meet the requirements for spread and height indicated in the plant list.
 - a. The measurements for height shall be taken from the ground level to the average height of the top of the plant and not the longest branch.
 - b. Single stemmed or thin plants will not be accepted.
 - c. Side branches shall be generous, well-twiggged, and the plant as a whole well-bushy to the ground.
 - d. Plants shall be in moist, vigorous condition, free from dead wood, bruises, or other root or branch injuries.

2.3 SOIL MATERIALS

- A. Topsoil for Planting Pits and Beds: Fertile, friable, natural topsoil of loamy character, without a mixture of subsoil material, obtained from a well-drained arable site, reasonably free from clay, lumps, coarse sand, stone, plants, roots, sticks and other foreign material, with an acidity range between 6.0 and 6.5.
 1. Identify source location of topsoil proposed for use on the project.
 2. Provide topsoil free of substances harmful to the plants which will be grown in the soil.

2.4 SOIL AMENDMENT MATERIALS

- A. Fertilizer: Commercial type containing 12% nitrogen, 13% phosphoric acid, and 12% potash by weight. One-quarter of nitrogen in the form of nitrates, one-quarter in the form of ammonia salt, and one-half in the form of organic nitrogen.
- B. Peat Moss: Shredded, loose, sphagnum moss; free of lumps, roots, inorganic material or acidic materials; weed and seed free, granulated raw peat or baled peat, containing not more than 9% mineral on a dry basis.
- C. Bone Meal: Commercial grade, minimum of 3 percent nitrogen and 20 percent phosphorous.
- D. Lime: Ground limestone, dolomite type, minimum 95 percent carbonates.
- E. Water: Clean, fresh and free of substances or matter which could inhibit vigorous growth of plants.
- F. 'M Roots' or approved substitute.

2.5 MULCH MATERIALS

- A. Mulching Material: Shredded bark type, approved by the Landscape Architect.

2.6 ACCESSORIES

- A. Wrapping Materials: Standard waterproof tree wrapping paper; Krinkle Kraft or equal.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Verify that prepared subsoil is ready to receive work.
- B. Beginning to installation means acceptance of existing conditions.

3.2 PREPARATION OF SUBSOIL

- A. Prepare subsoil to eliminate uneven areas. Maintain profiles and contours. Make changes in grade gradual. Blend slopes into level areas. Remove foreign materials, weeds, and undesirable plants and their roots. Remove contaminated subsoil.
- B. Scarify subsoil to a depth of 3 inches where plants are to be placed. Repeat cultivation in areas where equipment used for hauling and spreading topsoil has compacted subsoil.
- C. Dig pits and beds 6 inches larger than plant root system.

3.3 PREPARATION

- A. Time of planting:
 - 1. Evergreen material: Plant evergreen materials between August 15 and September 30 or March 1 to May30. If project requirements require planting at other times, plants shall be sprayed with anti-desiccant prior to planting operations.
 - 2. Deciduous material: Plant deciduous material in a dormant condition. If deciduous trees are planted in leaf, they shall be sprayed with an anti-desiccant prior to planting.
- B. Planting shall be performed only by experienced workmen familiar with planting procedures under the supervision of a qualified supervisor.
- C. Locate plants as indicated or as approved in the field after staking by the Contractor. If obstructions are encountered discontinue operations until alternate plant locations are chosen by the Landscape Architect.
- D. Excavate circular plant pit with vertical sides, except for plants specifically indicated to be planted in beds. Provide shrub pits at least twelve (12) inches greater than the diameter of the root system and 24" greater for trees. Depth of pit shall accommodate the root system. Scarify the bottom of the pit to a depth of four (4) inches. Remove excavated materials from the site.
- E. Provide pre-mixed planting mixture for use around the balls and roots of the plants consisting of six parts planting topsoil, one part peat moss and one part dehydrated cow manure. Add 1/2 pound plant fertilizer for each cubic yard of mixture.
- F. Provide pre-mixed ground cover bed planting mixture consisting of three parts planting topsoil to one part peat moss and 1/2 pound of fertilizer per cubic yard. Provide beds a minimum of eight inches deep.

3.4 INSTALLATION

- A. Set plant material in the planting pit to proper grade and alignment. Set plant upright, plumb, and faced to give the best appearance or relationship to each other or adjacent structure. Set plant material two (2) to three (3) inches above the finish grade. No filling will be permitted around the trunks or stems. Backfill the pit with planting mixture. Do not use frozen or muddy mixtures for backfill.
- B. After balled and burlapped plants are set, muddle planting soil mixture around base of balls and fill all voids.
 - 1. Remove all burlap, ropes and wires from the tops of balls.
 - 2. Remove completely all non bio-degradable materials.
- C. Space ground cover plants in accordance with indicated dimensions. Adjust planting as necessary to evenly fill planting bed with indicated quantity of plants. Plant to within twelve (12) inches of trunks of trees and shrubs with the planting bed, and to within six (6) inches of the edge of the bed.

3.5 MULCHING

- A. Mulch trees and shrub planting pits and shrub beds with required mulching material three (3) inches deep immediately after planting. Thoroughly water mulched areas. After watering, rake mulch to provide a uniform finished surface.

3.07 WRAPPING, GUYING, AND STAKING

- A. Inspect trees for injury to trunks, evidence of insect infestation, and improper pruning before planting.
- B. Wrap trunks of all trees spirally from bottom to top with specified tree wrap and secure in place.
 - 1. Overlap 1/2" the width of the tree wrap strip and cover the trunk from the ground to the height of the second branch.
 - 2. Secure tree wrap in place with twine wound spirally downward in opposite direction, tied around the tree in at least three (3) places in addition to the top and bottom.
- C. Remove all wrapping at the end of the one (1) year warranty period and before final acceptance.

3.8 FIELD QUALITY CONTROL

- A. Field inspection will be performed under provisions of Section 01400.
- B. Plants will be rejected when ball of earth surrounding roots has been disturbed or damaged prior to or during planting.

3.9 PRUNING

- A. Prune branches of deciduous stock, after planting, to remove or cut back broken, damaged, and unsymmetrical growth of new wood.
- B. Multiple leader plants: Preserve the leaders which will best promote the symmetry of

the plant. Cut branches close to flush with the trunk or main branch at a point beyond a lateral shoot or bud a distance of not less than 1/2 the diameter of the supporting branch.

Make cut perpendicular to branch.

- C. Prune evergreens only to remove broken or damaged branches.

3.10 MAINTENANCE

- A. Maintain plantings for a period of at least 60 days after completion of planting operation or until all plants are sufficiently recovered from transplanting and in a healthy growing condition. Maintain planting installed in the fall after September 15 until May 30 of the following year.
- B. Maintenance shall include pruning, cultivating, weeding, watering, and application of appropriate insecticides and fungicides necessary to maintain plants free of insects and disease.
 1. Re-set settled plants to proper grade and position. Restore planting saucer and adjacent material and remove dead material.
 2. Correct defective work as soon as possible after deficiencies become apparent, and weather permits.
 3. Water trees, plants, and ground cover beds within the first 24 hours of initial planting, and not less than twice a week until acceptance.
- C. Maintenance Schedule: Contractor shall submit a maintenance schedule to Owner for approval before any payments are made. The schedule shall include periodic inspections with Owner. Work not completed within five (5) days after notification or within ten (10) days of Maintenance. Maintenance shall include, but not be limited to: all necessary and proper replacements of unacceptable material, straightening plants, fertilizing, pruning and any other operations necessary for proper plant growth and to keep the landscaped areas in a neat, clean, safe condition. The itemized Maintenance Schedule shall include such work as: weeds not allowed to attain more than six (6) inches of growth; replacing, repairing, and tightening stakes, wrapping materials as many times as necessary; promptly removing dead, badly injured or unhealthy plant material and replacing during next planting season. Reconstruction of settled planting areas to their proper grade; removing tree wrapping to inspect trunks and repairing damage and removing insects before rewrapping with new tree wrap; adding mulch as required, etc.

3.11 REPLACEMENTS

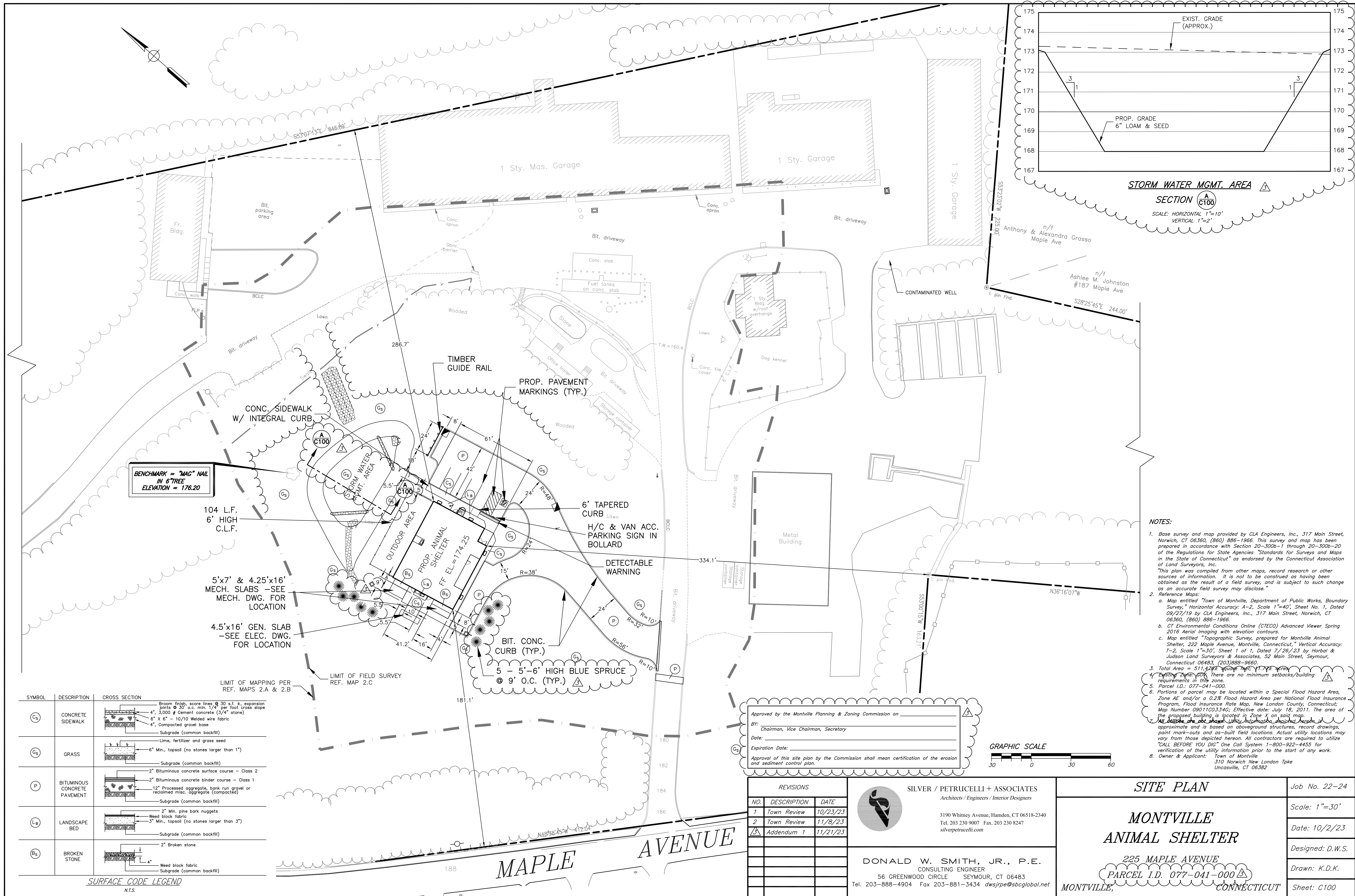
- A. Plants shall be free of dead or dying branches and branch tips and shall bear foliage of a normal density, size, and color. Promptly remove dead, unsightly, unhealthy, or excessively pruned plants as directed. These and any plants missing, due to the Contractor's negligence, shall be replaced or added with the same kind and size as originally specified as soon as conditions permit.
- B. Material and method of replacement shall be the same as specified for the original planting with replacements matching adjacent specimens of the same species. Replacing shall be made as many times as necessary to insure healthy plants and they shall be maintained and guaranteed for twelve (12) months from time of replacement. Necessary repairs due to replacements shall estimated cost of

possible replacements may be retained until the end of the Warranty Period and paid after all work is satisfactorily maintained and approved in writing by the Owner.

3.12 INSPECTION AND ACCEPTANCE

- A. All work in this contract shall be found in a neat, clean and safe condition and only those plants that have been properly maintained and are alive and in satisfactory health will be accepted.

END OF SECTION 329300



NOTES:

- Base survey and map provided by CLA Engineers, Inc., 317 Main Street, Norwich, CT 06360, (860) 886-1966. This survey and map has been prepared in accordance with Section 20-300b-1 through 20-300b-20 of the Regulations for State Agencies' Standards for Surveys and Maps in the State of Connecticut as endorsed by the Connecticut Association of Land Surveyors, Inc.
- This plan was compiled from other maps, record research or other sources of information. It is not to be construed as having been obtained as the result of a field survey, and is subject to such change as an accurate field survey may disclose.
- Reference Maps:
 - Map entitled "Town of Montville, Department of Public Works, Boundary Survey," Horizontal Accuracy: A-2, Scale: 1"=40', Sheet No. 1, Dated 09/27/19 by CLA Engineers, Inc., 317 Main Street, Norwich, CT 06360, (860) 886-1966.
 - CT Environmental Conditions Online (CTECO) Advanced Viewer Spring 2016 Aerial imaging with elevation contours.
 - Map entitled "Topographic Survey, prepared for Montville Animal Shelter, 222 Maple Avenue, Montville, Connecticut," Vertical Accuracy: 7-0, Scale: 1"=50', Sheet 1 of 1, Dated 7/26/23 by Harbit & Judson Land Surveyors & Associates, 52 Main Street, Seymour, Connecticut 06483, (203) 898-9600.
- Total area = 511,424 sq. ft. (11.67 acres).
- Existing structures there are no minimum setbacks/building requirements in this zone.
- Parcel I.D.: 077-041-000.
- Portions of parcel may be located within a Special Flood Hazard Area, Zone AE and/or a 0.2% Flood Hazard Area per National Flood Insurance Program, Flood Insurance Rate Map, New London County, Connecticut, Map Number 09011003340; Effective date: July 18, 2011. The area of the proposed building is located in Zone X on said map.
- All work on this plan shall be subject to the following:
 - approximate and is based on aboveground structures, record drawings, point mark-outs and as-built field locations. Actual utility locations may vary from those depicted hereon. All contractors are required to utilize "CALL BEFORE YOU DIG" One Call System 1-800-922-4455 for verification of the utility information prior to the start of any work.
 - Owner & Applicant: Town of Montville, 310 Norwich New London Tpke Unacoville, CT 06362

Approved by the Montville Planning & Zoning Commission on _____
 By: _____
 Chairman, Vice Chairman, Secretary
 Date: _____
 Expiration Date: _____
 Approval of this site plan by the Commission shall mean certification of the erosion and sediment control plan.

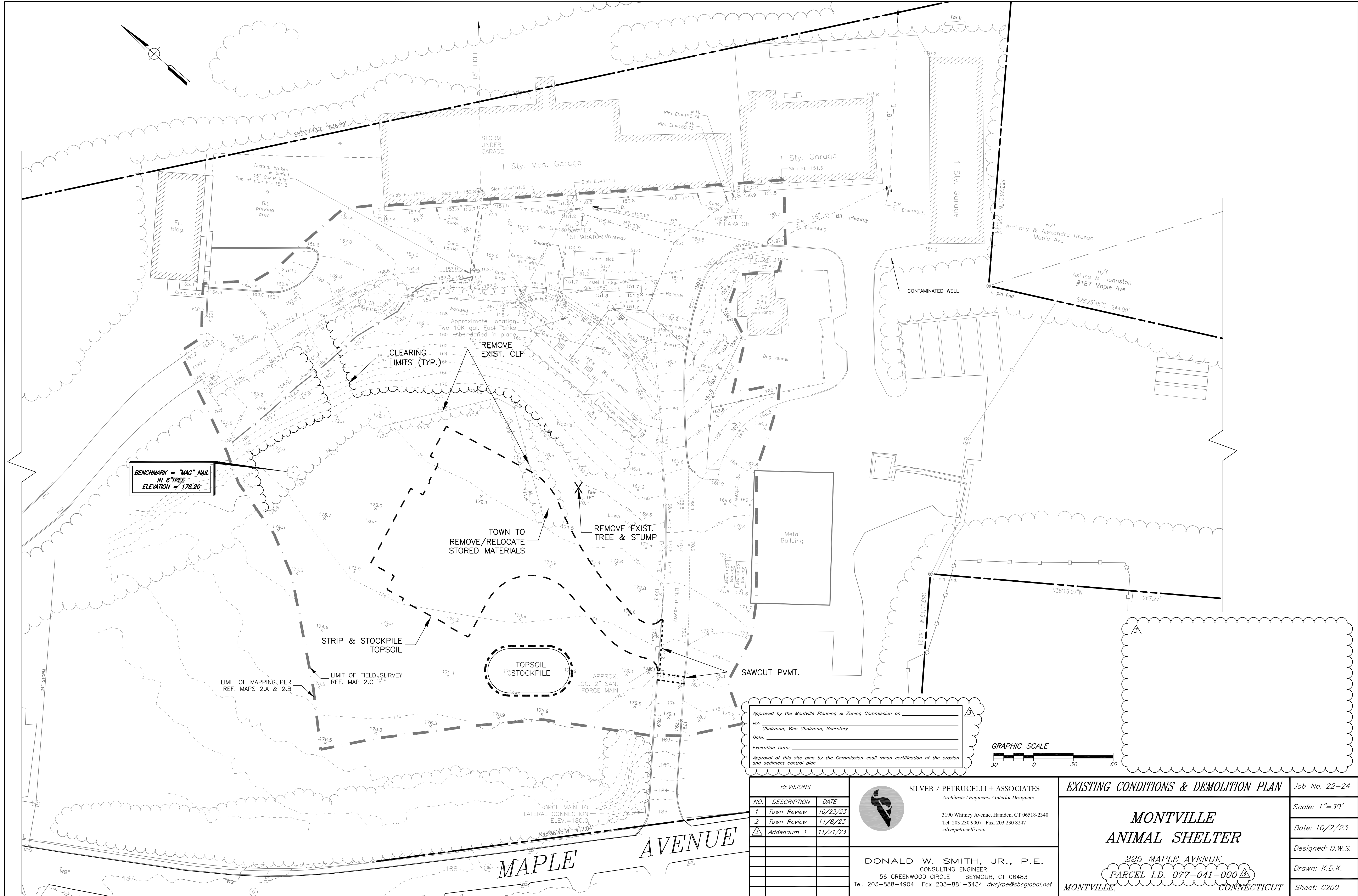
| REVISIONS | | |
|-----------|-------------|----------|
| NO. | DESCRIPTION | DATE |
| 1 | Town Review | 10/23/23 |
| 2 | Town Review | 11/9/23 |
| 3 | Addendum 1 | 11/21/23 |

SILVER / PETRUCELLI + ASSOCIATES
 Architects / Engineers / Interior Designers
 3190 Whitney Avenue, Hamden, CT 06518-2340
 Tel. 203 230 9001 Fax. 203 230 8247
 silverpetrucelli.com

DONALD W. SMITH, JR., P.E.
 CONSULTING ENGINEER
 56 GREENWOOD CIRCLE SEYMOUR, CT 06483
 Tel. 203-888-4904 Fax 203-881-3434 dwsjrpe@sbcglobal.net

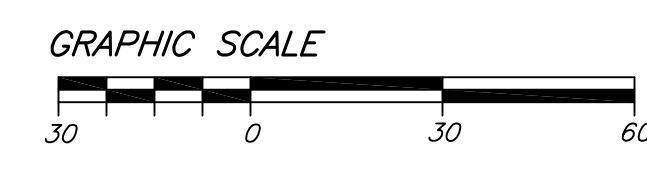
SITE PLAN
MONTVILLE ANIMAL SHELTER
 225 MAPLE AVENUE
 PARCEL I.D. 077-041-000
 MONTVILLE, CONNECTICUT

Job No. 22-24
 Scale: 1"=30'
 Date: 10/2/23
 Designed: D.W.S.
 Drawn: K.D.K.
 Sheet: C100



BENCHMARK = "MAG" NAIL
IN TREE
ELEVATION = 176.20

Approved by the Montville Planning & Zoning Commission on _____
By: Chairman, Vice Chairman, Secretary
Date: _____
Expiration Date: _____
Approval of this site plan by the Commission shall mean certification of the erosion and sediment control plan.



| REVISIONS | | |
|-----------|-------------|----------|
| NO. | DESCRIPTION | DATE |
| 1 | Town Review | 10/23/23 |
| 2 | Town Review | 11/9/23 |
| 3 | Addendum 1 | 11/21/23 |
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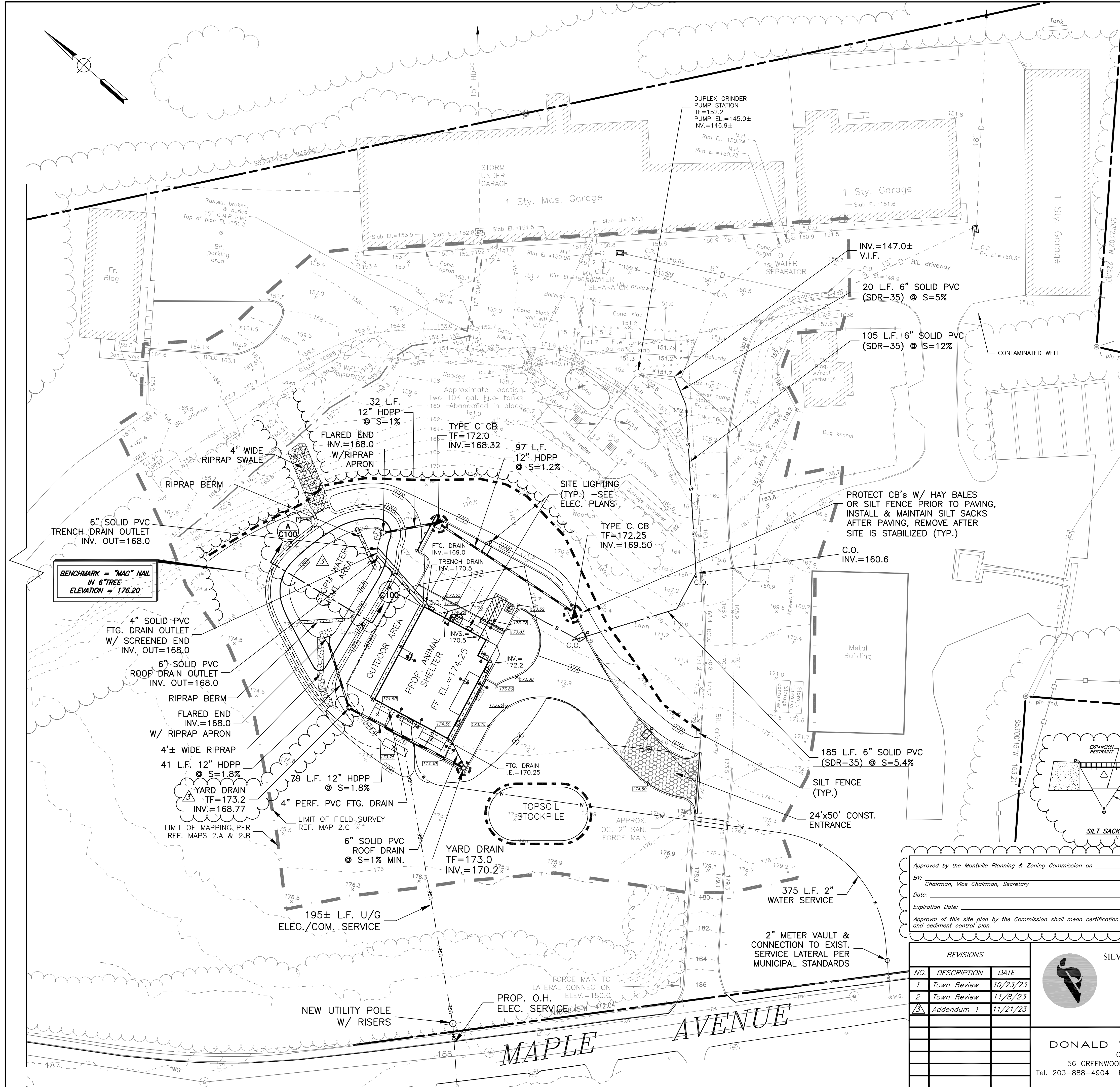
SILVER / PETRUCELLI + ASSOCIATES
Architects / Engineers / Interior Designers
3190 Whitney Avenue, Hamden, CT 06518-2340
Tel. 203 230 9007 Fax. 203 230 8247
silverpetrucelli.com

DONALD W. SMITH, JR., P.E.
CONSULTING ENGINEER
56 GREENWOOD CIRCLE SEYMOUR, CT 06483
Tel. 203-888-4904 Fax 203-881-3434 dwsjrpe@sbcglobal.net

EXISTING CONDITIONS & DEMOLITION PLAN Job No. 22-24

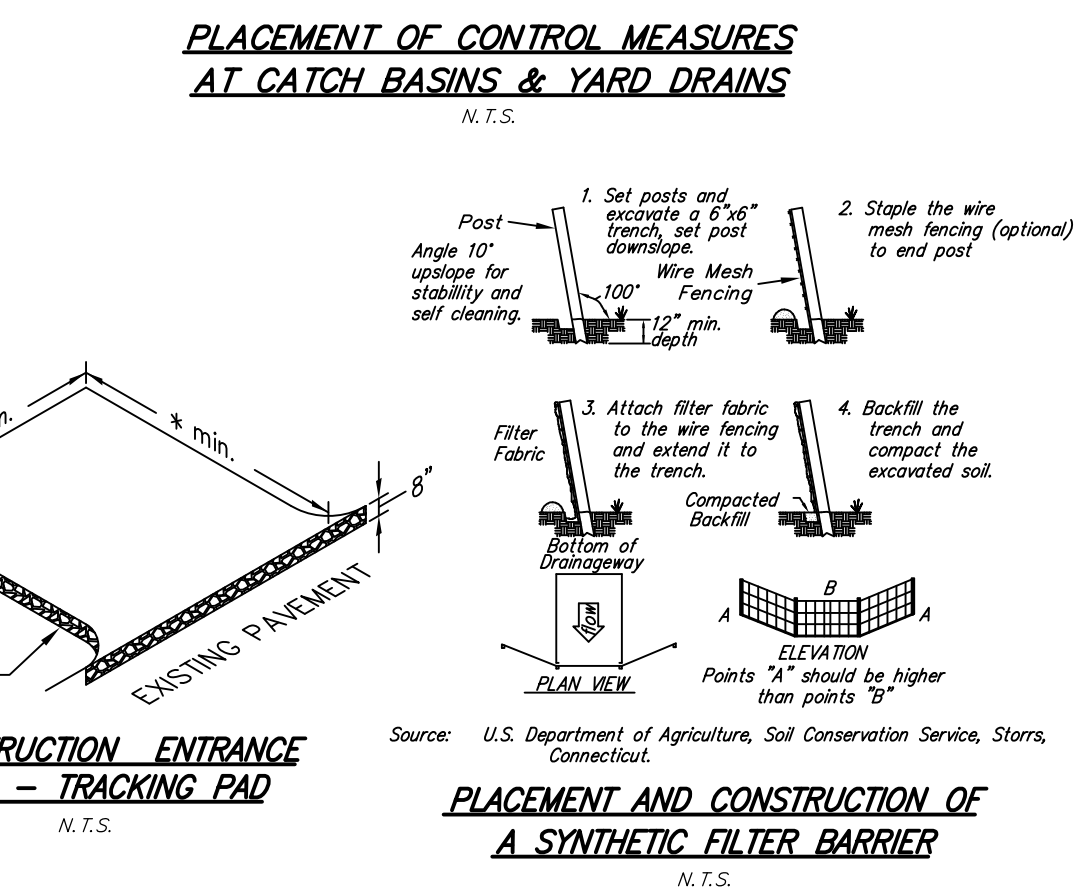
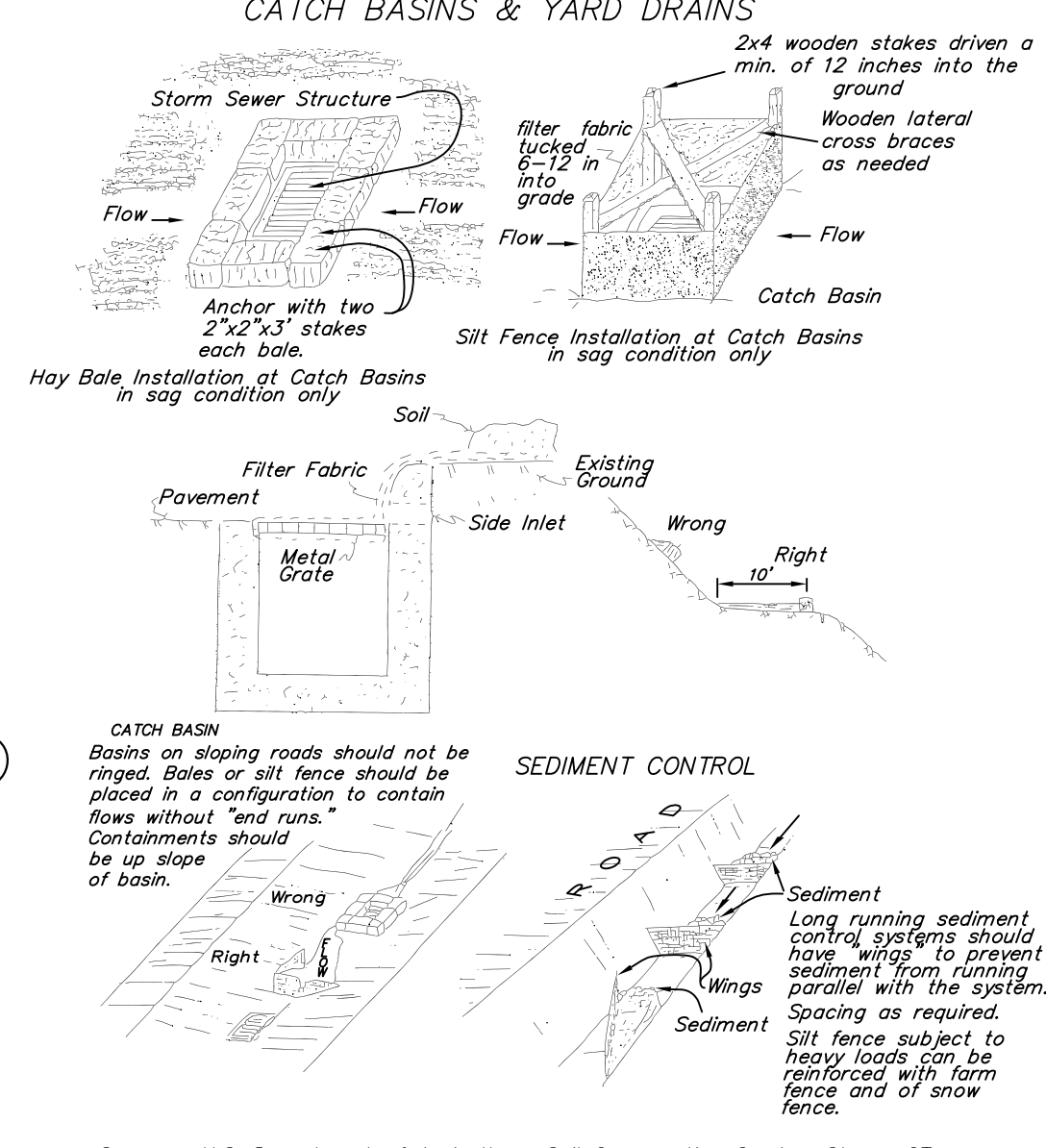
MONTVILLE ANIMAL SHELTER
225 MAPLE AVENUE
PARCEL I.D. 077-041-000
MONTVILLE, CONNECTICUT

Scale: 1"=30'
Date: 10/2/23
Designed: D.W.S.
Drawn: K.D.K.
Sheet: C200



EROSION CONTROL NOTES:

1. Land disturbance shall be kept to the minimum necessary for construction operations.
2. All soil erosion and sediment control measures must be constructed in accordance with the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control by the Connecticut Council on Soil and Water Conservation in cooperation with the Connecticut Department of Environmental Protection.
3. Erosion and sediment control measures shall be installed as depicted on this plan, and maintained in an effective condition throughout the construction period. Additional measures shall be installed as necessary and required.
4. All disturbed areas shall be permanently stabilized as soon as practicable.
5. The Site Contractor is assigned the responsibility for implementing the control measures of this plan. This responsibility includes the installation and maintenance of control measures, informing all parties engaged on the construction site of the requirements and objectives of this plan, and notifying the Planning and Zoning Commission of the transfer of this responsibility, and for conveying a copy of this plan if filed to the property owner.
6. The ZEO shall conduct an inspection of Erosion & Sediment Controls prior to the start of any work or site disturbance.



STORM WATER SYSTEM MAINTENANCE AND INSPECTION PROCEDURES AND SCHEDULE:

The property owner and all subsequent property owners shall be responsible for implementing the following Inspection and Maintenance procedures:

Catch Basins:

The catch basins shall be visually inspected for floatables by looking down through the grate into the catchbasin.

Inspection for sediment build-up can be conducted by probing the depth of sediment through the grate. Several readings (2 or 3) should be made to ensure that an accurate sediment depth measurement is recorded.

Inspection Frequency

Construction Period

The catch basins should be inspected every two weeks and after every large storm (over 0.5" of rain) during the construction period.

Post-Construction Period

The catch basins should be inspected once per year.

Periodic Maintenance

Catch basins can fill with sediment quickly during the construction period. They must be maintained when the depth of sediment reaches 24". They must also be maintained if there is an appreciable depth of oil in the unit (more than a sheen) or if floatables other than oil cover more than 50% of the open water surface.

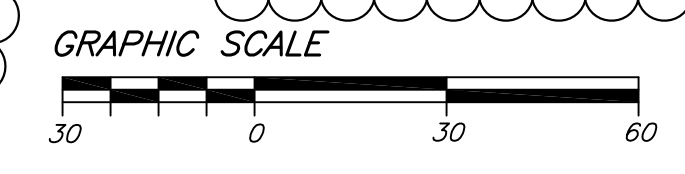
The catch basins are typically maintained by removing floatables and accumulated sediment using a vacuum truck, clam shell bucket or by hand.

The catch basins shall be cleaned of all floating debris and accumulated sediment at the end of the construction period, prior to final acceptance by the Owner.

Reporting

A Record of all Inspections and Maintenance performed shall be completed to document the results of each inspection and all maintenance that is performed. All Inspection and Maintenance records shall be maintained by the property owner for a minimum of ten (10) years and they shall be made available upon request.

Approved by the Montville Planning & Zoning Commission on _____
 BY: _____
 Chairman, Vice Chairman, Secretary
 Date: _____
 Approval of this site plan by the Commission shall mean certification of the erosion and sediment control plan.



| REVISIONS | | |
|-----------|-------------|----------|
| NO. | DESCRIPTION | DATE |
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 56 GREENWOOD CIRCLE SEYMOUR, CT 06483
 Tel. 203-888-4904 Fax 203-881-3434 dwsjrpe@sbcglobal.net

GRADING, EROSION CONTROL & UTILITY PLAN Job No. 22-24

MONTVILLE ANIMAL SHELTER

225 MAPLE AVENUE
 PARCEL I.D. 077-041-000

Scale: 1"=30'
 Date: 10/2/23
 Designed: D.W.S.
 Drawn: K.D.K.
 Sheet: C.300

GENERAL CONSTRUCTION SEQUENCE

The anticipated time of completion for all aspects of construction is ten (10) months from the initial start date.

Prior to any on-site activity, the Contractor shall be responsible for holding a pre-construction meeting with the design team and appropriate Town of Montville officials and for notifying "Call Before You Dig" (1-800-872-4123) of the proposed project. (Estimated Time: 3 days)

The general sequence of work will be as follows:

1. Stakeout limits of new construction, saw cut and remove the designated portions of bituminous concrete pavement and dispose off-site. (Estimated Time: 1 day)
2. Install silt fence and other erosion control measures as shown on plans and as directed by the "Engineer". Maintain all erosion and sediment control measures in an effective condition throughout the construction phase. (Estimated Time: 1 day)
3. Clear and grub existing trees and stumps and dispose off-site. (Estimated Time: 3 days)
4. Excavate for new building foundation, pour foundation and backfill. (Estimated Time: 4 weeks)
5. Construct new building and utility services. (Estimated Time: 26 weeks)
6. Excavate storm water management area, install and backfill new storm drainage system. (Estimated Time: 3 weeks)
7. Complete "boxing out" of parking area and new sidewalks and prepare subgrade for specified base materials (Estimated Time: 3 days)
8. Install specified base courses, new concrete sidewalks and curb and bituminous concrete pavement. (Estimated Time: 15 days)
9. Install bituminous concrete curbing. (Estimated Time: 1 day)
10. Install Handicap parking signage and pavement markings. (Estimated Time: 1 week)
11. Install topsoil and seed all disturbed areas as soon as practical. (Estimated Time: 1 day)

DEEP TEST DATA

SOIL TESTING PERFORMED 9/12/23 BY THE OFFICE OF DONALD W. SMITH, JR., P.E., CONSULTING ENGINEER

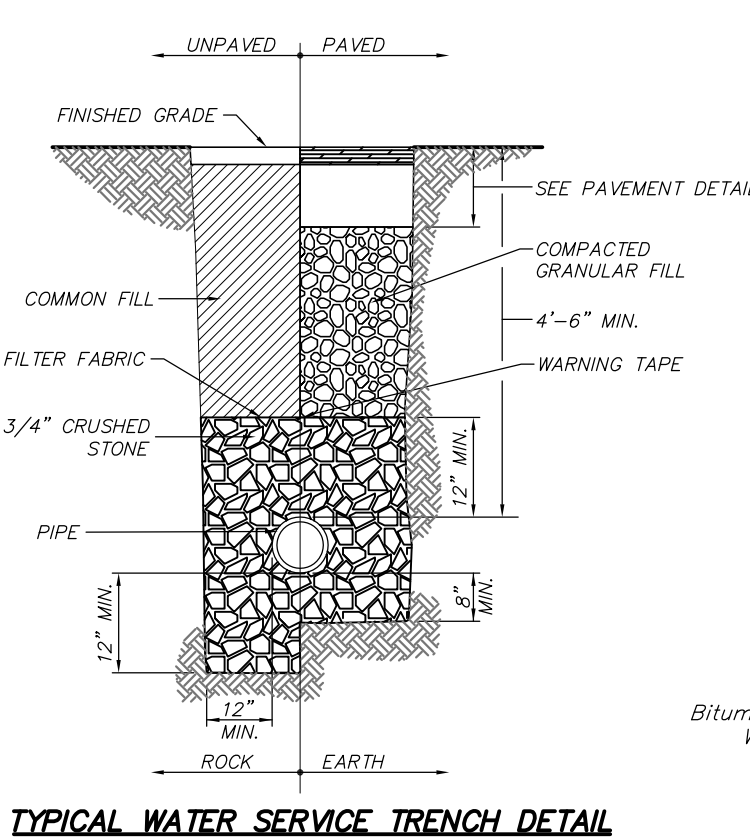
TP #1E (9/12/23)
 0 - 6" TOPSOIL
 6 - 102" BROWN COARSE SAND & GRAVEL, LITTLE SILT

TP #2W (9/12/23)
 0 - 6" TOPSOIL
 6 - 48" POSSIBLE FILL
 48 - 58" DARK POSSIBLE TOPSOIL
 58 - 86" BROWN SILTY SAND & GRAVEL
 NO WATER / REFUSAL @ 86"

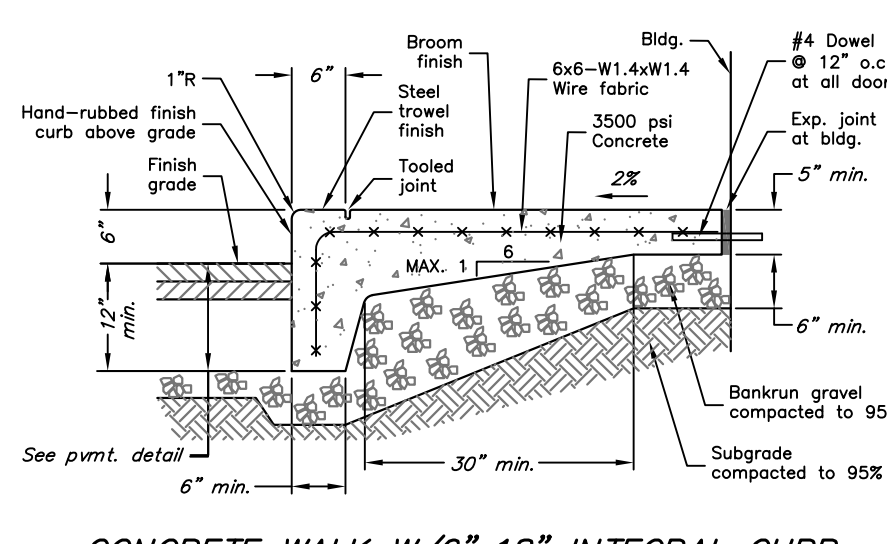
IN-SITU FALLING HEAD, HYDRAULIC CONDUCTIVITY TESTS WERE PERFORMED BY DOWN TO EARTH CONSULTING, LLC ON 9/12/23 IN THE AREA OF THE PROPOSED STORMWATER MANAGEMENT AREA AS PART OF THE GEOTECHNICAL INVESTIGATION OF THE PROJECT SITE.

THE TESTS WERE PERFORMED AT DEPTH OF 7 FEET BELOW GRADE, USING THE MEASURED DATA FROM THREE TRIALS, AN ESTIMATED HYDRAULIC CONDUCTIVITY OF 20 - 21 INCHES PER HOUR WAS REPORTED. COPIES OF THE TEST RESULTS WILL BE PROVIDED UNDER SEPARATE COVER UPON REQUEST.

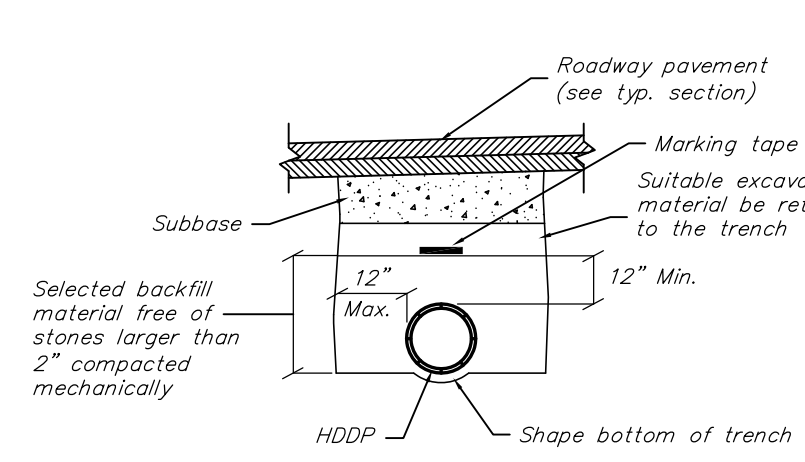
APPLYING A FACTOR OF SAFETY OF 4, A HYDRAULIC CONDUCTIVITY RATE OF 5 INCHES PER HOUR WAS USED IN THE DESIGN ANALYSIS.



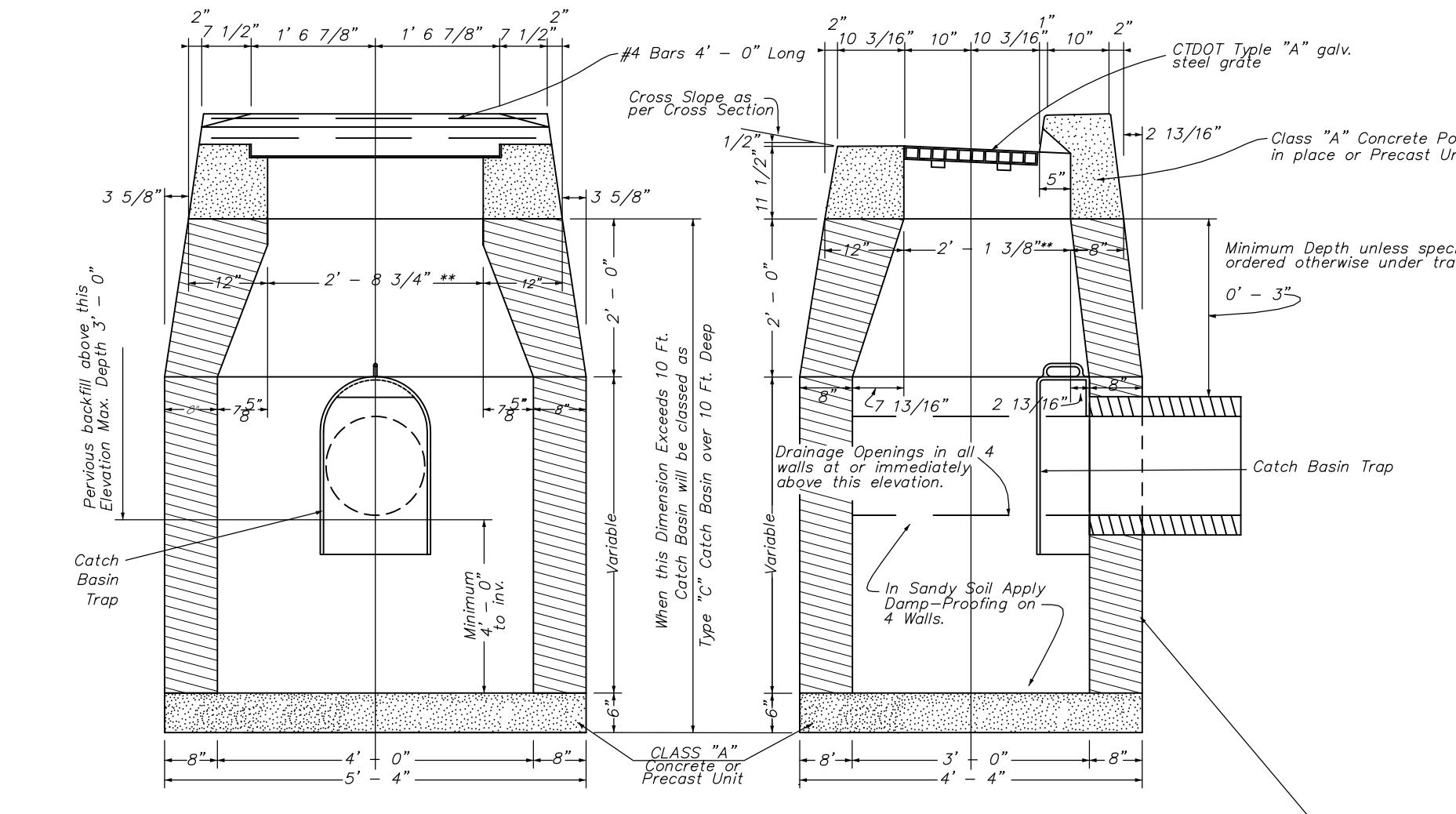
TYPICAL WATER SERVICE TRENCH DETAIL N.T.S.



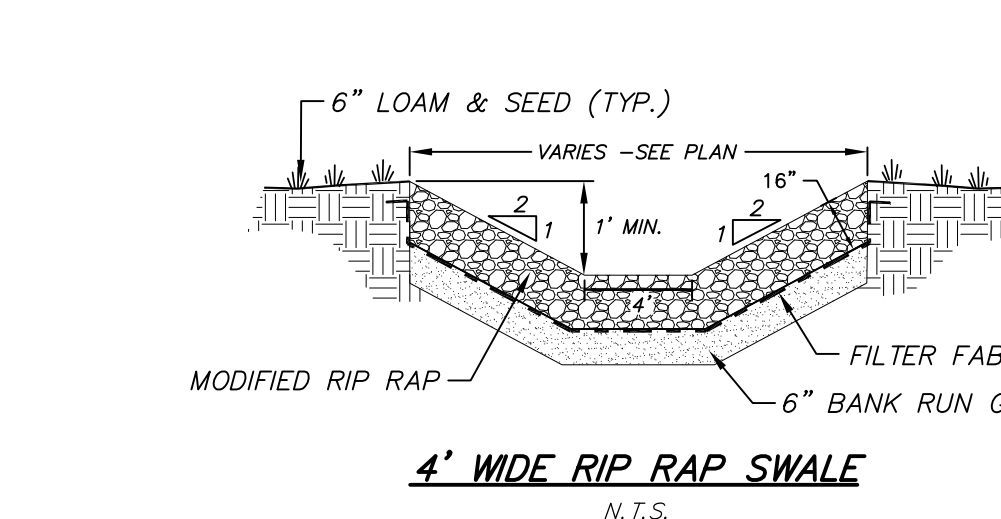
CONCRETE WALK W/6"X18" INTEGRAL CURB N.T.S.



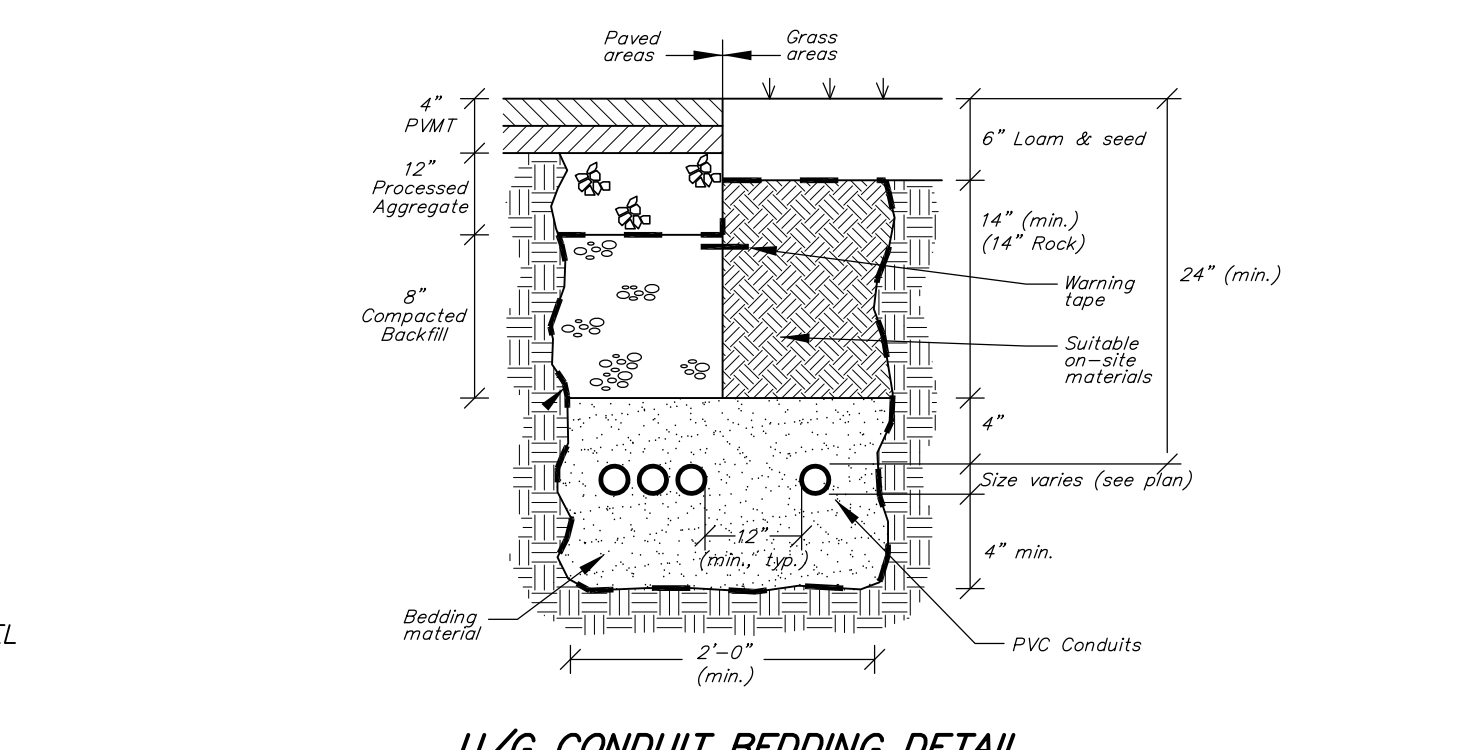
HOPP STORM DRAIN TRENCH N.T.S.



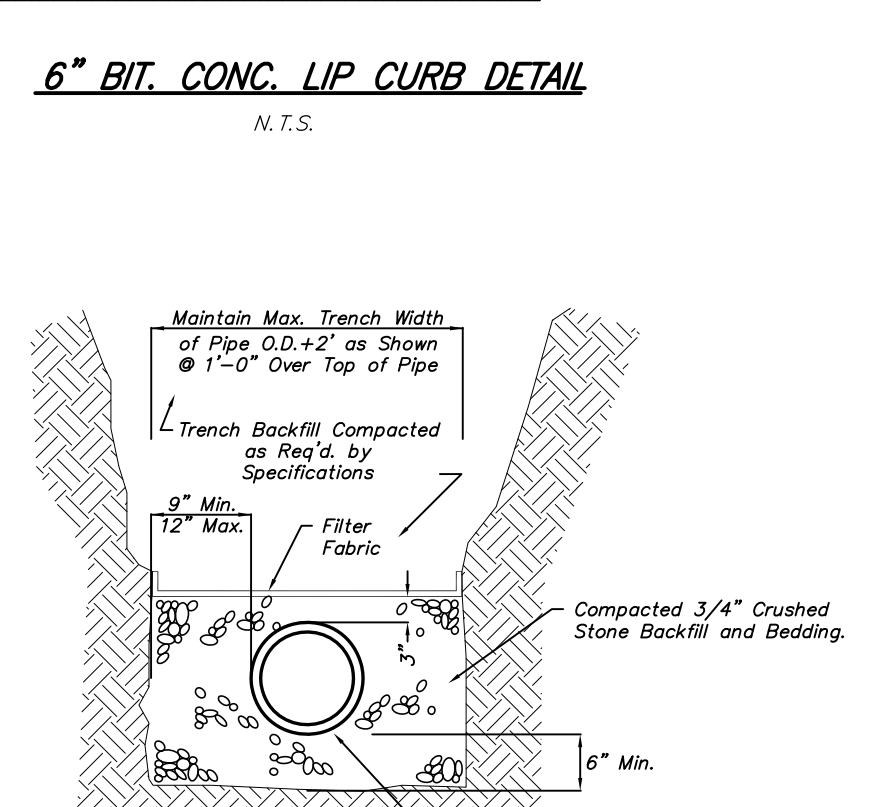
CATCH BASIN DETAIL N.T.S.



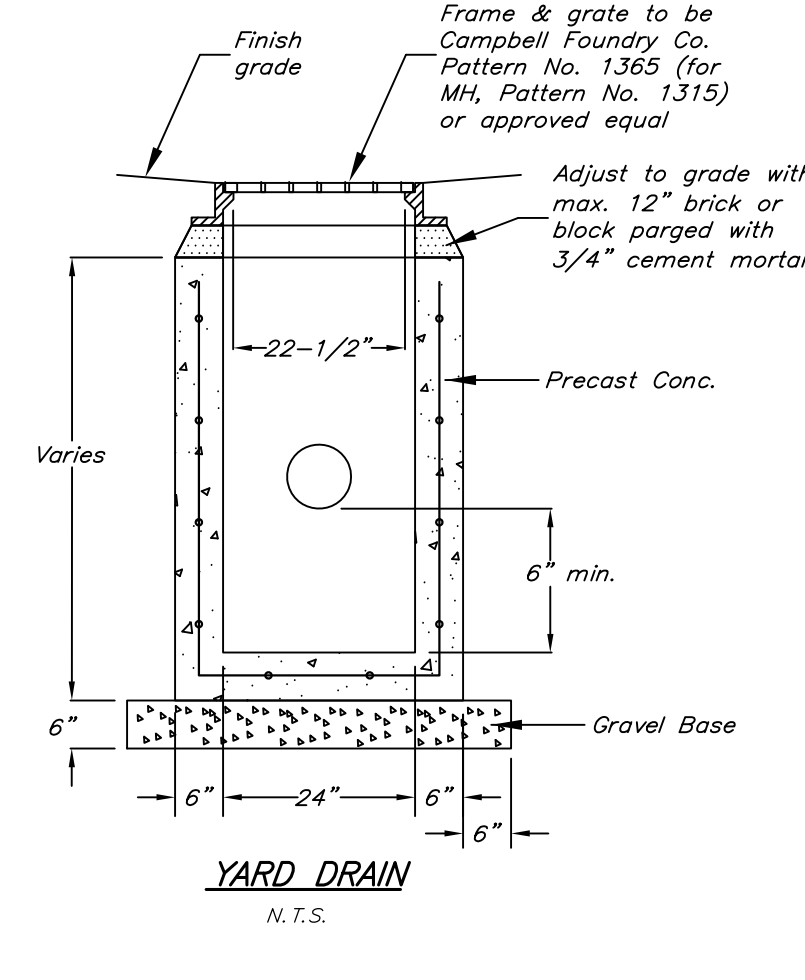
4" WIDE RIP RAP SWALE N.T.S.



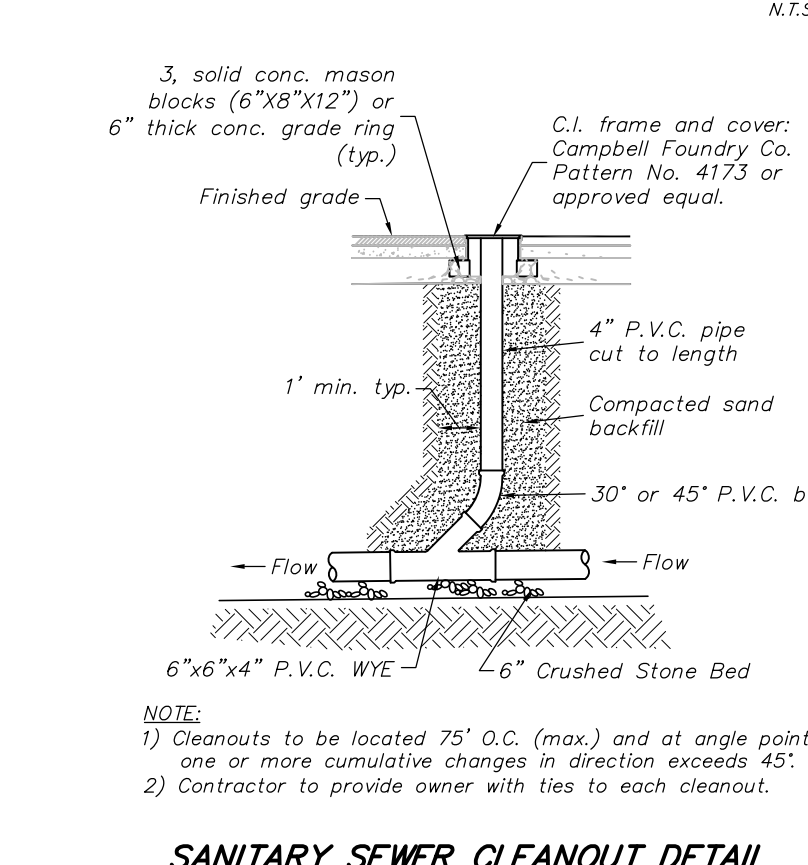
U/G CONDUIT BEDDING DETAIL N.T.S.



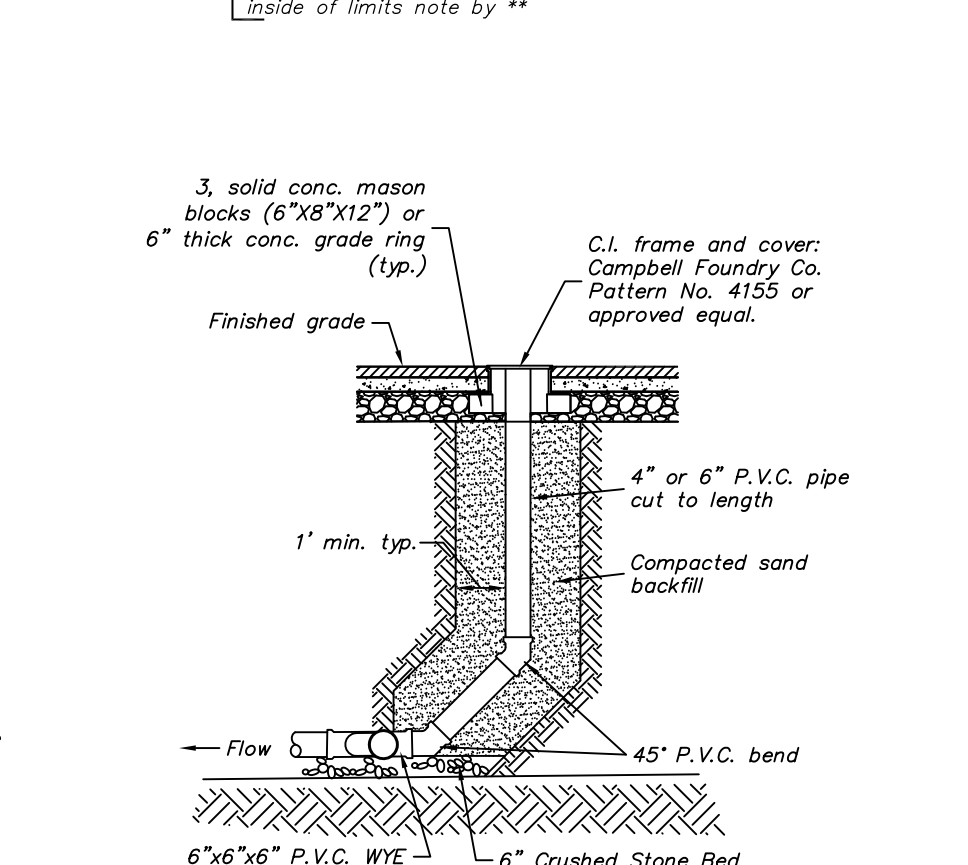
6" BIT. CONC. LIP CURB DETAIL N.T.S.



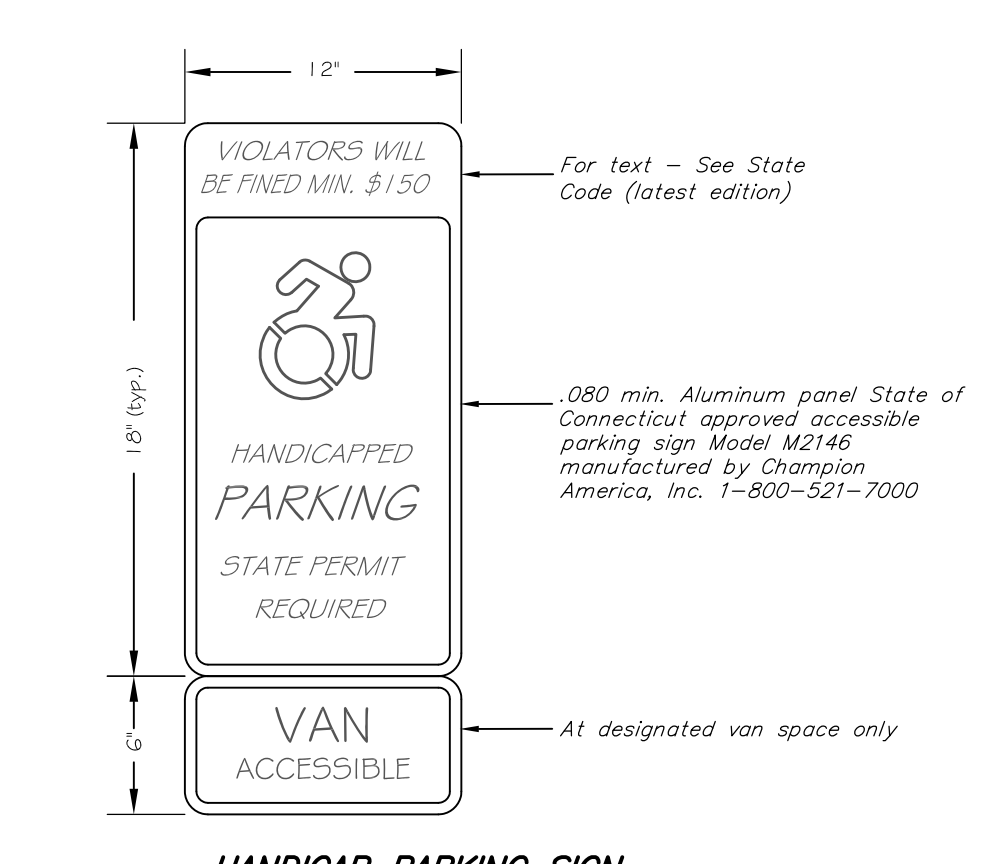
YARD DRAIN N.T.S.



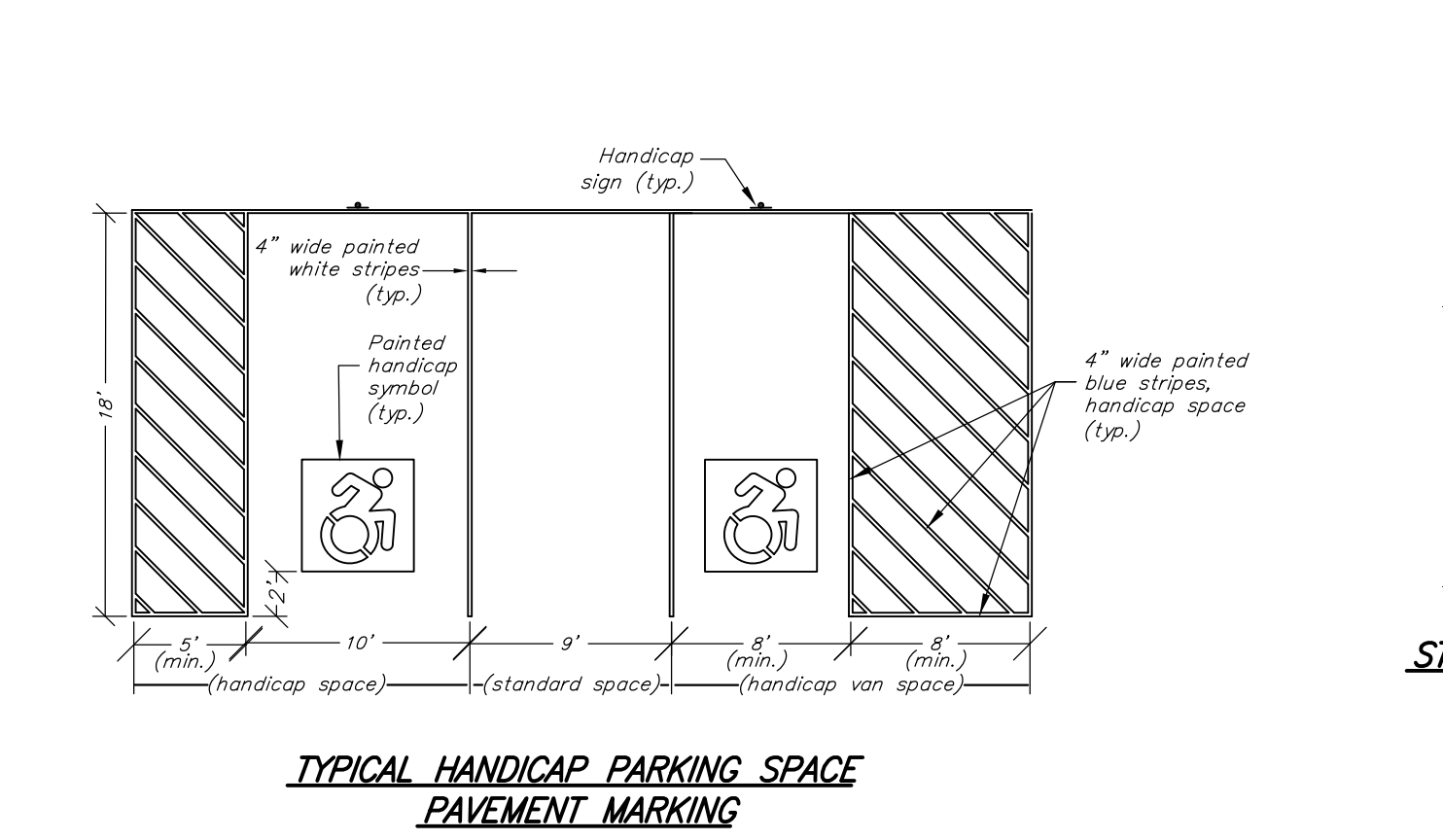
SANITARY SEWER CLEANOUT DETAIL N.T.S.



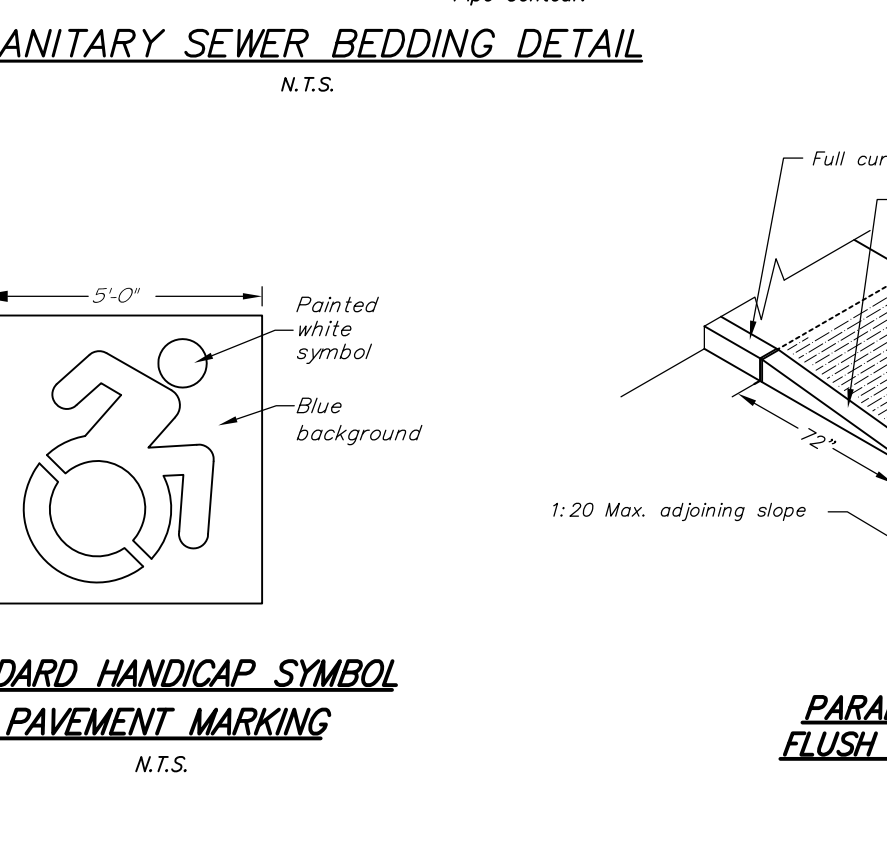
ANGLE-POINT SANITARY SEWER CLEANOUT DETAIL N.T.S.



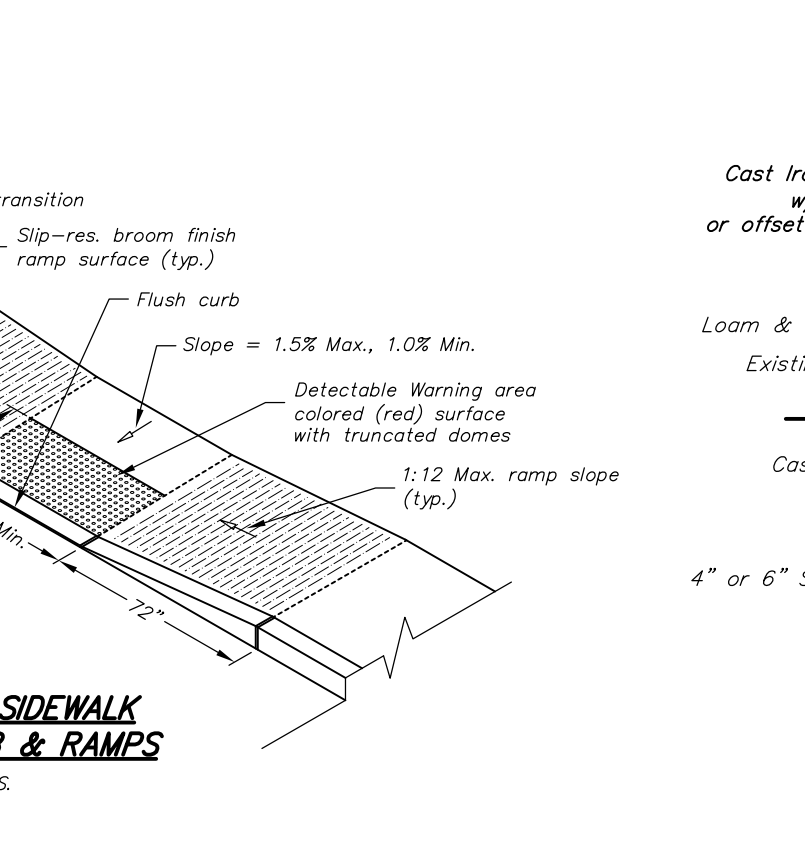
HANDICAP PARKING SIGN N.T.S.



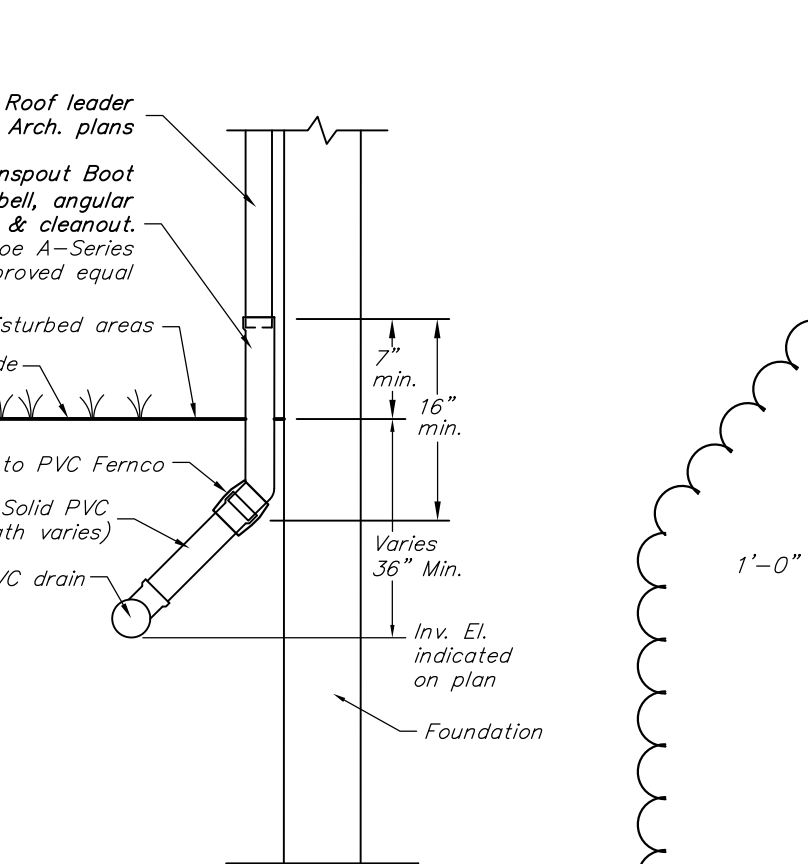
TYPICAL HANDICAP PARKING SPACE PAVEMENT MARKING N.T.S.



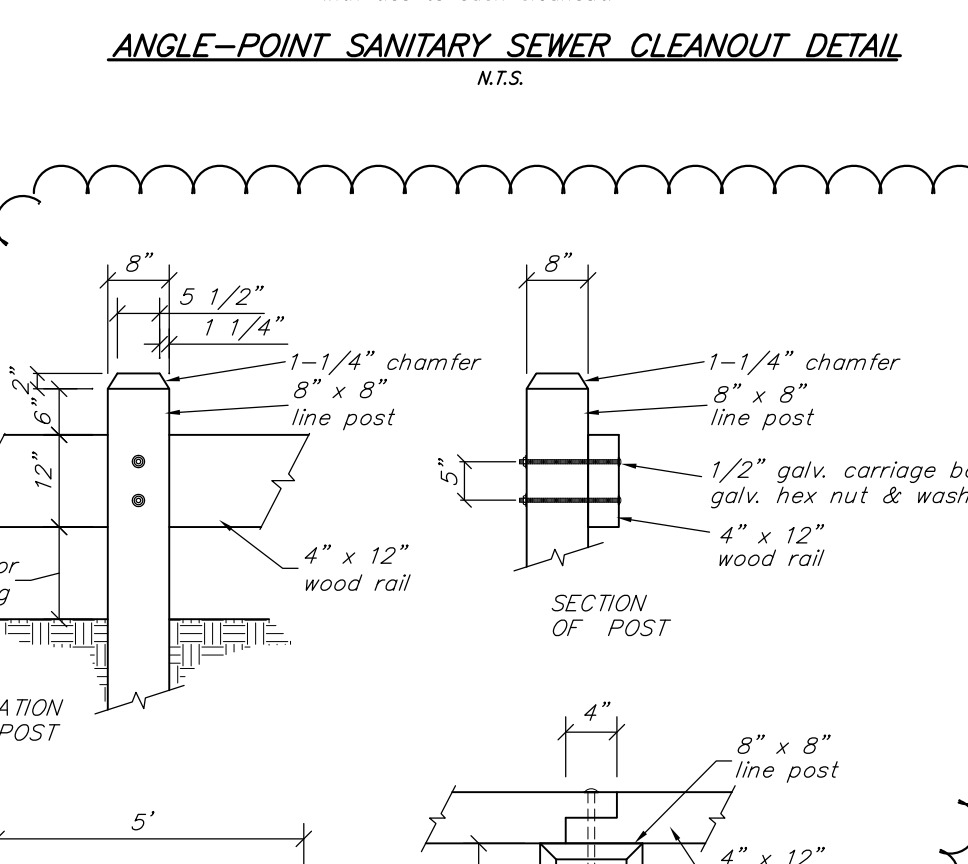
STANDARD HANDICAP SYMBOL PAVEMENT MARKING N.T.S.



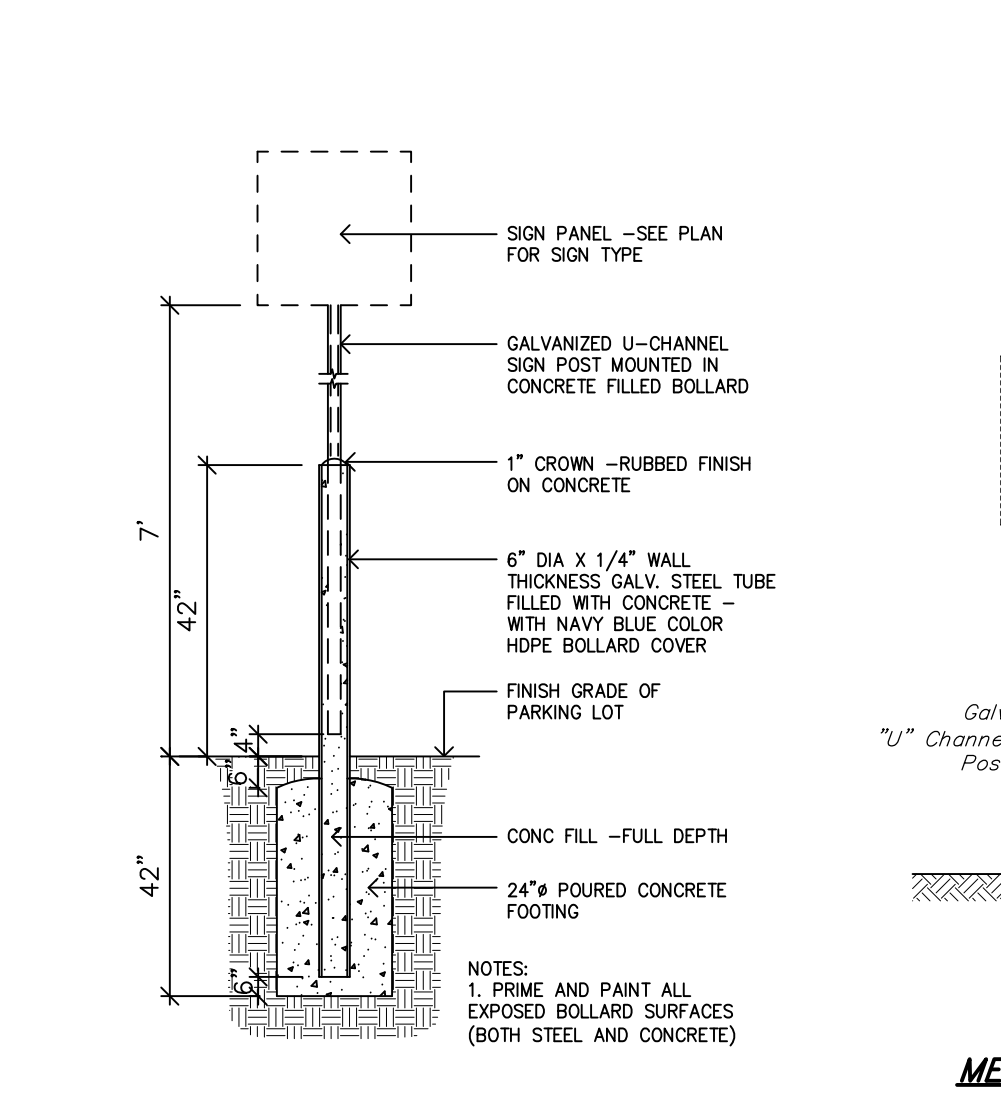
PARALLEL SIDEWALK FLUSH CURB & RAMP N.T.S.



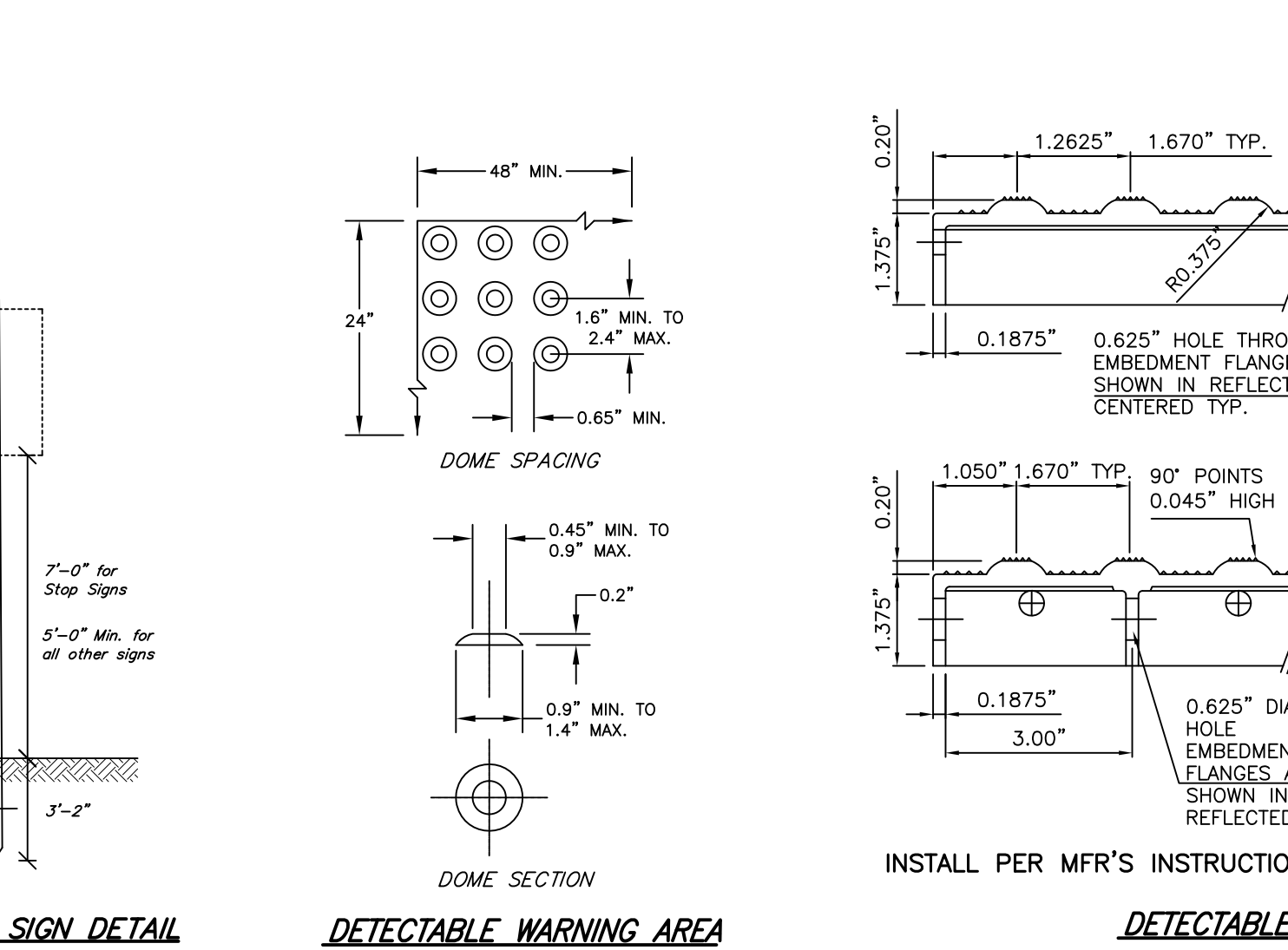
ACCESSIBLE RAMP DETAILS N.T.S.



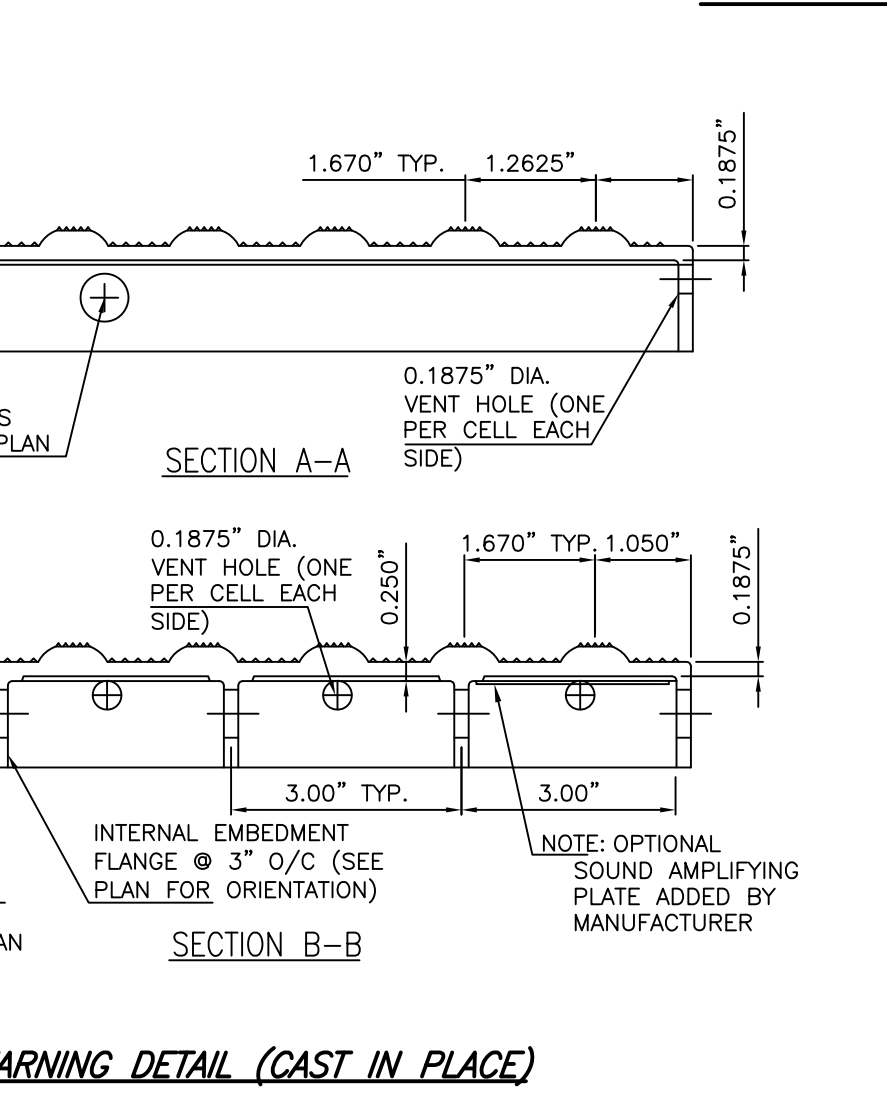
WOODEN GUIDE RAIL N.T.S.



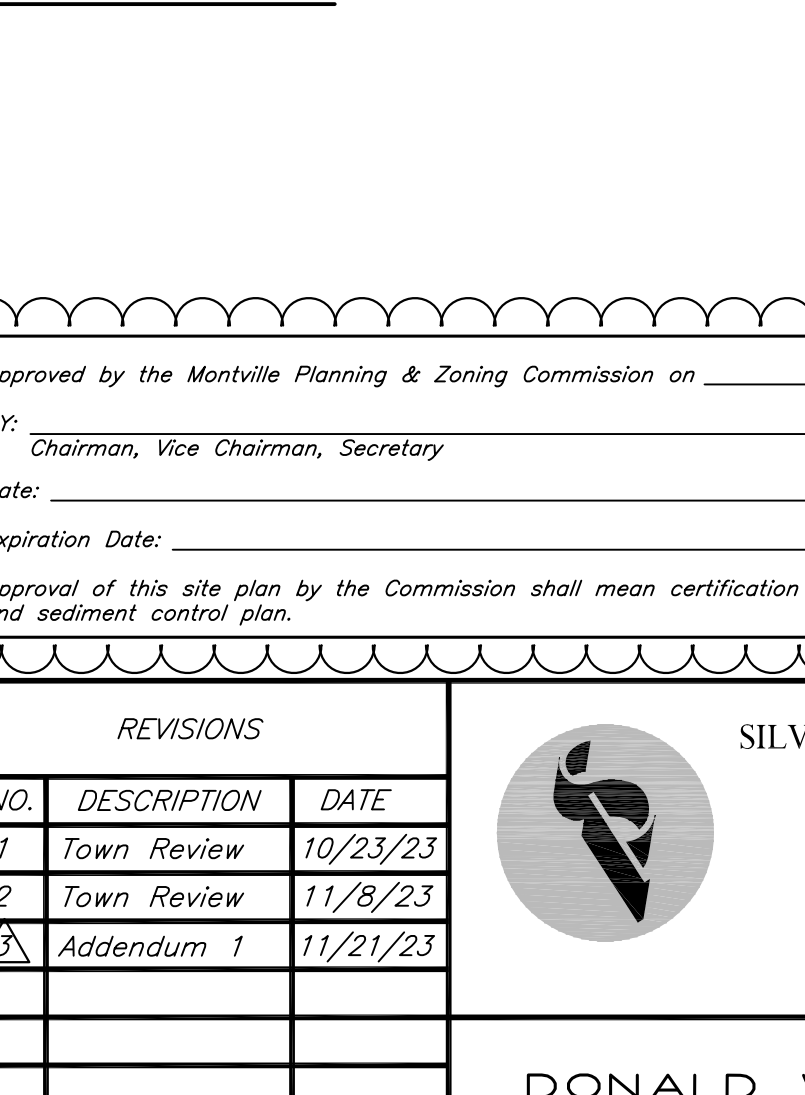
SIGN MOUNTED IN STEEL BOLLARD N.T.S.



DETECTABLE WARNING AREA N.T.S.



DETECTABLE WARNING DETAIL (CAST IN PLACE) ARMOR-TILE OR APPROVED EQUAL N.T.S.



C.I. ROOF DRAIN CONNECTION DETAIL N.T.S.

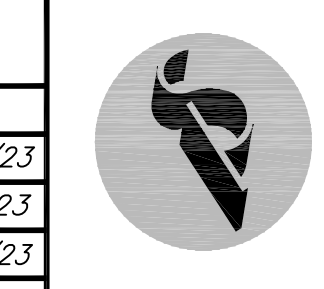
Approved by the Montville Planning & Zoning Commission on _____
 BY: Chairman, Vice Chairman, Secretary
 Date: _____
 Expiration Date: _____
 Approval of this site plan by the Commission shall mean certification of the erosion and sediment control plan.

| REVISIONS | | |
|-----------|-------------|----------|
| NO. | DESCRIPTION | DATE |
| 1 | Town Review | 10/23/23 |
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| 3 | Addendum 1 | 11/21/23 |

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 silverpetrucelli.com

DETAILS
MONTVILLE ANIMAL SHELTER
 225 MAPLE AVENUE
 PARCEL I.D. 077-041-000
 MONTVILLE, CONNECTICUT

Job No. 22-24
 Scale: As Noted
 Date: 10/2/23
 Designed: D.W.S.
 Drawn: K.D.K.
 Sheet: C400

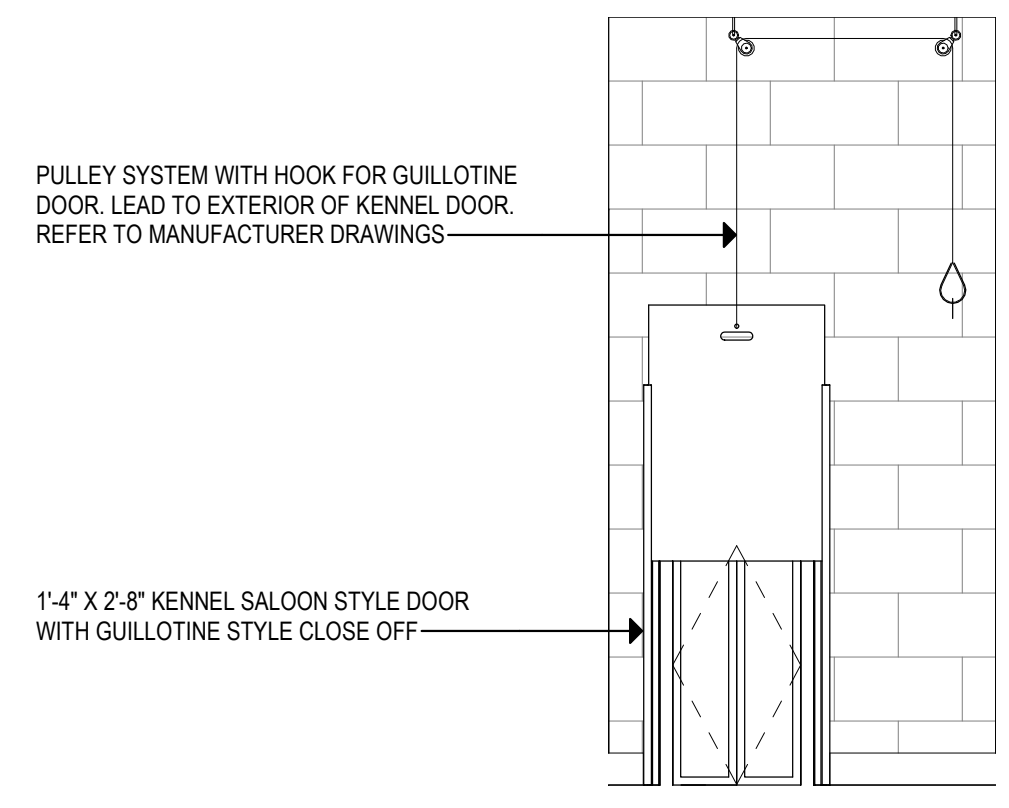


DONALD W. SMITH, JR., P.E.
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 56 GREENWOOD CIRCLE SEYMOUR, CT 06483
 Tel. 203-888-4904 Fax 203-881-3434 dwj/rpe@sbcglobal.net

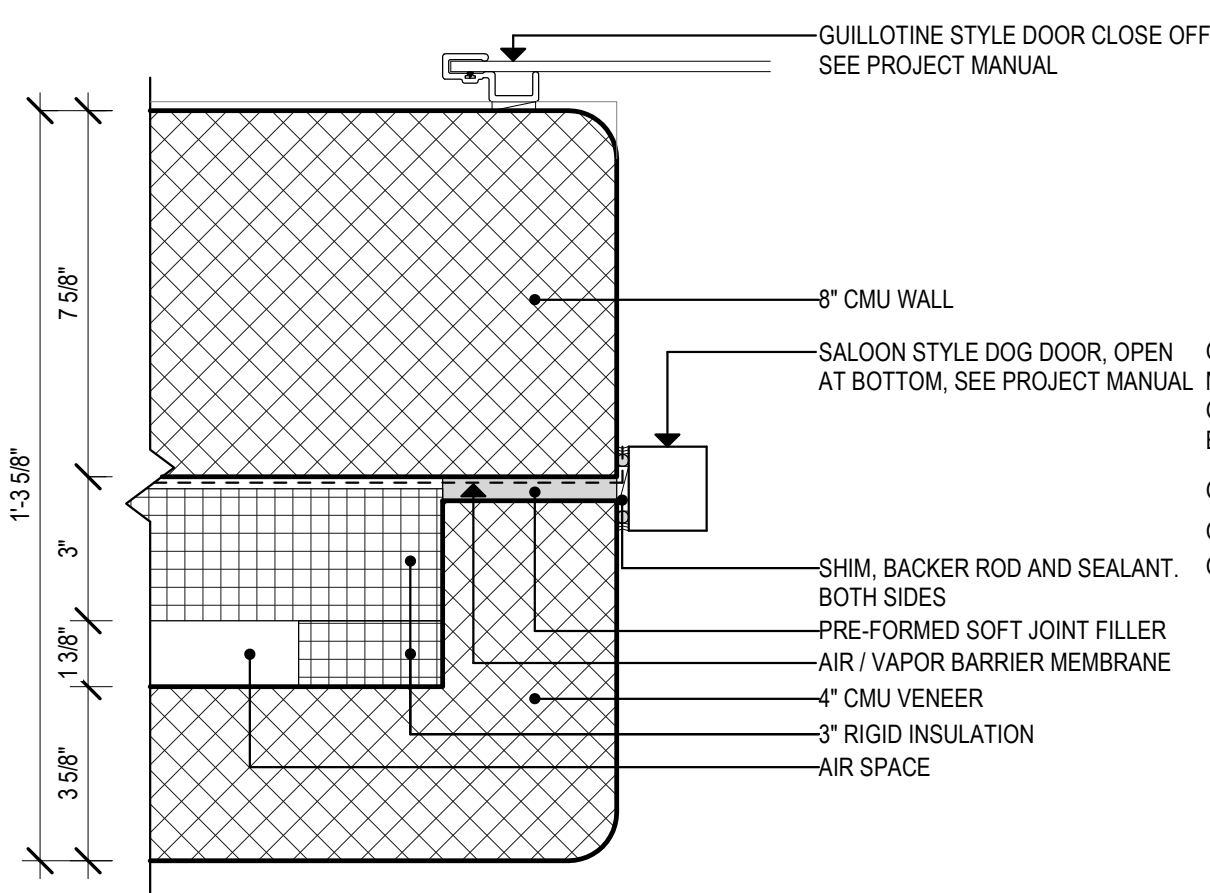
| SYMBOL LEGEND | |
|---------------|---------------------------------|
| | - NEW METAL STUD PARTITIONS |
| | - NEW MASONRY WALL |
| | - NEW CMU WALL |
| | - DOOR NUMBER |
| | - WINDOW TYPE |
| | - ROOM NAME |
| | - ROOM NUMBER |
| | - PARTITION TYPE |
| | - CONSTRUCTION NOTE |
| | - EXTERIOR ELEVATION NUMBER |
| | - SHEET NUMBER |
| | - INTERIOR ELEVATION NUMBER |
| | - SHEET NUMBER |
| | - BUILDING SECTION NUMBER |
| | - SHEET NUMBER |
| | - WALL SECTION NUMBER |
| | - SHEET NUMBER |
| F.E.C. | - FIRE EXTINGUISHER CABINET |
| FD | - FLOOR DRAIN - SLOPE TO DRAIN |
| H.D.F. | - HANDICAPPED DRINKING FOUNTAIN |

| GENERAL NOTES | |
|---------------|---|
| 1. | READ ALL GENERAL NOTES ON DRAWING 9000. |
| 2. | CONTRACTORS SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS. PATCH TO MATCH ALL EXISTING WALLS AND CEILINGS TO REMAIN AFFECTED BY NEW WORK. |
| 3. | ALL DIMENSIONS ARE TO OUTSIDE FACE OF BRICK, CONCRETE, MASONRY UNITS AND FINISH FACE OF WALL OTHERWISE NOTED. |
| 4. | ALL NEW WALL AND PARTITION ASSEMBLIES SHALL EXTEND TO UNDERSIDE OF DECK UNLESS OTHERWISE NOTED. |
| 5. | PROVIDE CMU WITH PRE-MANUFACTURED BULLNOSE AT ALL EXPOSED CORNERS. WHERE THE WORD "ALIGN" IS INDICATED IT SHALL MEAN TO ALIGN BOTH SIDES OF WALL. |

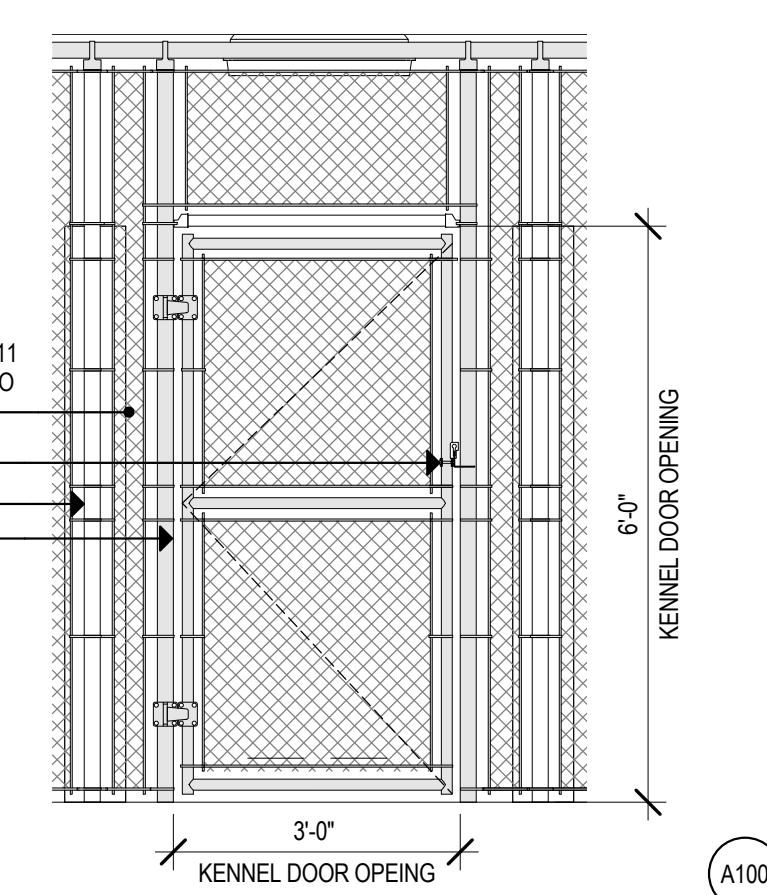
| CONSTRUCTION NOTES | |
|--------------------|---|
| C1 | PROVIDE ROOM DRAINING HORIZONTAL BLIND SYSTEM FOR EACH HALF OF WINDOW ASSEMBLY. SEE PROJECT MANUAL. |
| C2 | PROVIDE FIRE EXTINGUISHER AND SEMI-RECESSED CABINET. SET BOTTOM OF CABINET AT 32" A.F.F. SEE PROJECT MANUAL. |
| C3 | PROVIDE CABINETS, CASEWORK, COUNTERTOPS AND FIXTURES. SEE INTERIOR ELEVATIONS. SEE ALSO PROJECT MANUAL. |
| C4 | PROVIDE SHELVES WITH REQUIRED BRACKETS AND ASSOCIATED HARDWARE. SEE INTERIOR ELEVATIONS. SEE ALSO PROJECT MANUAL. |
| C5 | PROVIDE "HIGH-LIFT" DOUBLE WATER COOLER UNIT WITH BOTTLE FILLER AT LOW ONE. SEE ALSO MEP DRAWINGS. |
| C6 | PROVIDE FIRE EXTINGUISHER SURFACE MOUNTED TO STUD. SET BOTTOM OF FIRE EXTINGUISHER 32" A.F.F. SEE PROJECT MANUAL. |
| C7 | PROVIDE COMMERCIAL ATTIC LADDER WITH BOX ENCLOSURE BETWEEN CEILING AND ATTIC PLATFORM. SEE PROJECT MANUAL. |
| C8 | PROVIDE GALV. CHAIN LINK KENNEL CAGE AND DOOR. 1 1/2" MAXIMUM WIRE MESH. 11 GAUGE MINIMUM. SEE PROJECT MANUAL. |
| C9 | PROVIDE 13 3/8" X 31 3/8" SALOON STYLE DOG DOOR WITH GUILLOTINE STYLE CLOSE-OFF. SEE PROJECT MANUAL. |
| C10 | PROVIDE GALV. CHAIN LINK FENCE ENCLOSURE 6' HIGH. 1 1/2" MAXIMUM WIRE MESH. 11 GAUGE MINIMUM. SEE CIVIL DRAWINGS. |
| C11 | LAUNDRY MACHINE AND DRYER, PROVIDED BY OWNER. |
| C12 | CAT CONDO WITH ATTACHED LITTER BOX ROOM. PROVIDED BY OWNER. |
| C13 | TRENCH DRAIN. SEE PLUMBING DRAWINGS. |
| C14 | PROVIDE GATED HANDRAIL FOR ATTIC LADDER. SEE PROJECT MANUAL. |
| C15 | FROM DOWN ARROW, SLOPE SLAB TOWARDS TRENCH DRAIN @ 1/4" PER 12". |
| C16 | MEP EQUIPMENT ON EXTERIOR SLABS. REFER TO CIVIL AND MEP DRAWINGS. |
| C17 | METAL BOX GUTTER AND DOWN SPOUT. CONNECT DOWNSPOUT INTO UNDERGROUND DRAINAGE VIA CAST FROM BOOT. SEE CIVIL DRAWINGS. |
| C18 | PROVIDE ADDITIONAL LAYER OF 5/8" GYPSUM WALL BOARD AT SPECIFIED WALL LOCATION. ADDITIONAL LAYER IS REQUIRED TO PROVIDE FLUSH SURFACE BETWEEN GYPSUM WALLS. |
| C19 | PROVIDE EXTERIOR GALV. CHAIN LINK FENCE ENCLOSURE 6' HIGH. 1 1/2" MAXIMUM WIRE MESH. 11 GAUGE MINIMUM. SEE CIVIL DRAWINGS. |
| C20 | 8" CMU WALL BUILT UP TO 4". PROVIDE MORTAR MESH AND FILL TOP COURSE SOLID. GRIND TOP EDGE IN FIELD TO MATCH BULLNOSE. USE BLOCK CAVITIES AS CHASE FOR DOG GROOMING STATION. |
| C21 | ALTERNATE: PROVIDE STAINLESS STEEL DOG GROOMING STATION. |



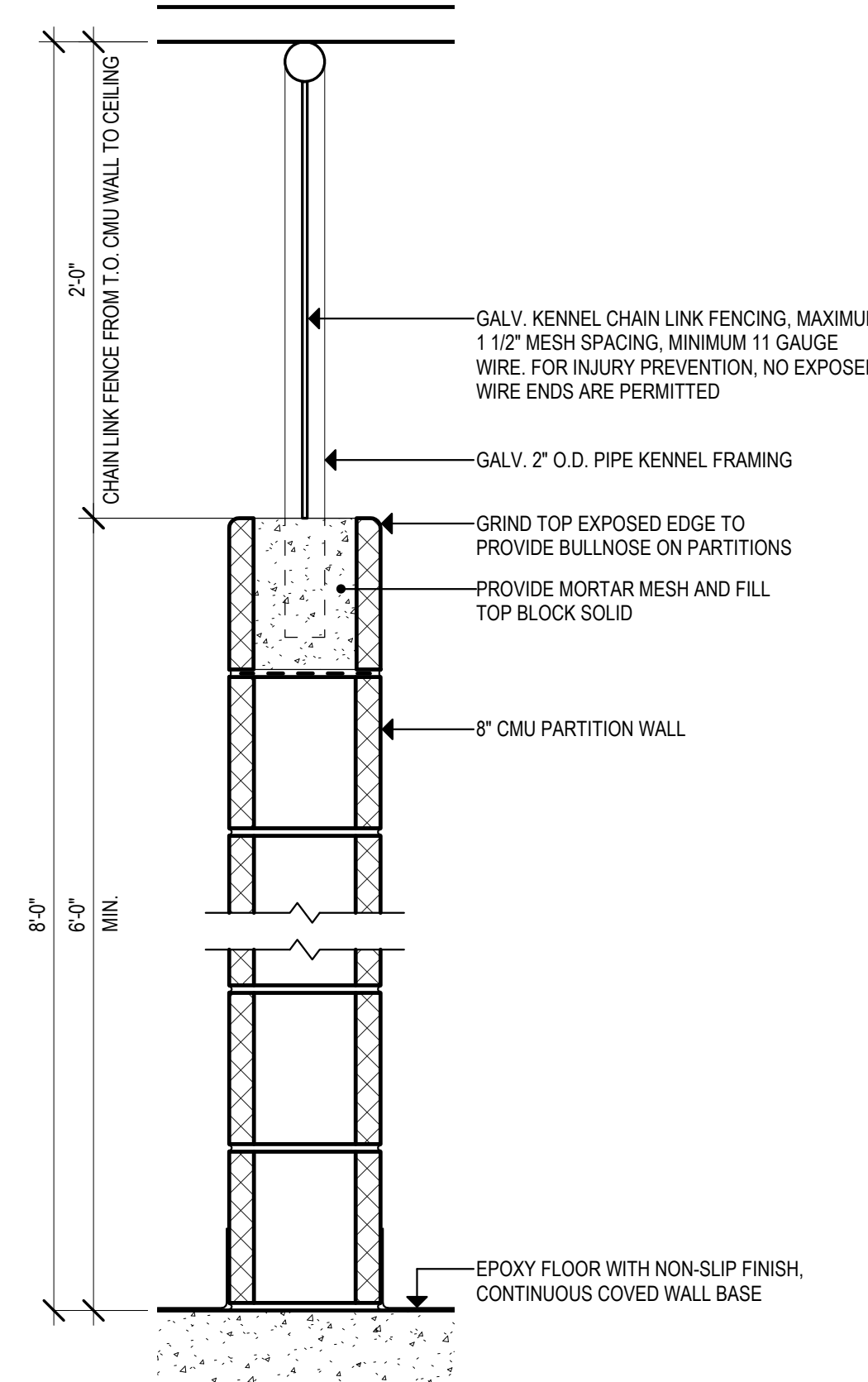
4 TYPICAL KENNEL DOG DOOR ELEVATION
1/2" = 1'-0"



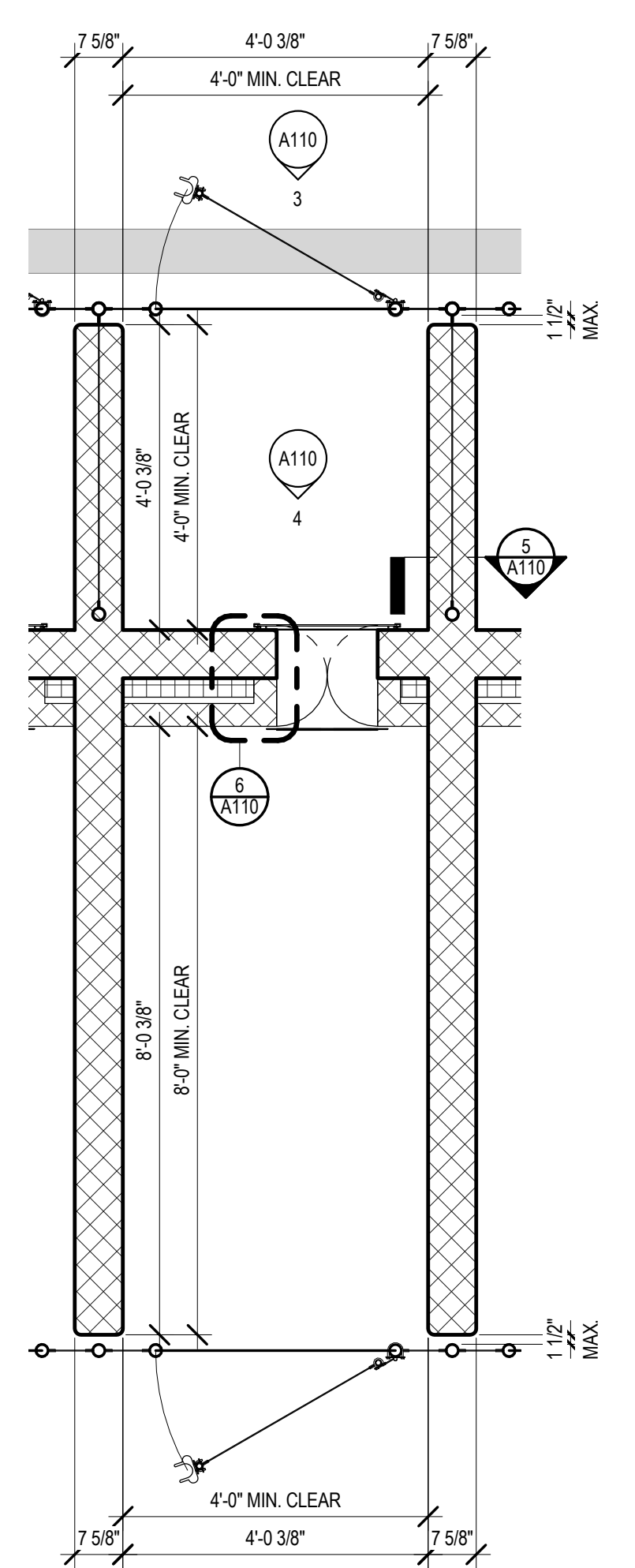
6 TYPICAL KENNEL DOG DOOR JAMB
3/8" = 1'-0"



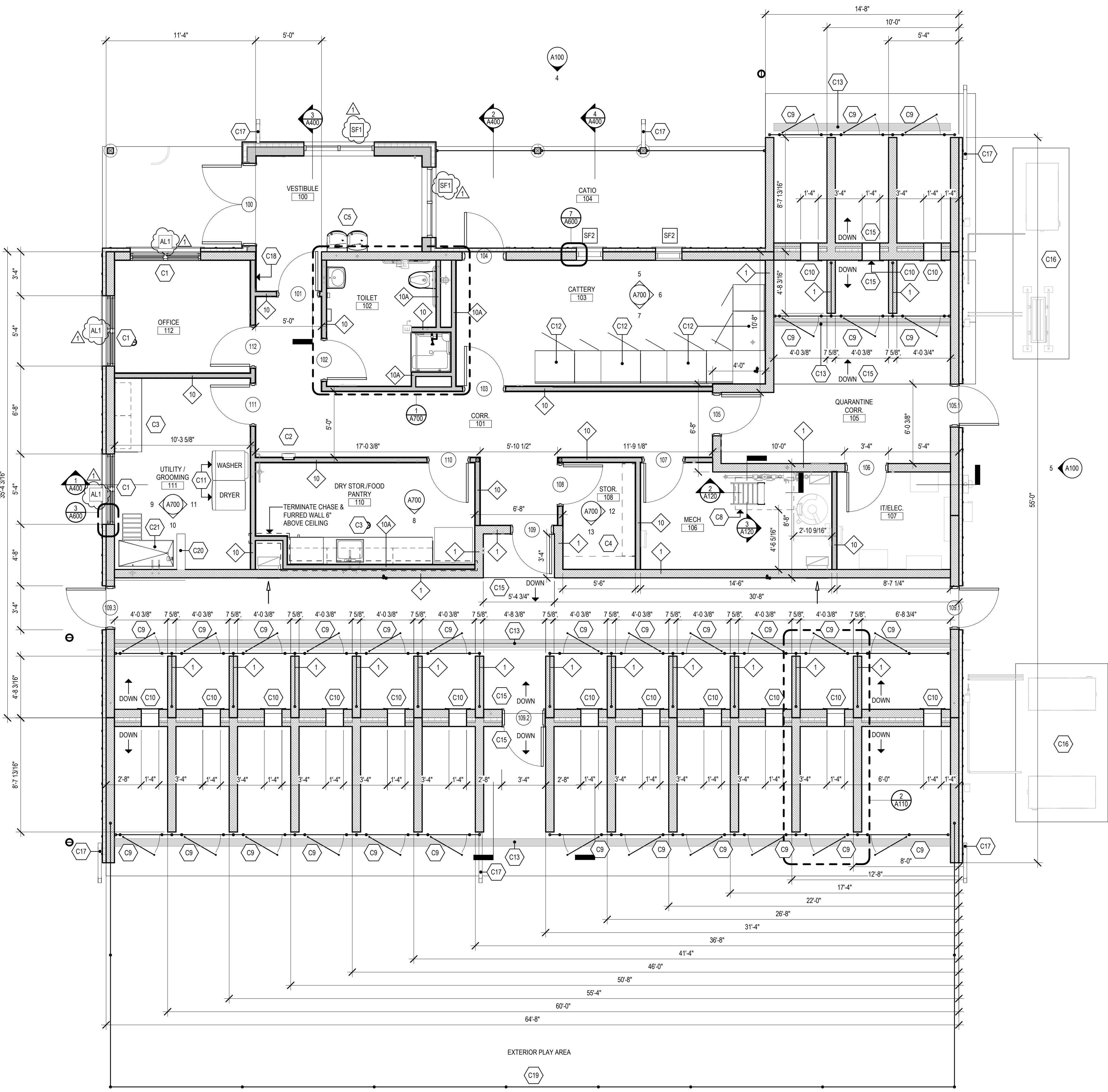
3 TYPICAL KENNEL DOOR ELEVATION
1/2" = 1'-0"



5 KENNEL PARTITION WALL SECTION
1 1/2" = 1'-0"



2 TYPICAL KENNEL LAYOUT
1/2" = 1'-0"



1 MAIN LEVEL FLOOR PLAN
1/4" = 1'-0"

Project Title:
**New Animal Facility at:
 Montville Animal Shelter**
 225 Maple Ave. Parcel ID: 077-041-000
 Montville, CT

SILVER PETRUCELLI + ASSOCIATES
 3190 WHITNEY AVENUE HAMDEN CT 06518
 311 STATE STREET NEW LONDON CT 06320
 203 230 9007 silverpetrucelli.com

| Revision | Description | Date | Revised By |
|----------|-------------|----------|------------|
| 1 | ADDENDUM 1 | 11/21/23 | MES |

Drawing Title:
FLOOR PLANS

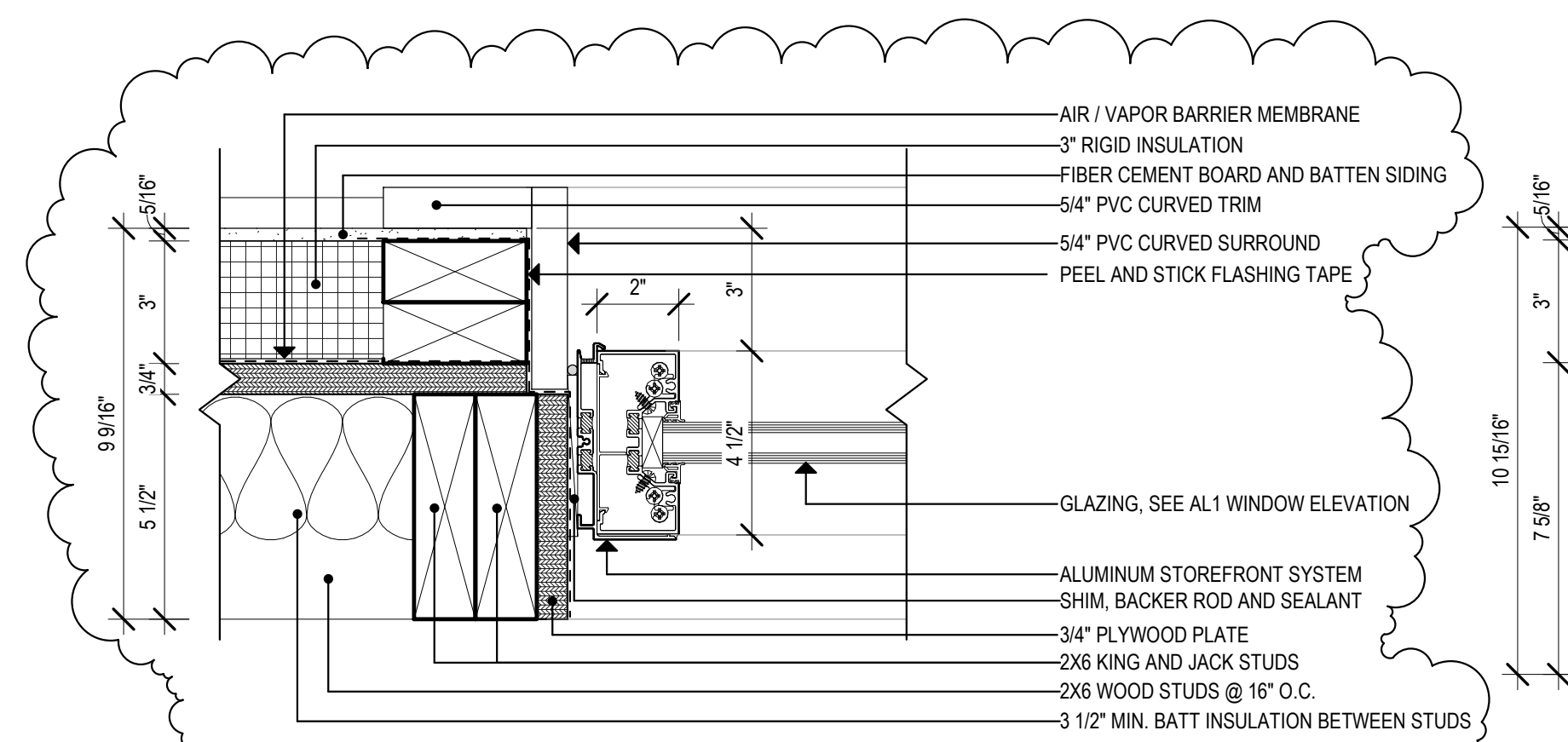
Date:
 10/02/2023

Scale:
 As Indicated

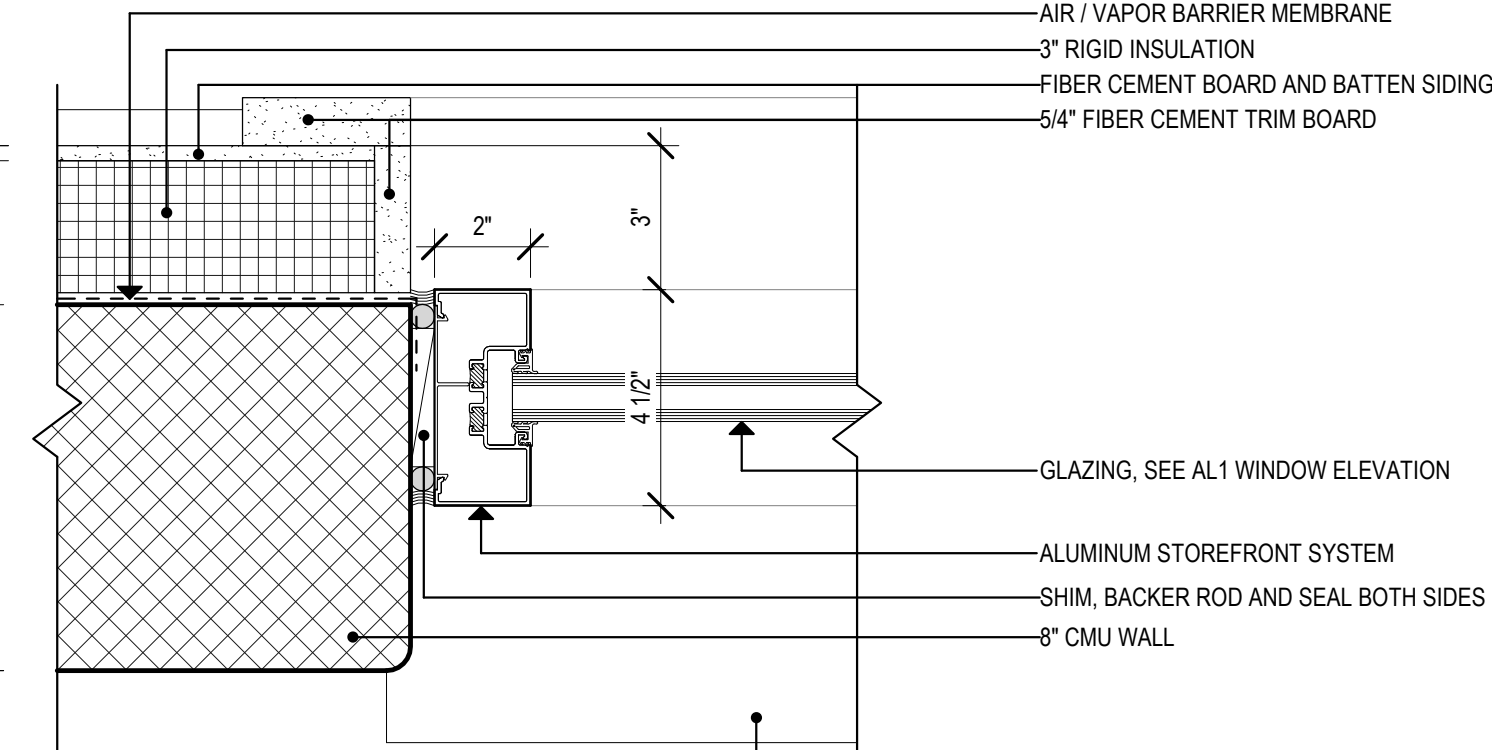
Drawn By:
 MES

Project Number:
 22.130

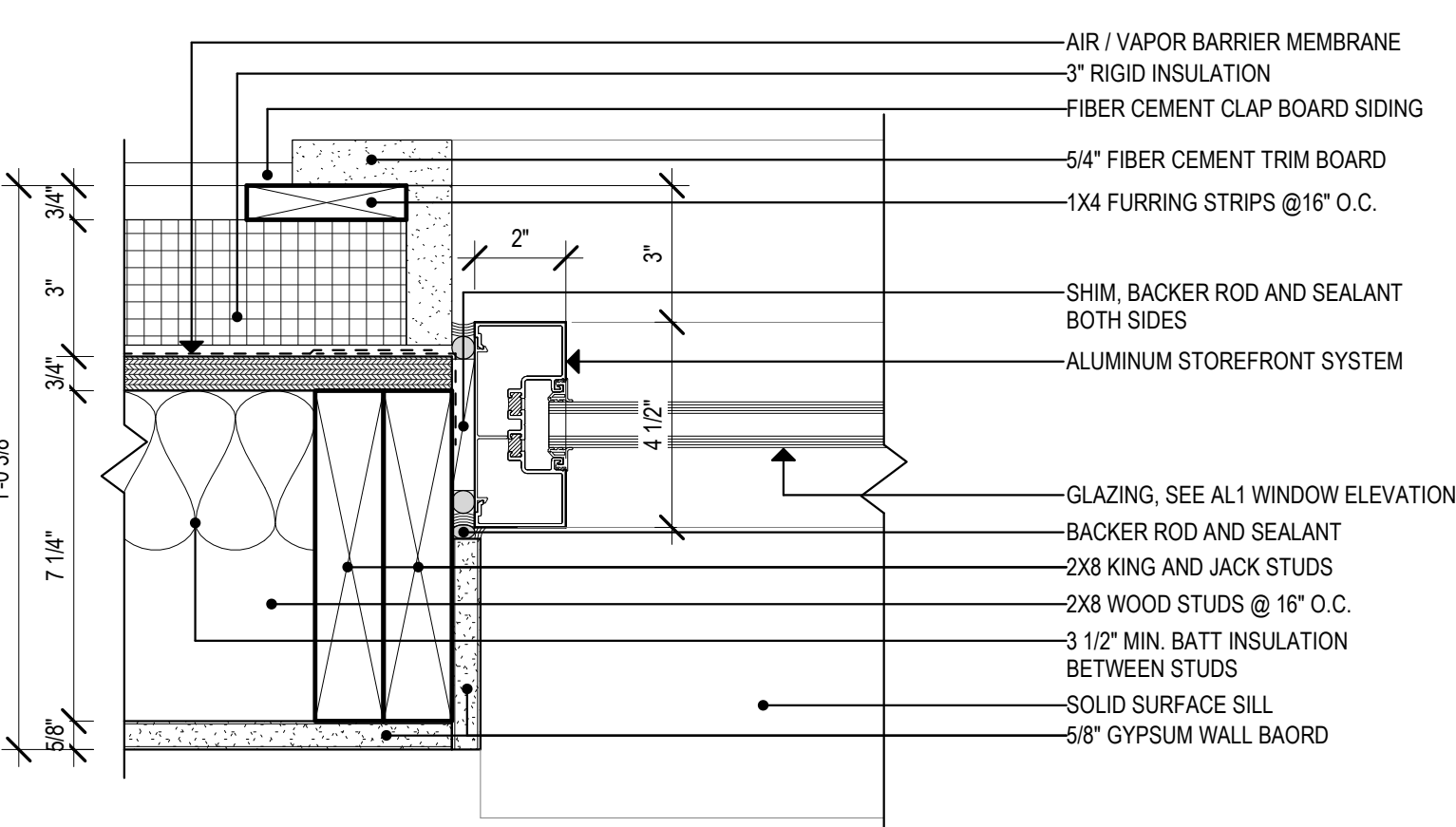
Drawing Number:
A110



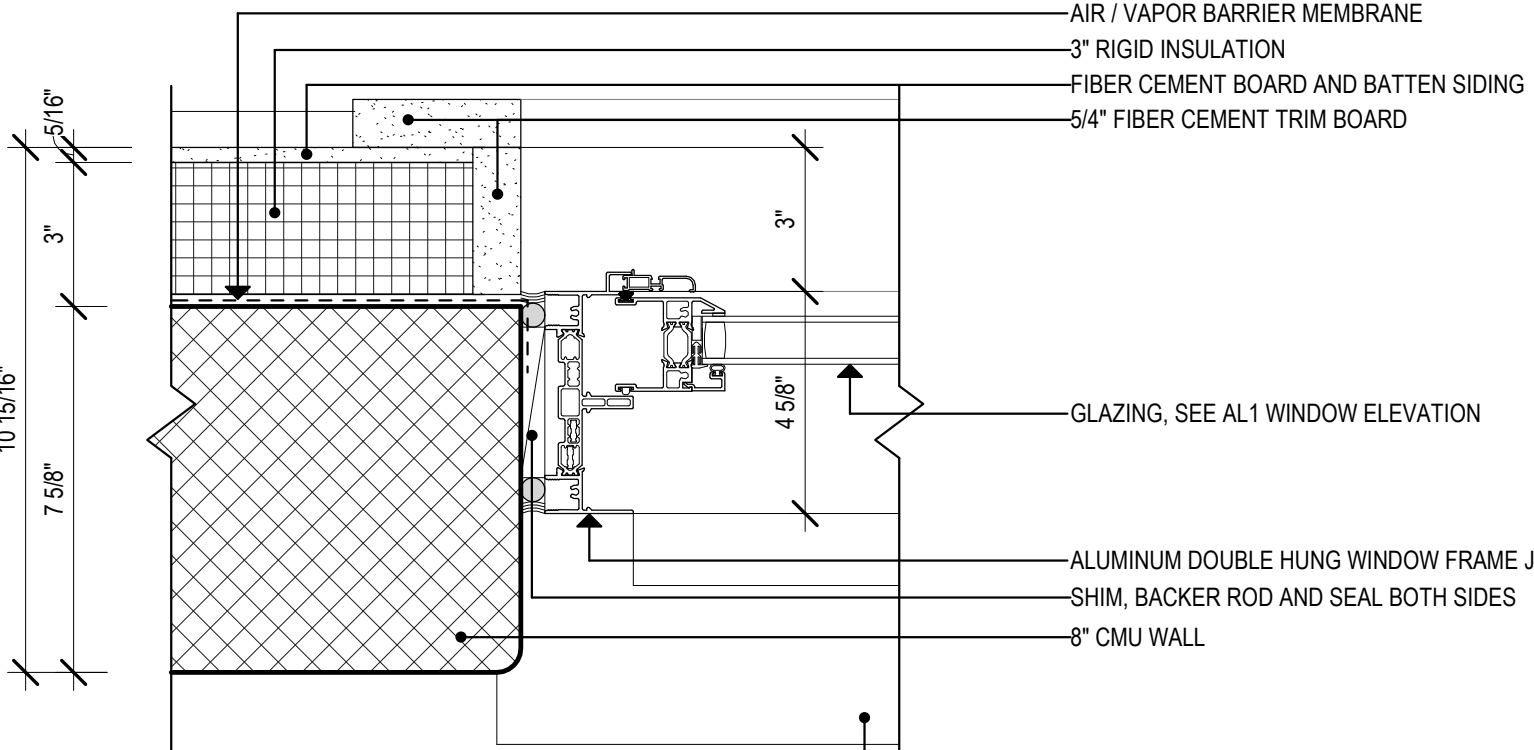
9 ROUND AL. FRAME WINDOW JAMB
3\"/>



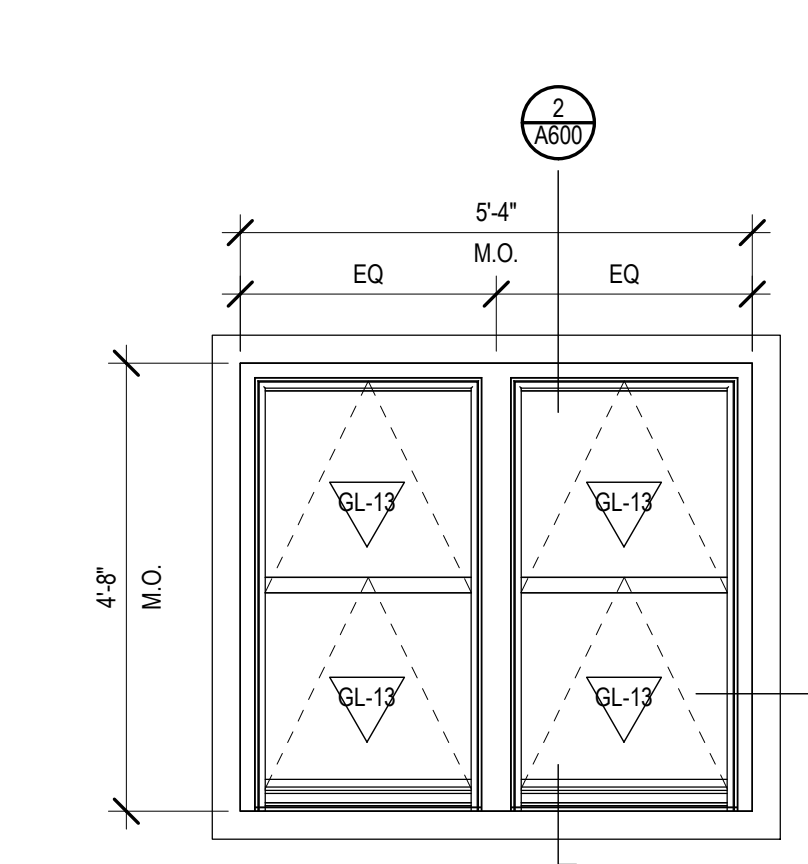
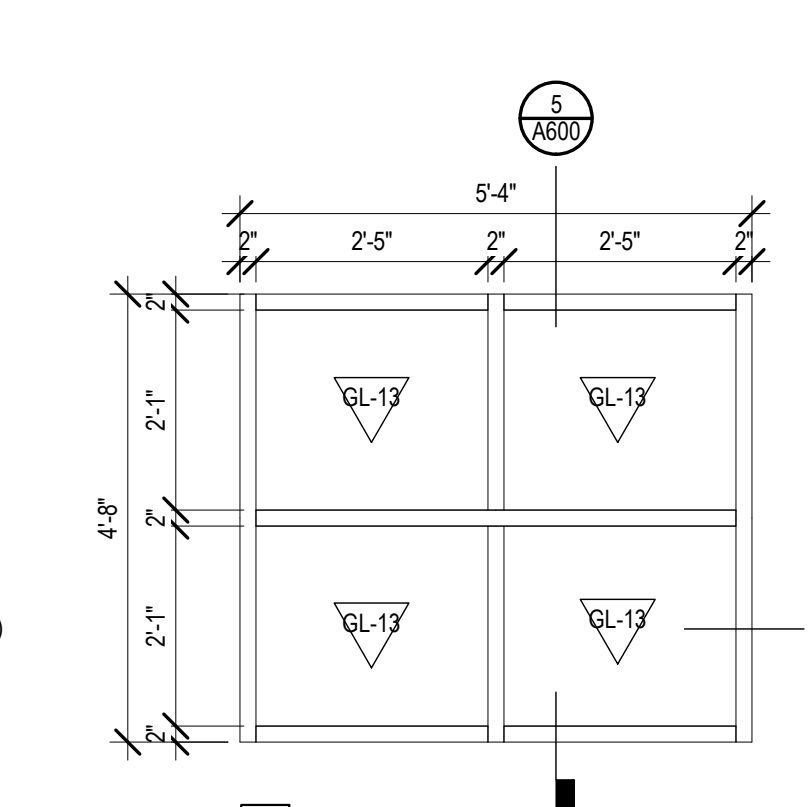
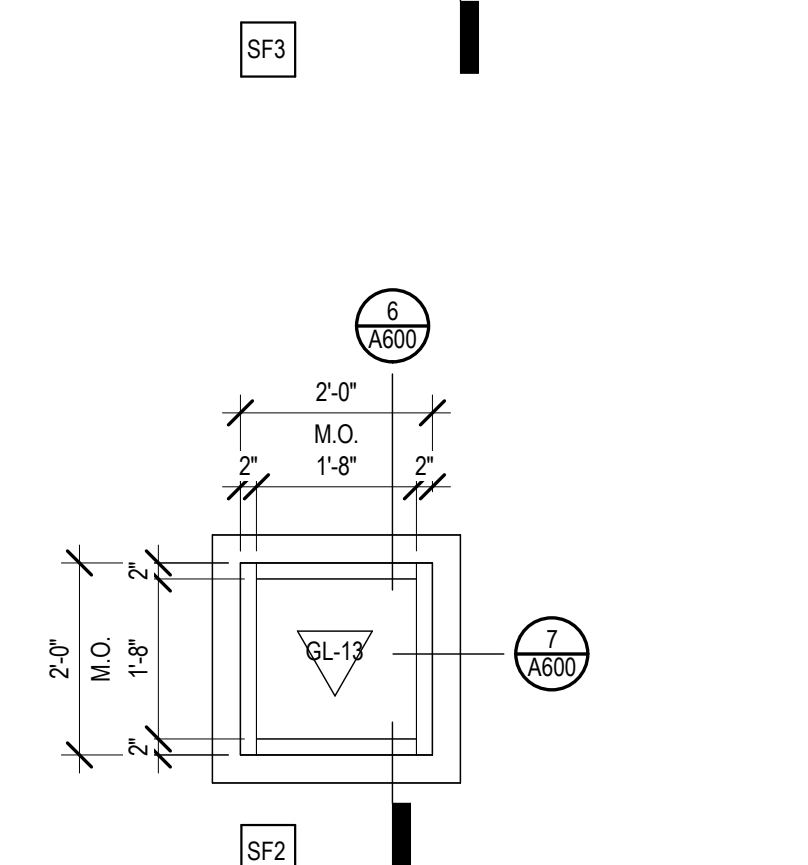
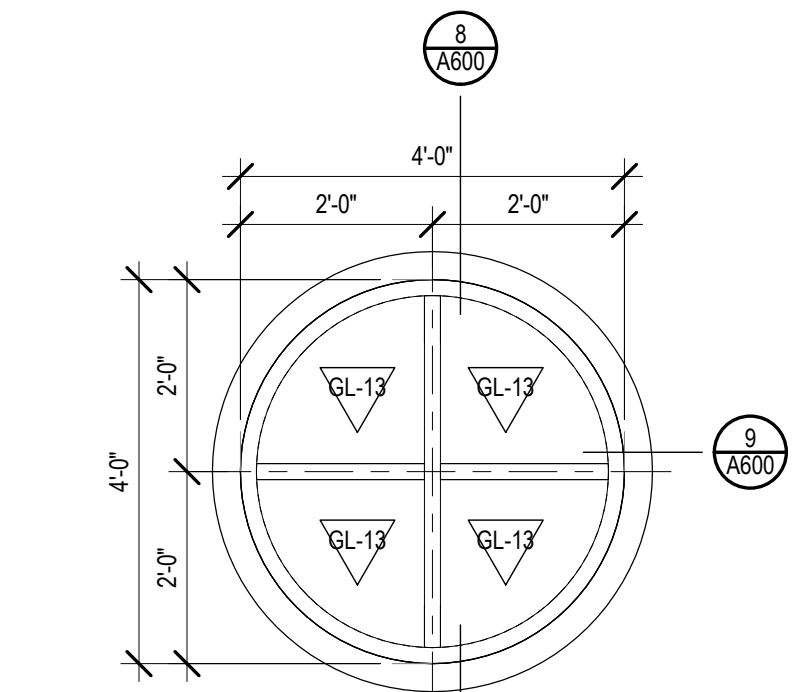
7 AL. FRAME WINDOW JAMB
3\"/>



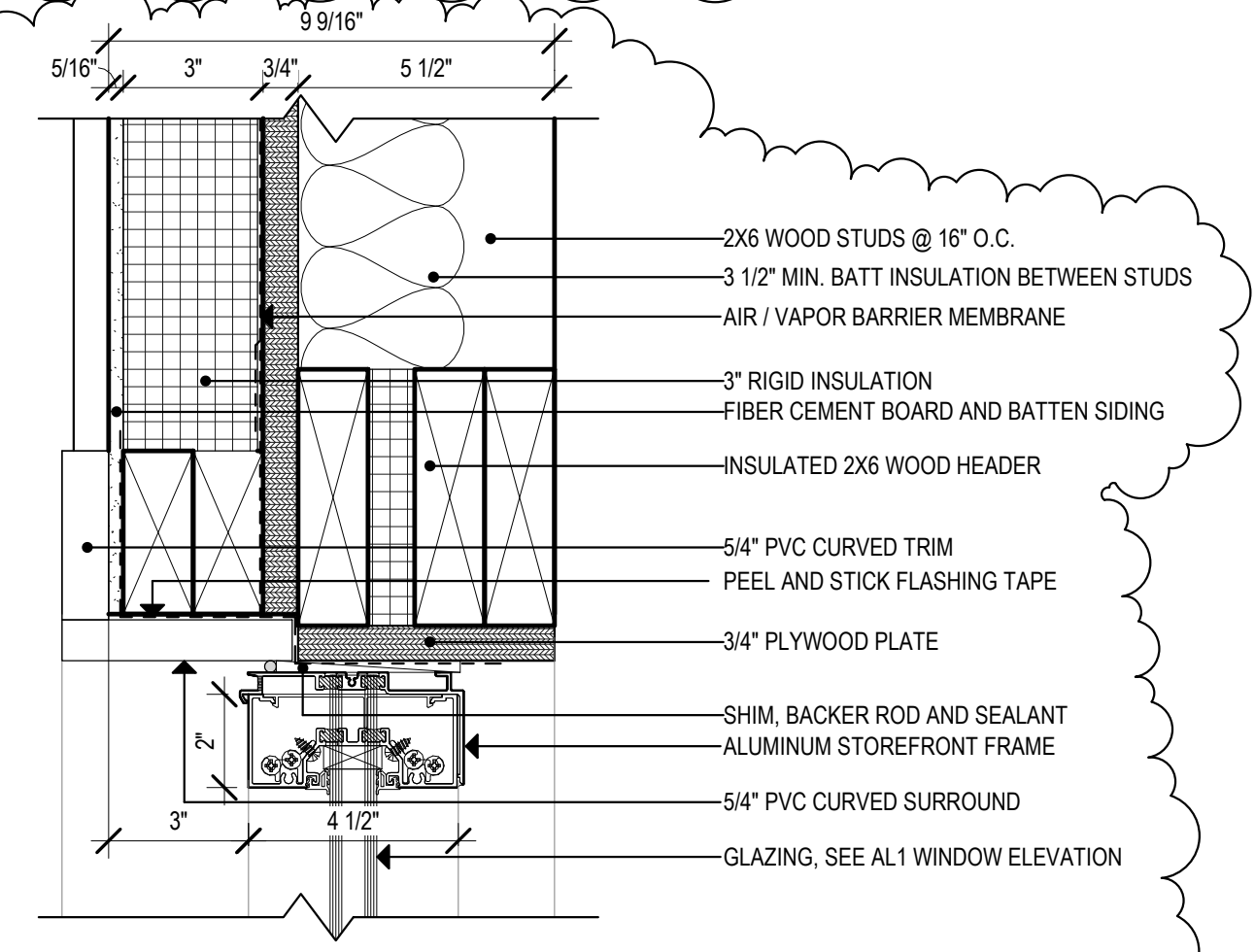
5 AL. FRAME WINDOW IN VEST. JAMB
3\"/>



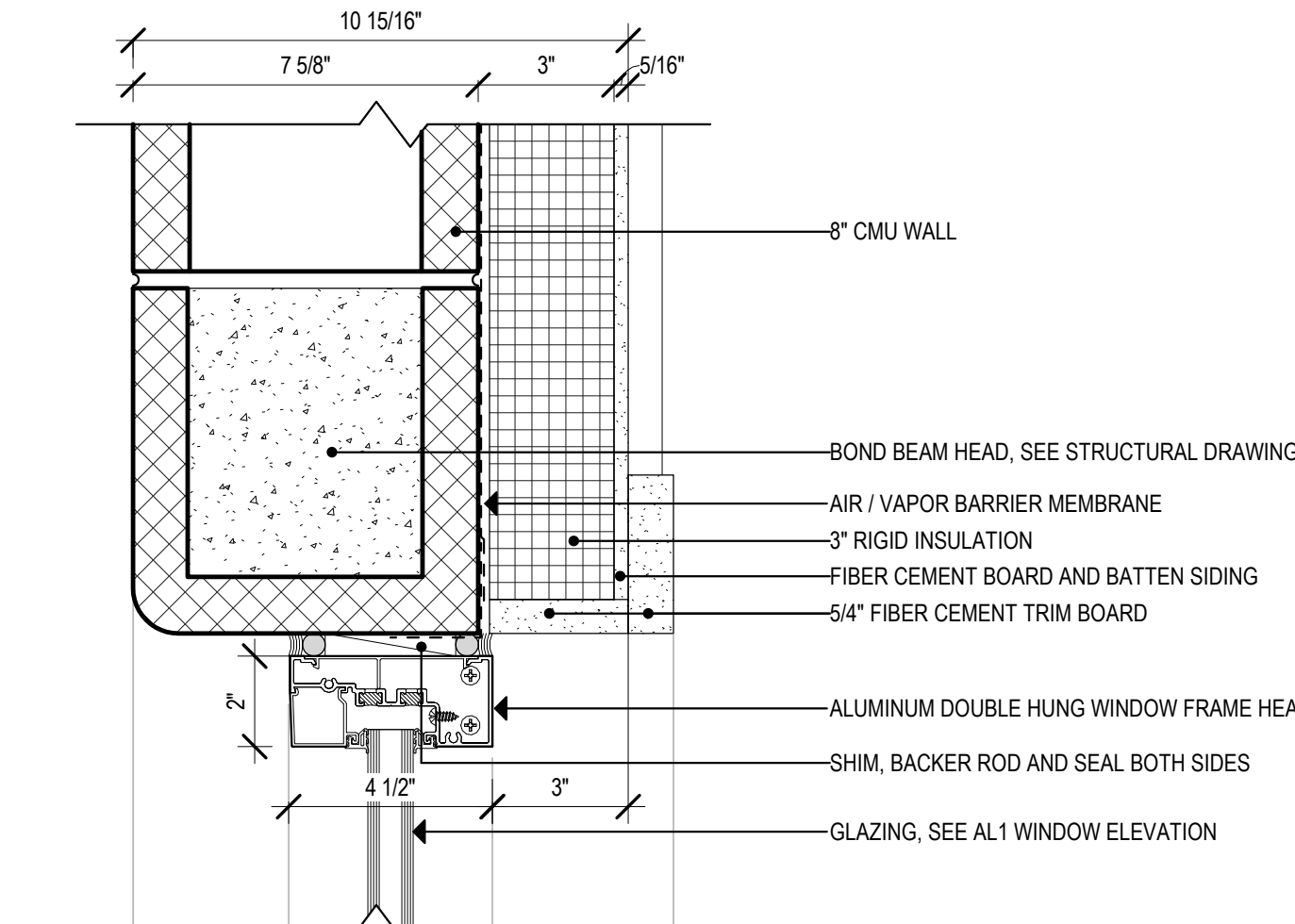
3 DOUBLE HUNG JAMB
3\"/>



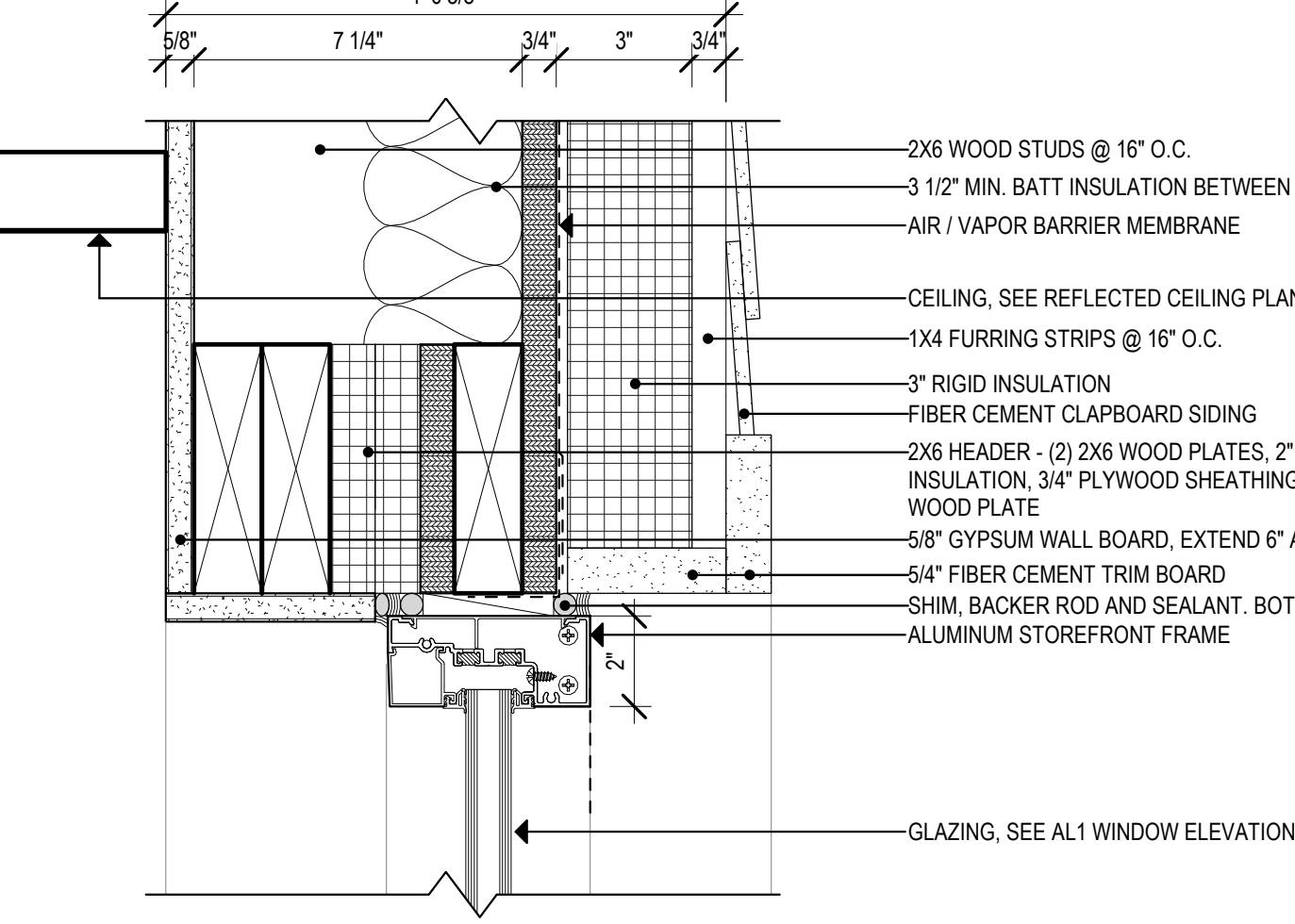
1 WINDOW ELEVATIONS
1/2\"/>



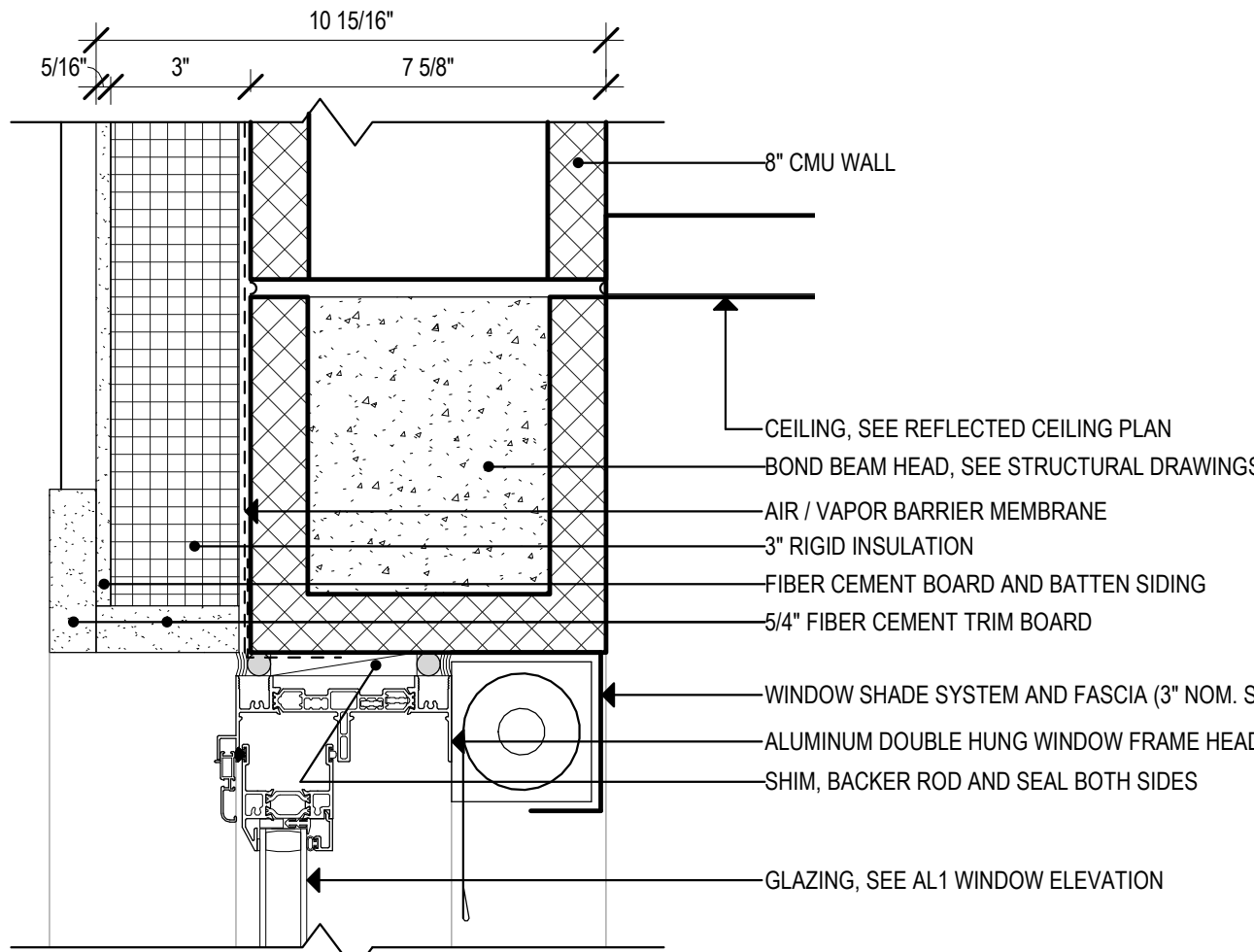
8 ROUND AL. FRAME WINDOW SILL & HEAD
3\"/>



6 AL. FRAME WINDOW SILL & HEAD
3\"/>



4 AL. FRAME WINDOW IN VEST. SILL & HEAD
3\"/>



2 DOUBLE HUNG WINDOW SILL & HEAD
3\"/>

Project Title:
**New Animal Facility at:
 Montville Animal Shelter**
 225 Maple Ave. Parcel ID: 077-041-000
 Montville, CT

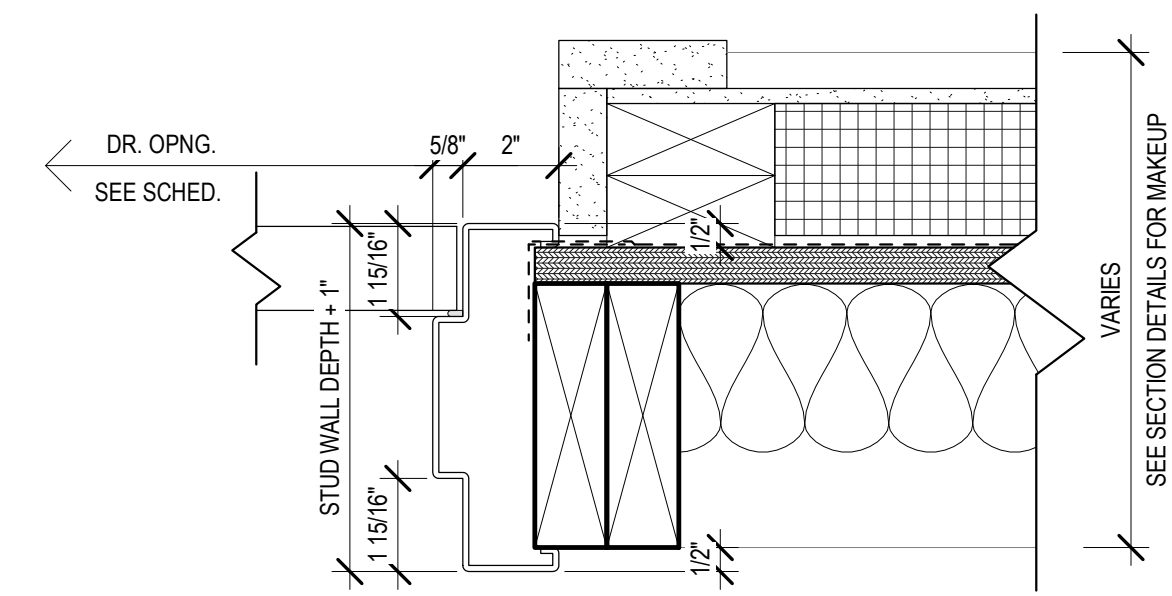
SILVER PETRUCELLI + ASSOCIATES
 3190 WHITNEY AVENUE HAMDEN CT 06518
 311 STATE STREET NEW LONDON CT 06320
 203 230 9007 silverpetrucelli.com

| Revision: | Description: | Date: | Revised By: |
|-----------|--------------|----------|-------------|
| 1 | ADDENDUM 1 | 11/21/23 | MES |
| | | | |
| | | | |
| | | | |
| | | | |

Drawing Title:
WINDOW ELEVATIONS & DETAILS

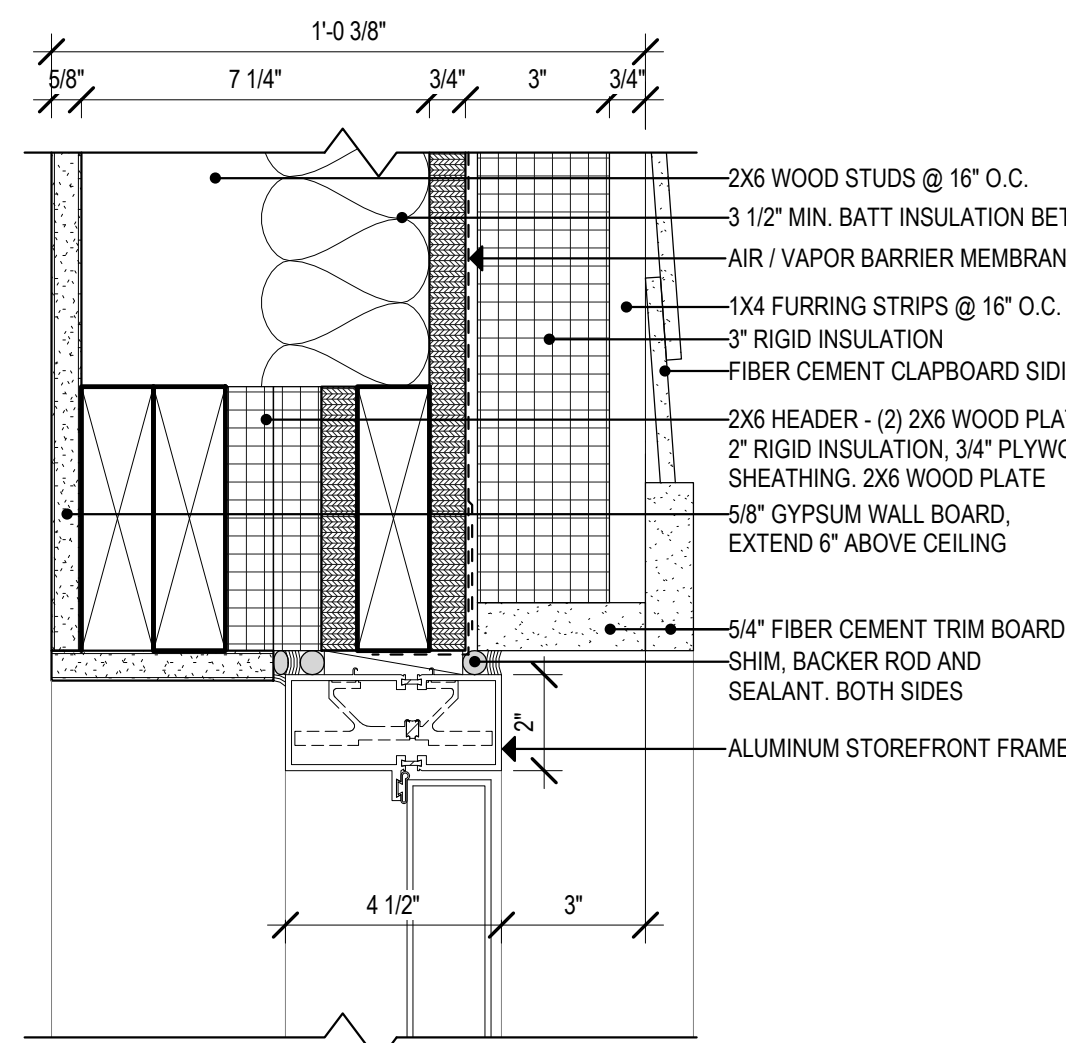
Date: 10/02/2023
 Scale: As Indicated
 Drawn By: MES
 Project Number: 22.130

Drawing Number:
A600



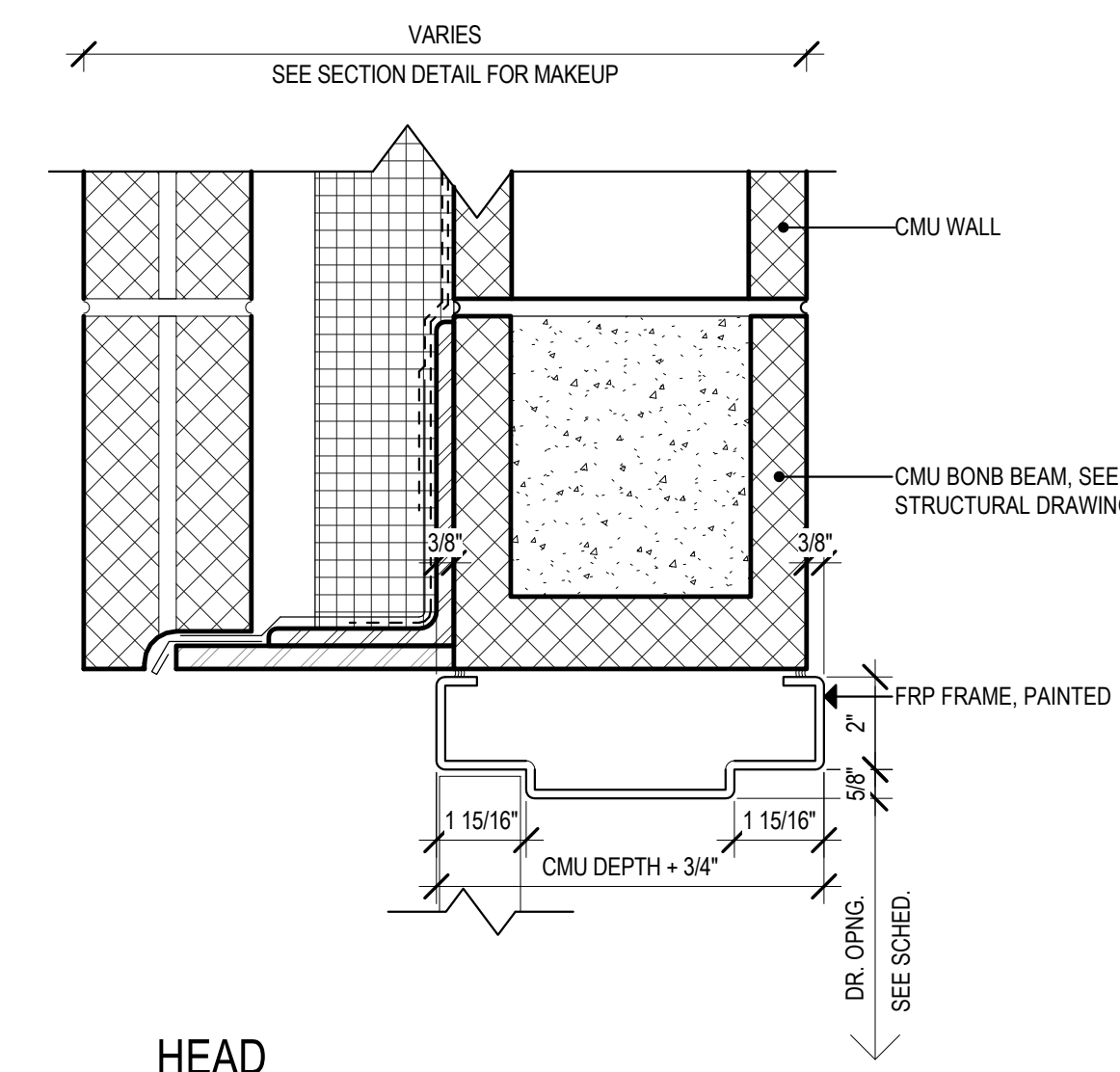
7 FRP JAMB - ATTIC

3" = 1'-0"



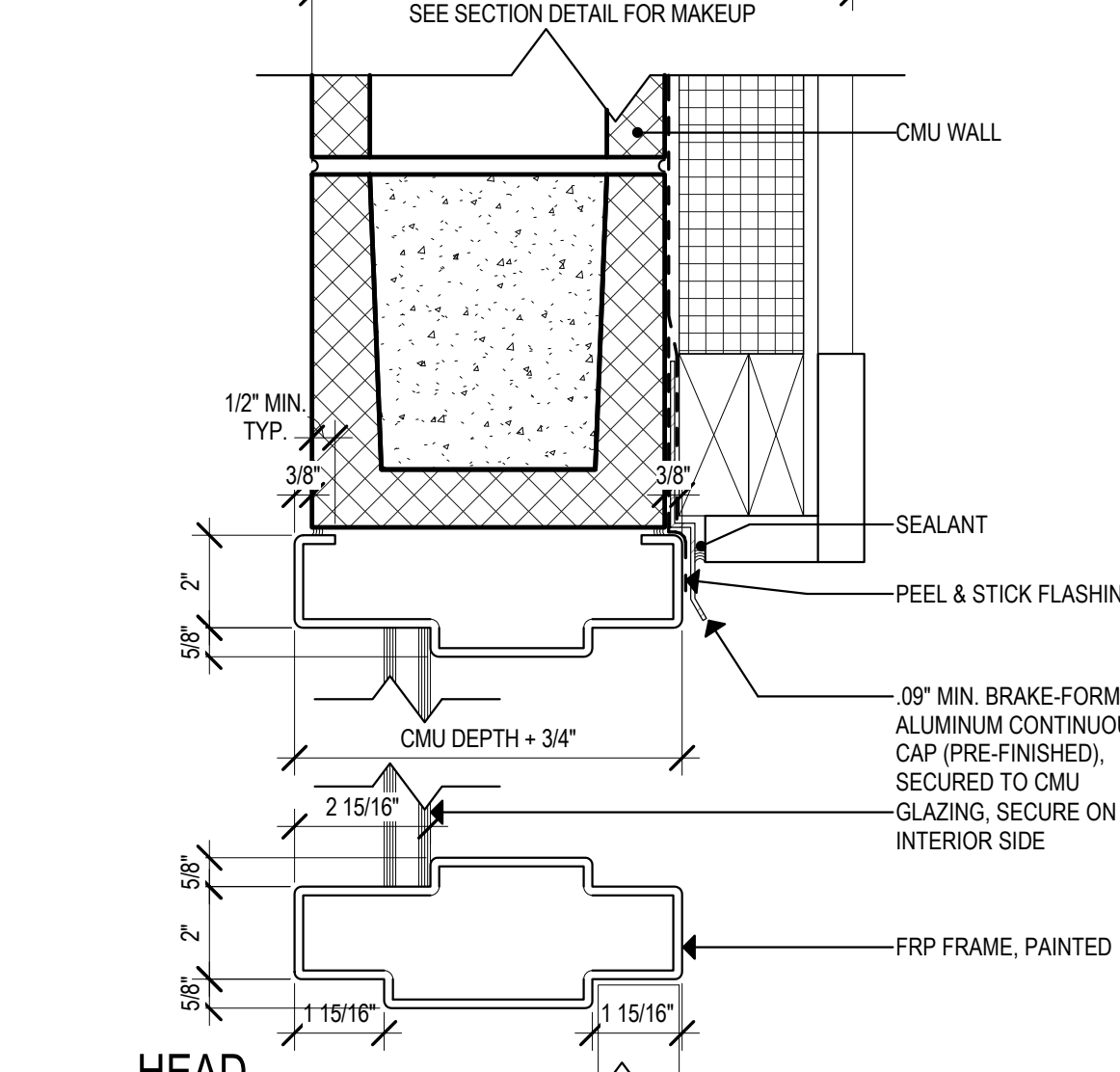
8 AL. DOOR FRAME DETAILS

3" = 1'-0"



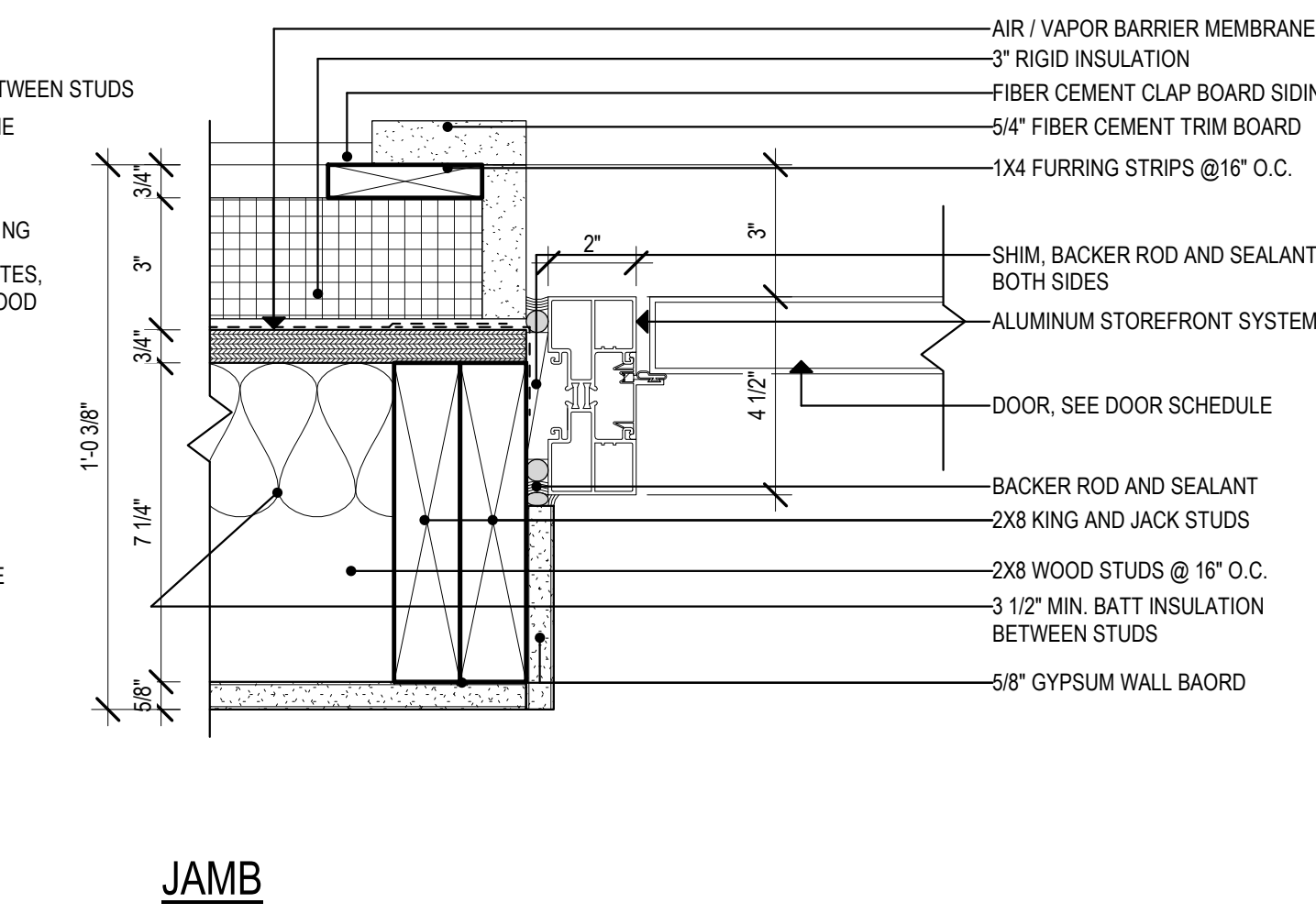
9 FRP DOOR AT KENNELS

3" = 1'-0"



6 FRP DOOR FRAME W/ TRANSOM

3" = 1'-0"



JAMB

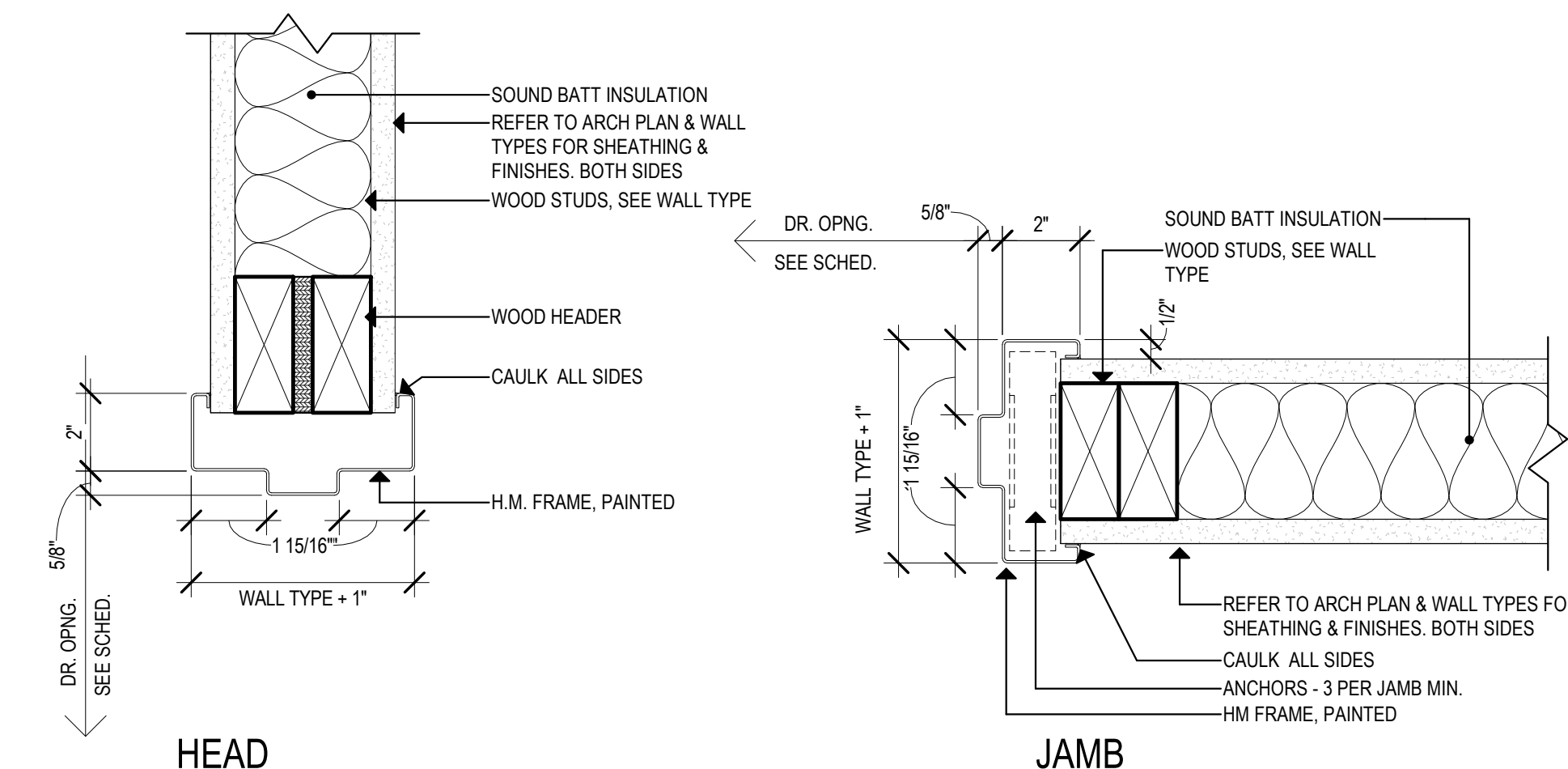
| DOOR SCHEDULE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|---------------|---------------|-------------|------------------|------------------|-------|--------|-----------|---------------|-------------|--------------|------------|----------------|--------------|-------------|-------------|---------------|---------------|--------------------------|-------------------|------------------------------------|-------------------|--------------|---------------|---------------|---------|---|------|---|---|---|----------|-------------------|
| DOOR | | | | | | | | | | | | | FRAME | | | | | RATING | | HARDWARE - REFER TO PROJECT MANUAL | | | | | | | | | | | | |
| DOOR NUMBER | FROM ROOM No. | TO ROOM No. | DOUBLE LEAF DOOR | WINGED DOORLEAFS | WIDTH | HEIGHT | DOOR TYPE | DOOR MATERIAL | DOOR FINISH | DOOR GLAZING | FRAME TYPE | FRAME MATERIAL | FRAME FINISH | HEAD DETAIL | JAMB DETAIL | SADDLE DETAIL | FRAME GLAZING | RESISTS PASSAGE OF SMOKE | 30 MINUTE LABELED | 90 MINUTE LABELED | 15 MINUTE LABELED | NOT REQUIRED | CODE/SECURITY | ACCESSIBILITY | REMARKS | | | | | | | |
| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 100 | | | | | 6'-0" | 7'-0" | 3 | AL | PRE-FIN | GL-17 | C | AL | PRE-FIN | 5A900 | 5A900 | A | | | | | | | • | • | • | 3 | EXIT | | | | | |
| 101 | 100 | 101 | | | 3'-0" | 7'-0" | 2 | HM | PAINT | GL-2 | A | HM | PAINT | 5A900 | 5A900 | B | | | | | | | | | | • | • | • | • | 2 | BATHROOM | |
| 102 | 101 | 102 | | | 3'-0" | 7'-0" | 1 | HM | PAINT | | A | HM | PAINT | 5A900 | 5A900 | C | | | | | | | | | | | | | | | 1 | CATTERY |
| 103 | 103 | 104 | | | 3'-0" | 7'-0" | 2 | HM | PAINT | GL-2 | A | HM | PAINT | 5A900 | 5A900 | B | | | | | | | | | | | | | | | 1 | CATIO |
| 104 | 103 | 104 | | | 3'-0" | 7'-0" | 1 | HM | PAINT | | A | HM | PAINT | 5A900 | 5A900 | B | | | | | | | | | | | | | | | 1 | QUARANTINE KENNEL |
| 105 | 106 | 101 | | | 3'-0" | 7'-0" | 2 | HM | PAINT | | A | HM | PAINT | 5A900 | 5A900 | B | | | | | | | | | | | | | | | | |
| 105.1 | 105 | 105 | | | 3'-0" | 7'-0" | 1 | FRP | PAINT | GL-2 | D | FRP | PAINT | 6A900 | 6A900 | A | GL-13 | | | | | | | | | | | | | | 3 | EXIT |
| 106 | 105 | 107 | | | 3'-0" | 7'-0" | 1 | HM | PAINT | | A | HM | PAINT | 5A900 | 5A900 | B | | | | | | | | | | | | | | | 1 | ELECTRICAL |
| 107 | 101 | 106 | | | 3'-0" | 7'-0" | 1 | HM | PAINT | | A | HM | PAINT | 5A900 | 5A900 | B | | | | | | | | | | | | | | | 1 | MECHANICAL |
| 108 | 101 | 108 | | | 3'-0" | 7'-0" | 1 | HM | PAINT | | A | HM | PAINT | 5A900 | 5A900 | B | | | | | | | | | | | | | | | 1 | STORAGE |
| 109 | 101 | 109 | | | 3'-0" | 7'-0" | 2 | HM | PAINT | GL-2 | A | HM | PAINT | 5A900 | 5A900 | B | | | | | | | | | | | | | | | 1 | KENNEL |
| 109.1 | 109 | | | | 3'-0" | 7'-0" | 1 | FRP | PAINT | | D | FRP | PAINT | 6A900 | 6A900 | A | GL-13 | | | | | | | | | | | | | | 3 | EXIT |
| 109.2 | 109 | | | | 3'-0" | 7'-0" | 1 | FRP | PAINT | | A | FRP | PAINT | 5A900 | 5A900 | B | | | | | | | | | | | | | | | 1 | PLAY AREA |
| 109.3 | 109 | | | | 3'-0" | 7'-0" | 1 | FRP | PAINT | | D | FRP | PAINT | 6A900 | 6A900 | A | GL-13 | | | | | | | | | | | | | | 3 | EXIT |
| 110 | 101 | 110 | | | 3'-0" | 7'-0" | 1 | HM | PAINT | | A | HM | PAINT | 5A900 | 5A900 | B | | | | | | | | | | | | | | | 1 | PANTRY |
| 111 | 101 | 111 | | | 3'-0" | 7'-0" | 2 | HM | PAINT | GL-2 | A | HM | PAINT | 5A900 | 5A900 | B | | | | | | | | | | | | | | | 1 | GROOMING |
| 112 | 101 | 112 | | | 3'-0" | 7'-0" | 2 | HM | PAINT | GL-2 | A | HM | PAINT | 5A900 | 5A900 | B | | | | | | | | | | | | | | | 1 | OFFICE |
| 200 | | 200 | | | 5'-0" | 5'-0" | 1 | FRP | PAINT | | C | FRP | PAINT | 2A500 | 2A500 | | | | | | | | | | | | | | | | 1, 3, 4 | |

GENERAL DOOR NOTES:

- CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS & DIMENSIONS.
- ALL NEW WICK PLATES SHALL BE 12" HIGH AND OFFSET 1" FROM EDGES OF DOOR UNLESS OTHERWISE NOTED. CENTERED AT BOTTOM OF DOOR.
- ALL GLASS IN DOORS, SIDELITS AND TRANSOMS SHALL BE TEMPERED UNLESS OTHERWISE NOTED. SEE SCHEDULE FOR SPECIFIC TYPE AND THICKNESS. SEE ALSO PROJECT MANUAL.
- ALL EXTERIOR DOORS SHALL RECEIVE FULL WEATHER STRIPPING ON SIDES, TOP AND BOTTOM.
- PROVIDE CONTINUOUS HINGES AT ALL EXTERIOR DOORS AND OTHER LOCATIONS AS NOTED.
- FOR ALL DOORS WITH FRAME TYPE DESIGNATION "ALUM" AND OR C.W./S.F. SEE STOREFRONT/CURTAIN WALL ELEVATIONS FOR HEAD, JAMBS, AND GLAZING WITHIN FRAME.
- PROVIDE APPLIED DOOR NUMBER DECAL AT ALL EXTERIOR DOORS UNLESS OTHERWISE NOTED. SEE DETAILS 5 & 6 ON A90-5 AT EXTERIOR DOUBLE DOORS, PROVIDE ONLY ONE FULL HANDLE AND ONE CYLINDER LOCK.

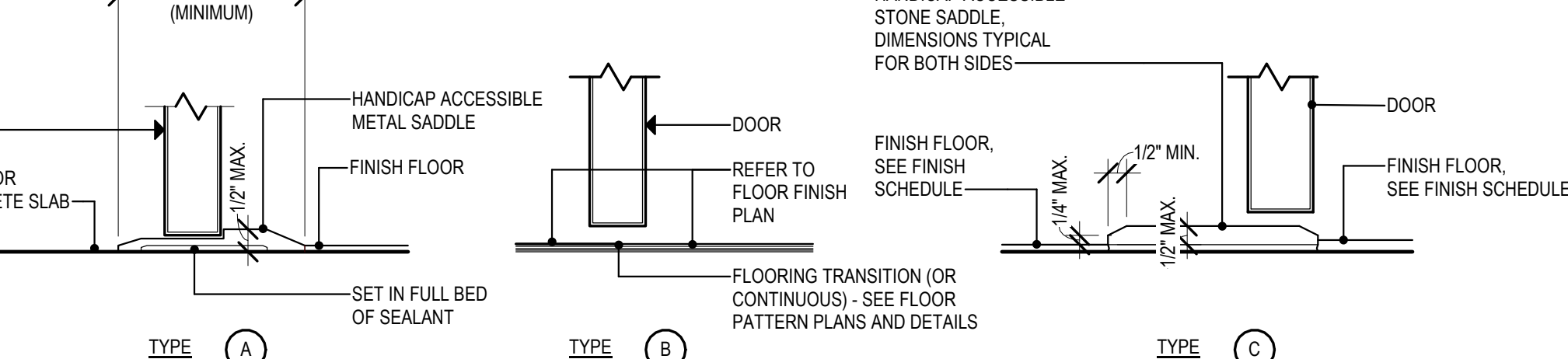
DOOR SCHEDULE REMARKS (LAST COLUMN IN DOOR SCHEDULE):

- PROVIDE CONTINUOUS HINGES
- NO HARDWARE AT EXTERIOR SIDE OF DOOR
- PROVIDE CONTINUOUS WEATHER STRIPPING AROUND DOOR FRAME
- PROVIDE KEYED ENTRY DEADBOLT LOCK WITH THUMBTURN ON INTERIOR SIDE



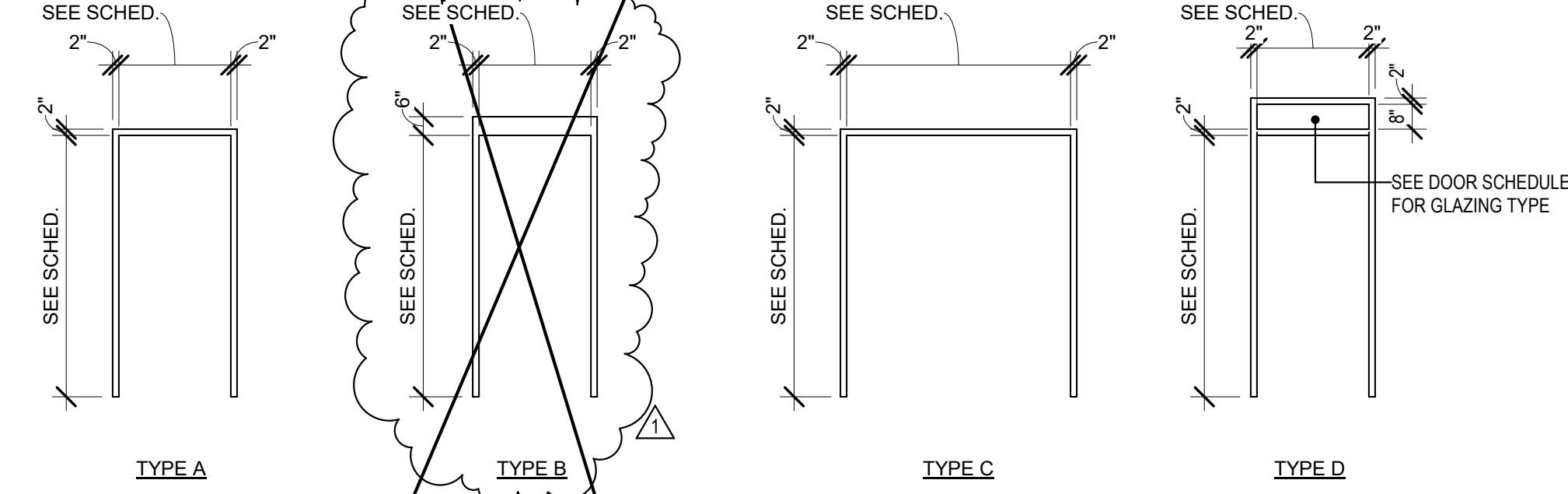
5 HM DOOR FRAME DRAILS

3" = 1'-0"



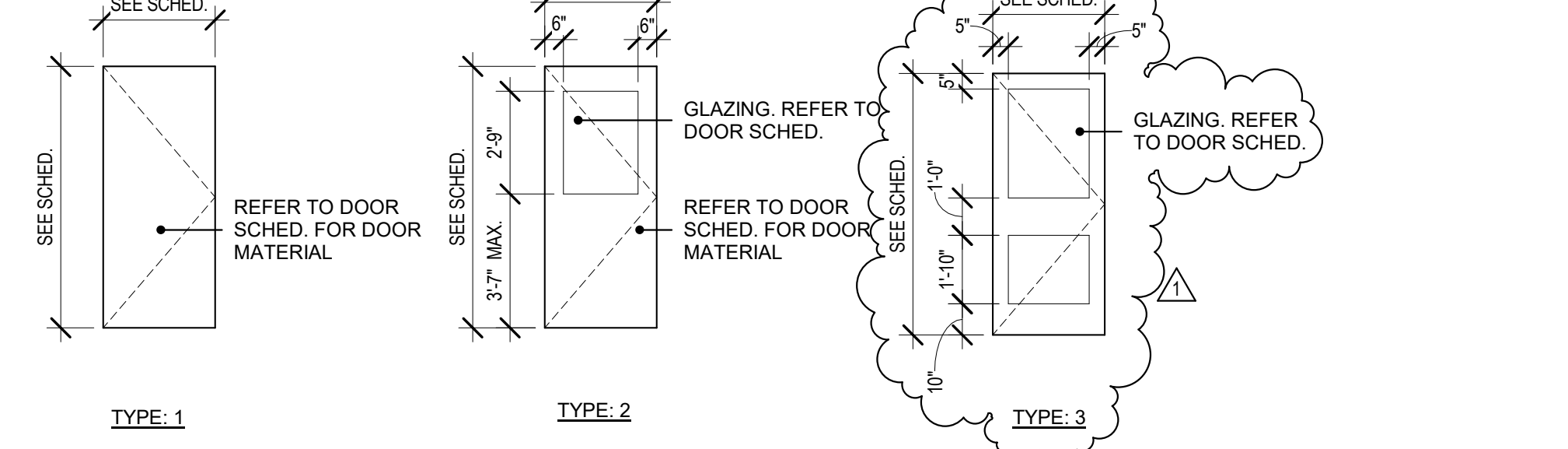
4 SADDLE DETAILS

3" = 1'-0"



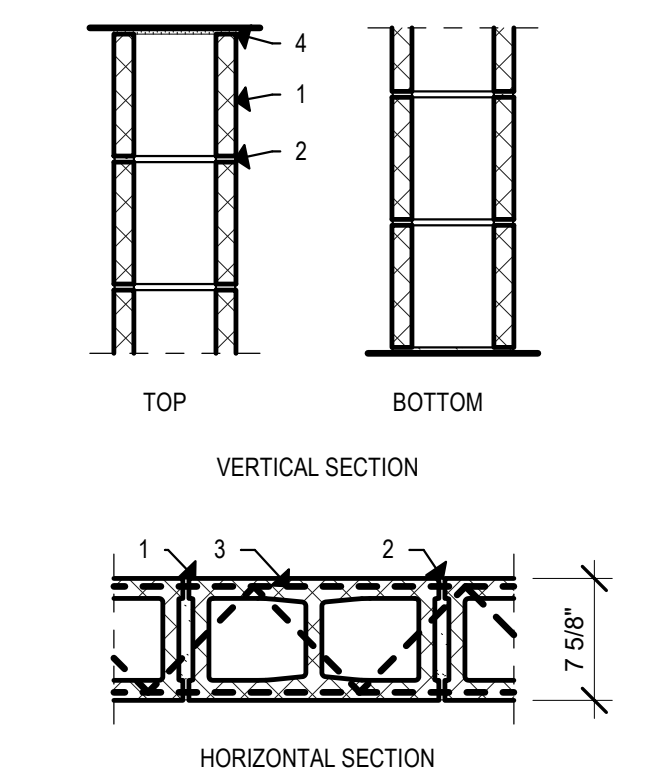
3 FRAME ELEVATIONS

1/4" = 1'-0"



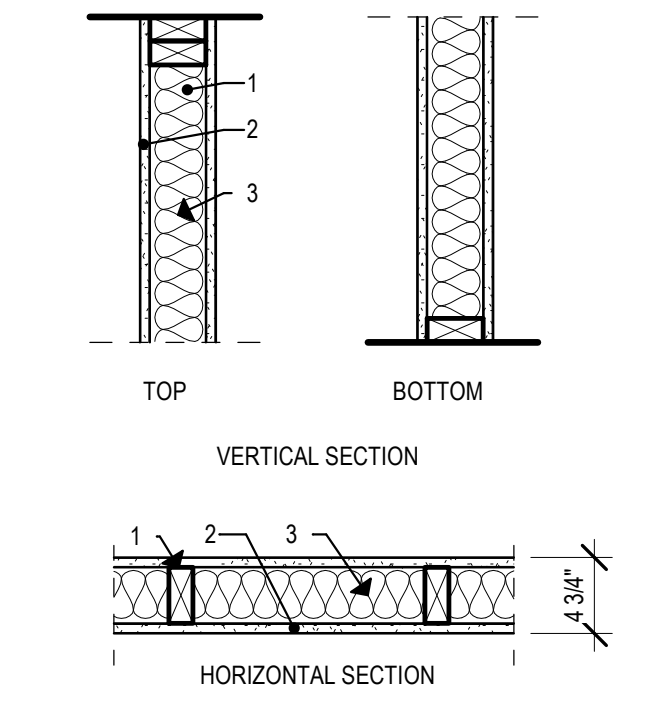
2 DOOR ELEVATIONS

1/4" = 1'-0"



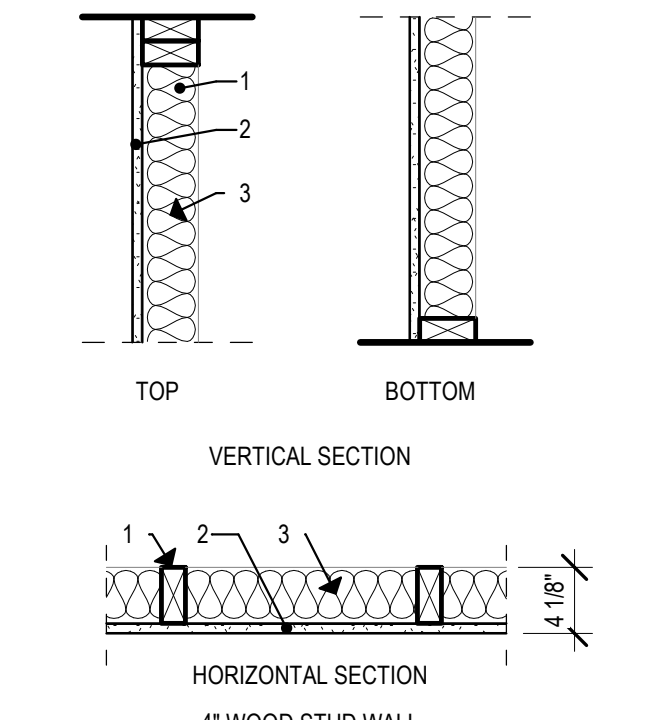
10 8\"/>

1. CONCRETE BLOCK CLASSIFICATION D-2
 2. MORTAR 3/8\"/>



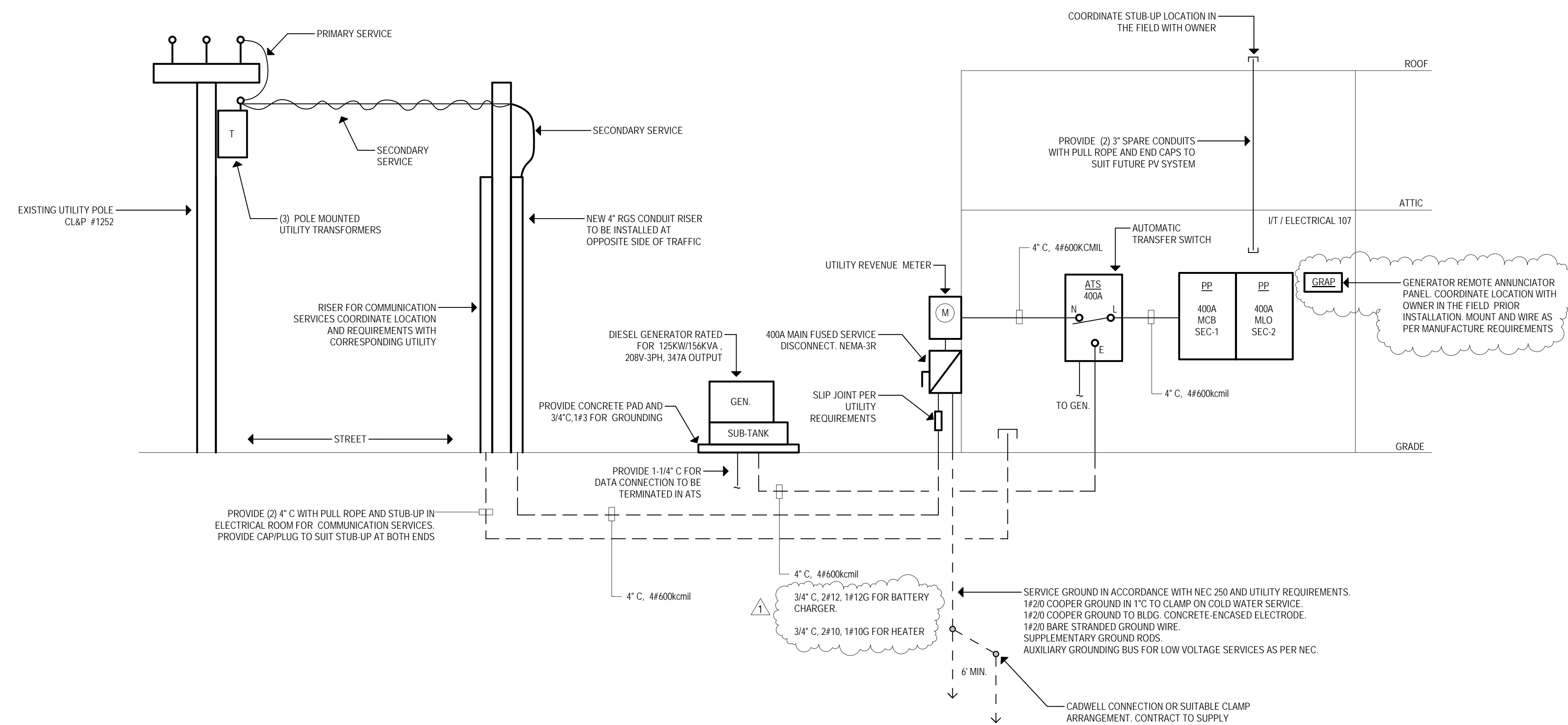
10A 4\"/>

1. 4\"/>
 2. 5/8\"/>
 3. 3\"/>



10A 4\"/>

1. 4\"/>
 2. 5/8\"/>
 3. 3\"/>



1 Electrical One-Line Riser Diagram
12" = 1'-0"

CONDUCTOR NOTES:

1. ALL VALUES BASED ON COPPER CONDUCTORS.
2. **FEEDERS**
UPGRADE WIRE TO MAINTAIN MAXIMUM OF 2% VOLTAGE DROP.
3. **BRANCH CIRCUITS**
UPGRADE WIRE TO MAINTAIN MAXIMUM OF 3% VOLTAGE DROP.
4. NUMBER OF WIRES SHALL BE DETERMINED WITH EQUIPMENT ELECTRICAL NAMEPLATE CHARACTERISTICS.
5. WHERE NEUTRALS ARE REQUIRED, IT SHALL MATCH FEEDER CONDUCTOR SIZE.
6. USE CONDUCTOR (THW/THHN) (3PH, 3W) WITH GROUND PRIMARY FEEDER FOR TRANSFORMERS.

4" C, 4#600kcmil

3/4" C, 2#12, 1#12G FOR BATTERY CHARGER.

3/4" C, 2#10, 1#10G FOR HEATER

6" MIN

SERVICE GROUND IN ACCORDANCE WITH NEC 250 AND UTILITY REQUIREMENTS.
1#20 COPPER GROUND IN 1" TO CLAMP ON COLD WATER SERVICE.
1#20 COPPER GROUND TO BLDG. CONCRETE-ENCASED ELECTRODE.
1#20 BARE STRANDED GROUND WIRE.
SUPPLEMENTARY GROUND RODS.
AUXILIARY GROUNDING BUS FOR LOW VOLTAGE SERVICES AS PER NEC.

CADWELL CONNECTION OR SUITABLE CLAMP ARRANGEMENT. CONTRACT TO SUPPLY