

C-1 / RT 32 OZ DISTRICT
MAP 70 LOT 010-000

PROPOSED 22 UNIT CONDOMINIUM DEVELOPMENT

245 NORWICH-NEW LONDON ROAD
(CT ROUTE 32)
MONTVILLE, CONNECTICUT

APPLICANT
WESTERN GROUP, LLC
338 Westport Road
Wilton, CT

OWNER
WESTERN GROUP, LLC
338 Westport Road
Wilton, CT

DRAWING LIST

SITE/CIVIL DRAWINGS

SHEET NO.	SHEET NAME	PLAN DATE	LATEST REVISION
C-0	COVER SHEET	01/25/22	08/10/22
	IMPROVEMENT LOCATION PLAN	01/07/22	08/10/22
C-2.1	SITE LAYOUT PLAN	01/25/22	08/10/22
C-3.1	GRADING, DRAINAGE PLAN	01/25/22	08/10/22
C-3.2	UTILITY PLAN	01/25/22	08/10/22
C-4.1	SOIL EROSION & SEDIMENT CONTROL PLAN	01/25/22	08/10/22
C-4.2	SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS	01/25/22	08/10/22
C-5.1	LANDSCAPE & LIGHTING PLAN	01/25/22	08/10/22
C-6.1	DETAIL SHEET	01/25/22	08/10/22
C-6.2	DETAIL SHEET	01/25/22	08/10/22
C-6.3	DETAIL SHEET	01/25/22	08/10/22

ARCHITECTURAL DRAWINGS

1	ELEVATIONS UNITS 1 - 9	03/10/22	03/10/22
2	ELEVATIONS UNITS 10-22	03/10/22	03/10/22
3	BASEMENT & FIRST FLOOR	03/10/22	03/10/22
4	SECOND FLOOR & ROOF	03/10/22	03/10/22
5	TYP ELEVATIONS	03/10/22	03/10/22
6	SECTIONS	03/10/22	03/10/22

APPROVED BY THE MONTVILLE INLAND WETLAND COMMISSION
CHAIRMAN _____ DATE _____
APPROVED BY THE MONTVILLE PLANNING & ZONING COMMISSION
CHAIRMAN _____ DATE _____
EXPIRATION DATE _____
SEC PLAN APPROVAL DATE _____



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WILTON'S WAY
22 UNIT CONDOMINIUM DEVELOPMENT
245 NORWICH-NEW LONDON ROAD (RT 32)
MONTVILLE, CONNECTICUT
PREPARED FOR
WESTERN GROUP, LLC

Job Number:
FE22-1700

Job Start Date:
1/4/22

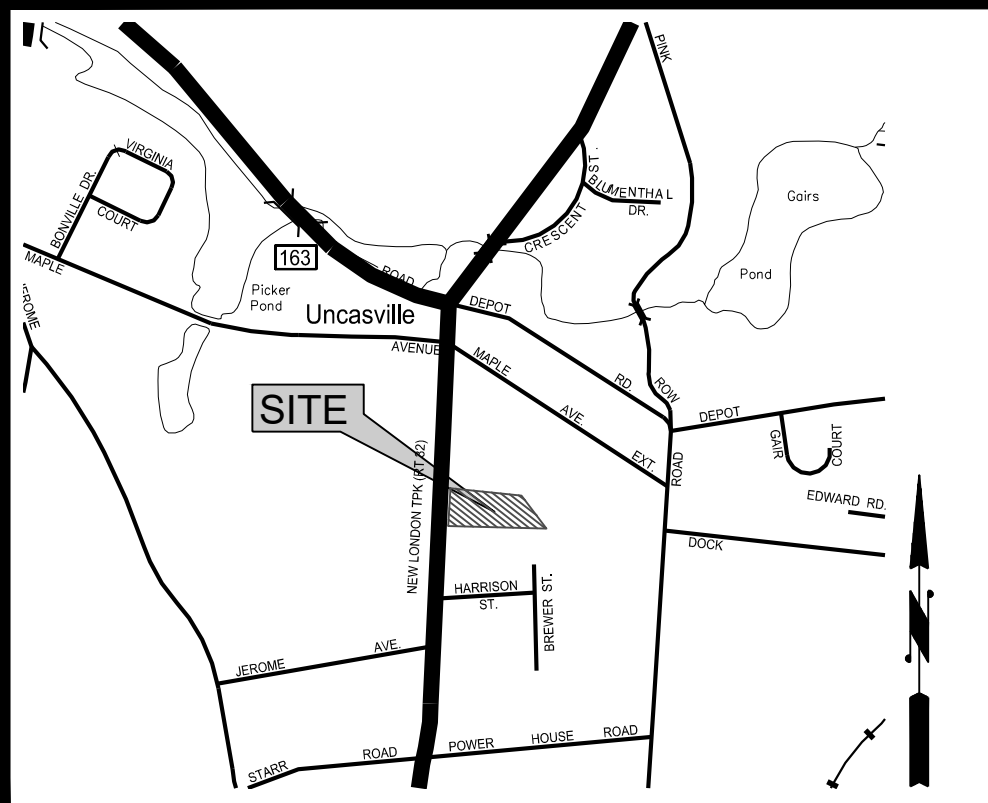
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Drawn By: Checked By:
D.R.R. J.E.Q.

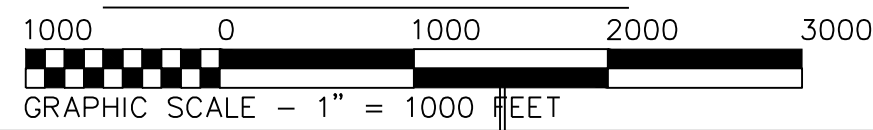
Sheet Title:
COVER SHEET

Scale:

Sheet Number:
C-0



VICINITY MAP



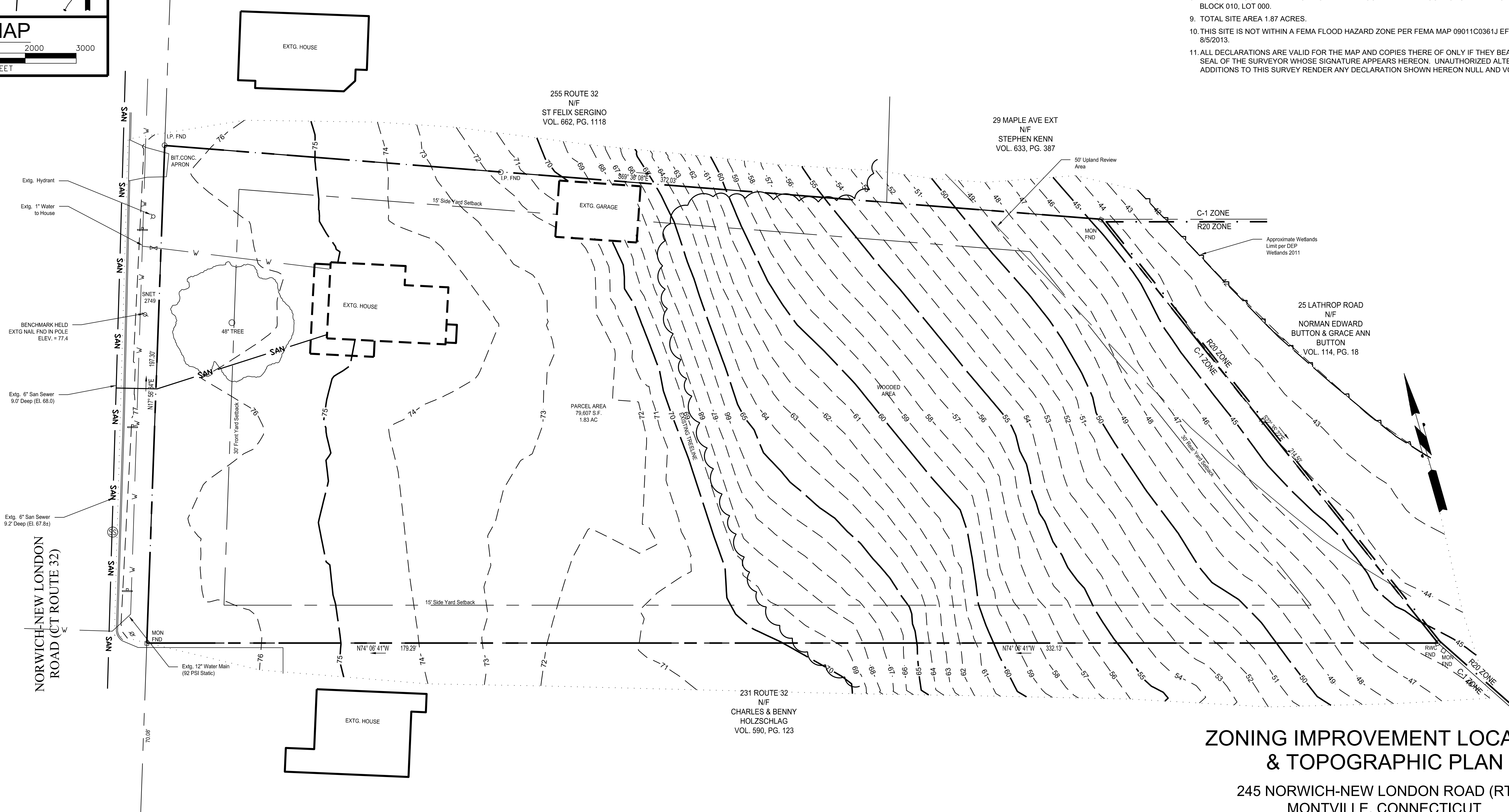
DEVELOPMENT STANDARDS C-1 (OZ) Zone District			
STANDARD	REQUIREMENT	EXISTING	COMMENTS
Minimum Lot Area	10,000 S.F.	79,607 S.F.	
Minimum Lot Frontage	80 Ft	197.3	
Minimum Building Setbacks			
Front Yard	30 Ft.	66.9 Ft.	
Side Yard (to Commercial Zone)	15 Ft.	15 ft.	
Rear Yard (to Residential Zone)	30 Ft.	181.3 Ft.	
Rear Yard	30 Ft.	181.3 Ft.	
Maximum Height	No Limit	N/A	
Building Coverage		3.0%	
Lot Coverage (Total Impervious)		3.0%	

MAP REFERENCES:

A. LOCATION MAP, NOTES, & A2 SURVEY, COMMERCIAL / RESIDENTIAL COMPLEX NORWICH-NEW LONDON ROAD (CT ROUTE 32) MONTVILLE, CONNECTICUT, PREPARED FOR TOMASHE, LLC, 19 TUSA COURT MONMOUTH JUNCTION, NJ 08852, DATED SEPTEMBER 19, 2014, REVISED THROUGH 3/17/15, SCALE: 1" = 20', BY DENNIS A. JEROME, J. DEMPSEY, L.S. ON FILE AS MAP 2519 IN THE TOWN OF MONTVILLE LAND RECORDS.

NOTES:

- THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300B-1 THRU 20-300B-10 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. AND ADOPTED ON SEPT. 26, 1996.
- THE TYPE OF SURVEY PERFORMED WITH RESPECT TO THE BOUNDARY PERIMETER IS IMPROVEMENT LOCATION MAP.
- THE BOUNDARY DETERMINATION CATEGORY IS DEPENDENT RESURVEY (SEE MAP REFERENCE).
- WITH RESPECT TO HORIZONTAL ACCURACY, THIS MAP CONFORMS TO AN ACCURACY CLASS A-2.
- WITH RESPECT TO VERTICAL ACCURACY, THIS MAP CONFORMS TO AN ACCURACY CLASS T-D.
- UTILITY, STRUCTURES, AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN-PART, BY FIELD LOCATIONS OF OBSERVABLE STRUCTURES AND PAINTED MARKINGS. THE ACTUAL LOCATION AND SIZE OF UNDERGROUND UTILITIES SHOWN HEREON MAY NOT BE INDICATED. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST. PRIOR TO EXCAVATION OR CONSTRUCTION, CONTACT "CALL BEFORE YOU DIG", (800) 922-4455.
- OWNER OF RECORD: WESTERN GROUP LLC, RECORDED IN VOLUME 672, PAGE 82 IN THE TOWN OF MONTVILLE TOWN CLERK'S OFFICE.
- PARCEL IS LOCATED IN THE C-1 ZONE AND IS LOCATED IN THE ROUTE 32 OVERLAY ZONE (OZ) ON MAP 070, BLOCK 010, LOT 000.
- TOTAL SITE AREA 1.87 ACRES.
- THIS SITE IS NOT WITHIN A FEMA FLOOD HAZARD ZONE PER FEMA MAP 09011C0361J EFFECTIVE DATE 8/5/2013.
- ALL DECLARATIONS ARE VALID FOR THE MAP AND COPIES THERE OF ONLY IF THEY BEAR THE EMBOSSED SEAL OF THE SURVEYOR WHOSE SIGNATURE APPEARS HEREON. UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS SURVEY RENDER ANY DECLARATION SHOWN HEREON NULL AND VOID.



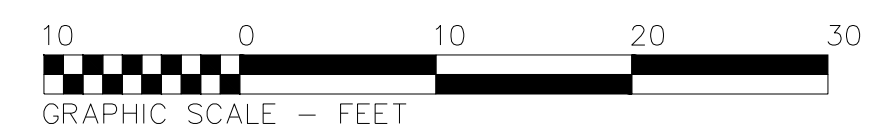
ZONING IMPROVEMENT LOCATION & TOPOGRAPHIC PLAN

245 NORWICH-NEW LONDON ROAD (RT 32)
MONTVILLE, CONNECTICUT

PREPARED FOR:
WESTERN GROUP, LLC

SCALE 1" = 10' 7 JANUARY 2022
Rev 8 March 2022

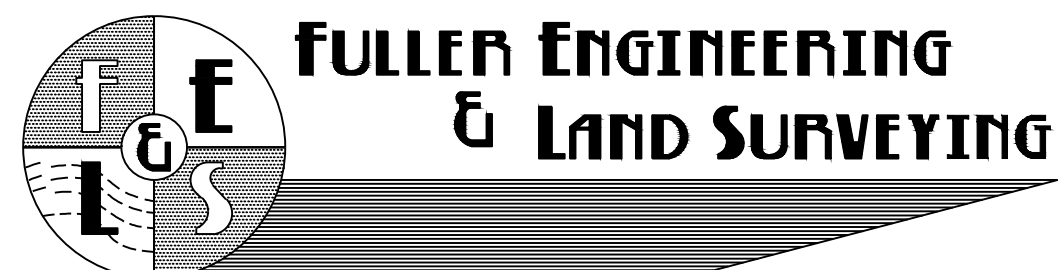
FE22-1700



THIS MAP IS NOT VALID UNLESS IT HAS A LIVE SIGNATURE AND EMBOSSED SEAL OF KEVIN M. CROWLEY.

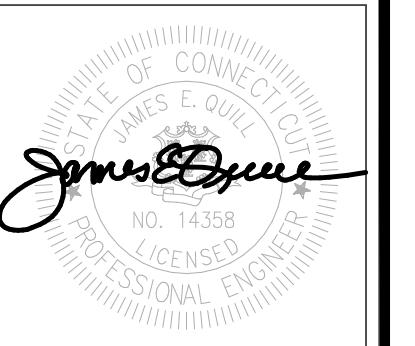
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT TO THE STANDARDS OF CLASS "A2" AS NOTED HEREON.

KEVIN M. CROWLEY
R.L.S. # 70261

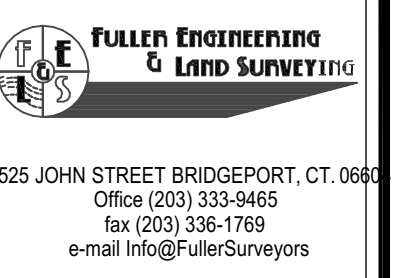


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3/11/2022 2:41 PM C:\Fuller CAD Files\CT\Montville\Re_32\245 Route 32 - FE22-1700 - Emap.dwg



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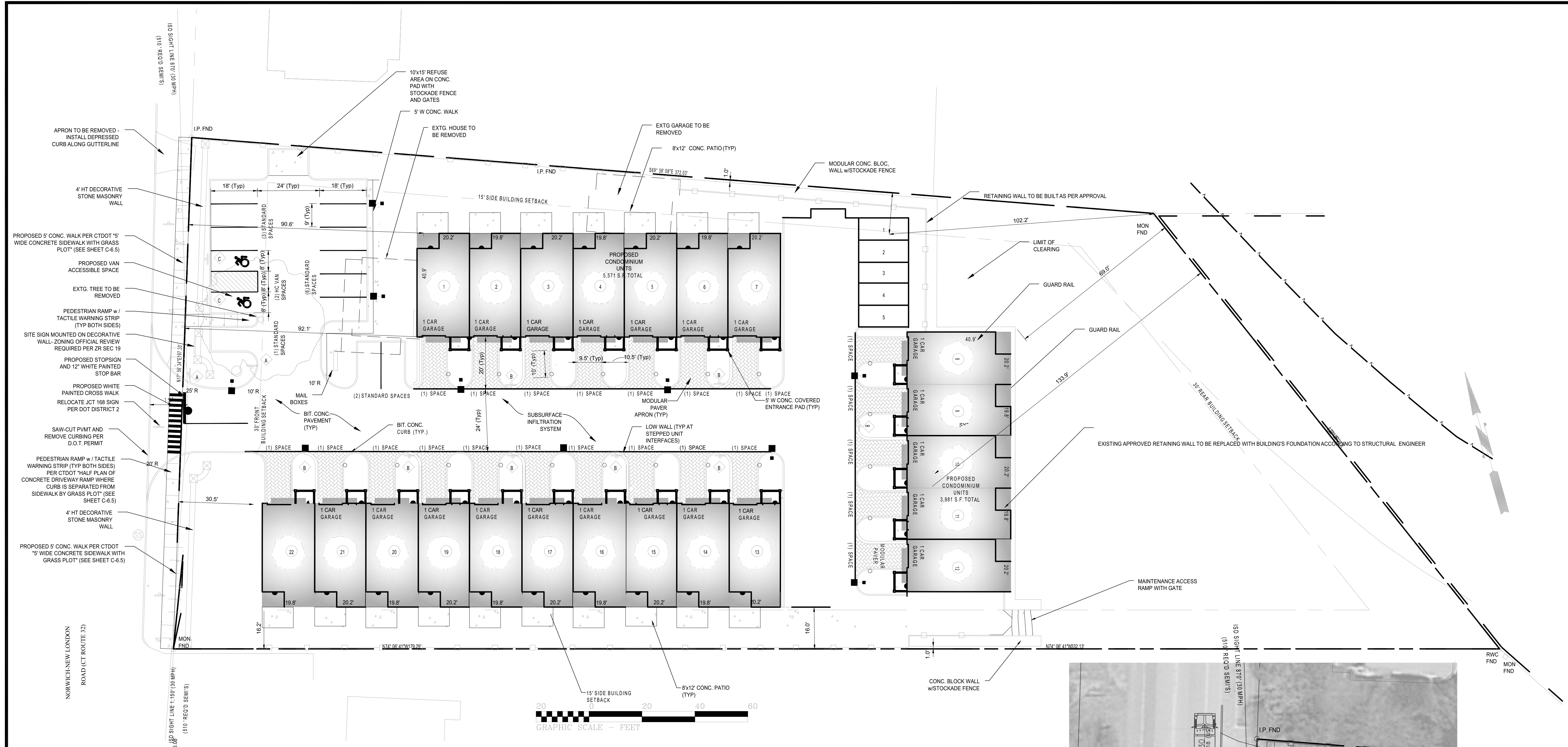
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New Design Update	11/01/22

Drawn By: Checked By:
 D.R.R. J.E.Q.

Sheet Title:
PROPOSED SITE PLAN

Scale:

Sheet Number:
C-2.1



MAP REFERENCES:

- A. "ZONING IMPROVEMENT LOCATION AND TOPOGRAPHIC SURVEY", DATED 7 JANUARY 2022, SCALE 1"=20', BY FULLER ENGINEERING AND LAND SURVEYING, LLC.

NOTES:

- THIS PLAN IS FOR THE PROPOSED CONDOMINIUM BUILDINGS WITH PARKING CONSTRUCTION, SITE UTILITIES, AND MISCELLANEOUS LANDSCAPING. THIS PLAN IS NOT TO BE USED AS A SITE OR CONSTRUCTION PLAN. ADDITIONAL DESIGN AND DETAILS REQUIRED FOR BIDDING AND CONSTRUCTION.
- LOCATION OF EXISTING OUT STRUCTURES, AND TOPOGRAPHY WERE OBTAINED FROM A SURVEY TITLED "ZONING IMPROVEMENT LOCATION & TOPOGRAPHIC PLAN, 245 NORWICH-NEW LONDON ROAD (RT32) MONTVILLE, CONNECTICUT, PREPARED FOR WESTERN GROUP, LLC", DATED 7 JANUARY 2022, SCALE 1"=10', BY FULLER ENGINEERING & LAND SURVEYING LLC.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCES OF CONSTRUCTION AND FOR THE SAFETY OF WORKERS AND OTHERS ON THE CONSTRUCTION SITE.
- THE CONTRACTOR SHALL LOCATE AND VERIFY THE SIZE, LOCATION, DEPTH AND INVERTS OF ANY AND ALL EXISTING UTILITIES PRIOR TO COMMENCING OPERATIONS. THE CONTRACTOR SHALL ALSO BE REQUIRED TO CONTACT THE ZONING DEPARTMENT, FIRE MARSHALL, AND THE TOLL FREE "CALL-BEFORE-YOU-DIG" PHONE NUMBER AT 1-800-922-4455.
- THE PROPOSED DEVELOPMENT SHOWN HEREON WILL REQUIRE REVIEW AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT PER THE REQUIREMENTS OF THE 2002 CT E&S GUIDELINES.
- RESTORE ALL DISTURBED AREAS WITH A MINIMUM OF FOUR (4") INCHES OF TOPSOIL, SEED, AND HAY MULCH UPON COMPLETION OF CONSTRUCTION.
- LOT SERVED BY TOWN SEWER SYSTEM AND PUBLIC WATER SUPPLY.
- THIS SITE IS NOT WITHIN A FEMA FLOOD HAZARD ZONE PER FEMA MAP 09011C0361J EFFECTIVE DATE 8/5/2013.
- CLEARING LIMIT LINE SHALL BE ESTABLISHED PRIOR TO ANY SITE WORK ACTIVITIES.

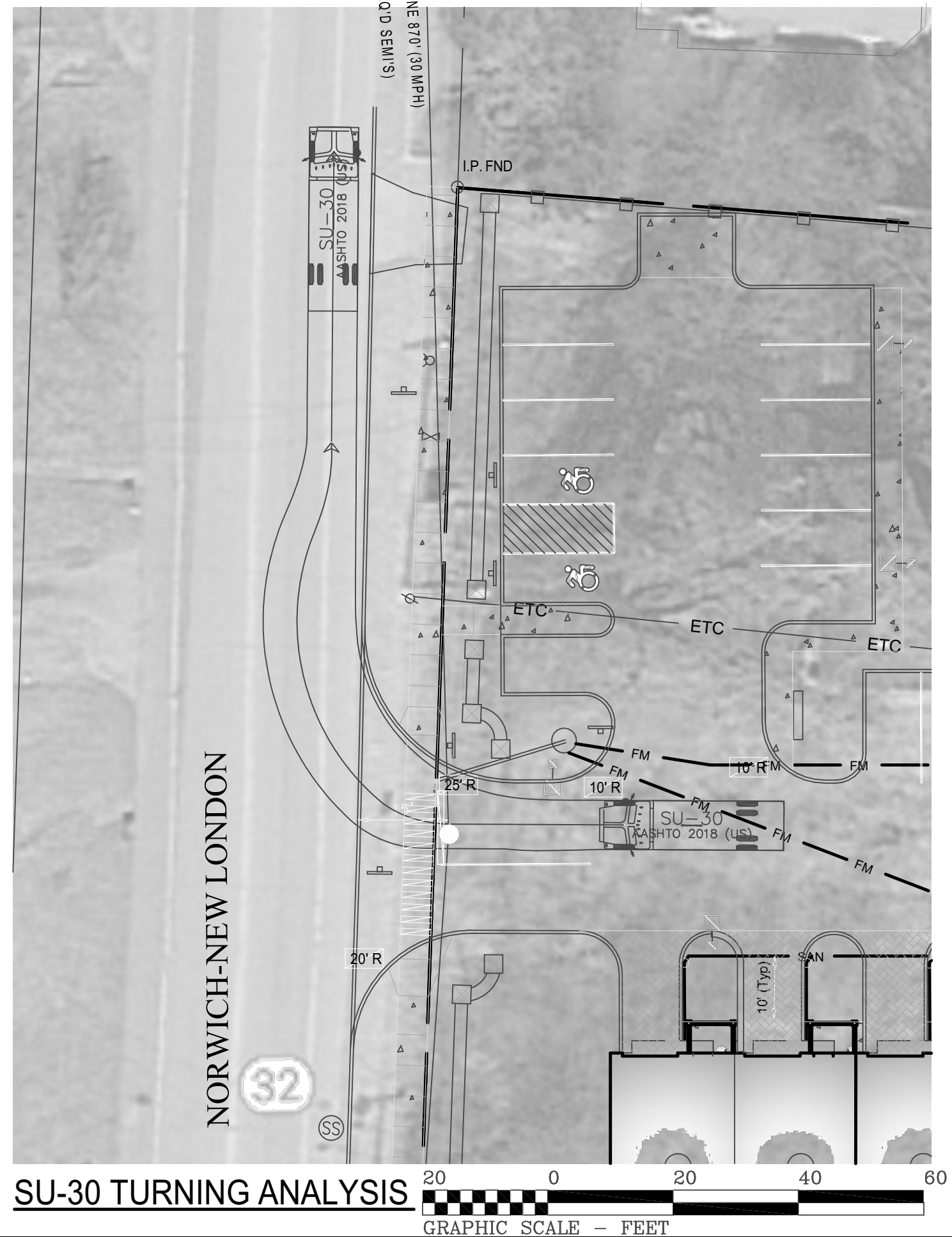
SIGN LEGEND Proposed Site Plan

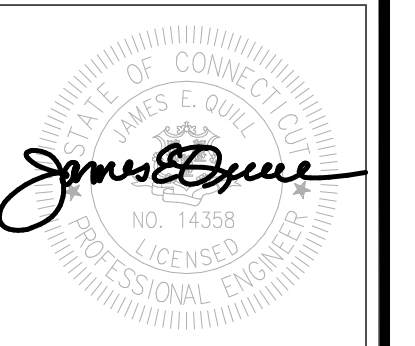
A		B		C	
SIZES (IN)	31-0552	SIZES (IN)	18"x12"	SIZES (IN)	12"x18" 12"x6"
CONN DOT #	1	CONN DOT #	1	CONN DOT #	1
SUPPORTS	1	SUPPORTS	1	SUPPORTS	1

Parking	Requirement	Unit	Required	Provided
Condominium Units (Sect 14A.3.d)	2.5 Per Unit	22	55	
Garage				22
Front of garage				22
Additional Parking				11
Guest Parking	3 Per 10 Units	22	7	7
Total Parking Provided			62	62

	Regulation
Standard Spaces	9'x18' 18.2.1
Parallel Spaces	10'x20'
Handicap Van Spaces	16'x18'
Front of Garage Spaces	10' Min x 20' Min. 18.3.2

DEVELOPMENT STANDARDS C-1 OZ				
Zone District				
STANDARD	REQUIREMENT	EXISTING	PROPOSED	COMMENTS
Minimum Lot Area	10000	79607	No Change	
Minimum Lot Frontage	80	197.3	No Change	
Minimum Building Setbacks				
Front Yard	30 Ft.	66.9 Ft.	30.5 Ft.	
Side Yard (to Commercial Zone)	15 Ft.	15 Ft.	15.8 Ft.	
Rear Yard (to Residential Zone)	30 Ft.	181.3 Ft.	N/A	
Rear Yard	30 Ft.	181.3 Ft.	101.2 Ft.	
Maximum Height	No Limit	N/A	N/A	
Building Coverage	3.0%	22.8%		
Lot Coverage (Total Impervious)	3.0%	60.3%		





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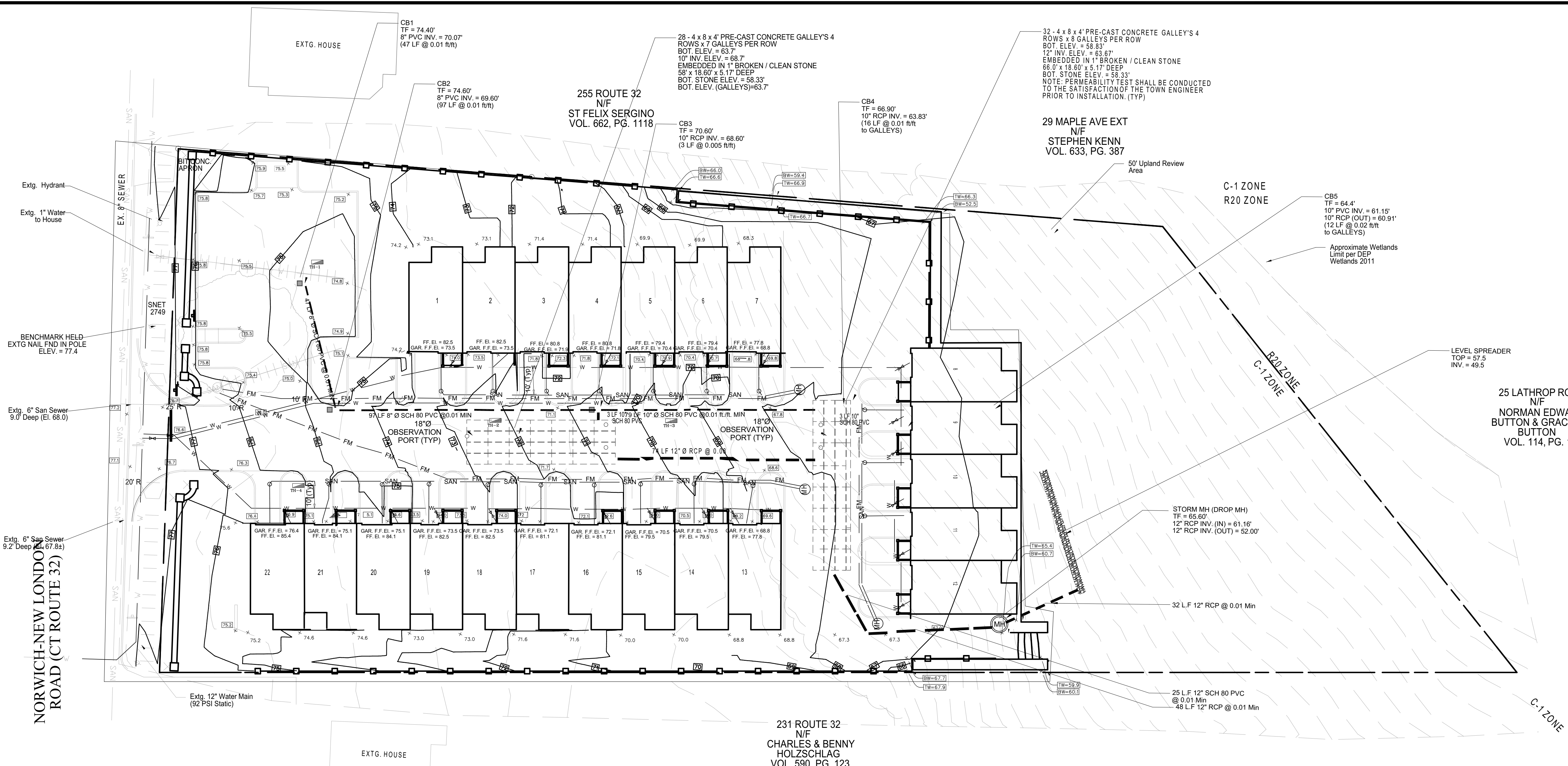
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Drawn By: Checked By:
 D.R.R. J.E.Q.

Sheet Title:
DRAINAGE AND GRATING PLAN

Scale:

Sheet Number:
C-3.1



Proposed Drainage

SCALE: 1:250

TEST PIT AND PERCOLATION DATA

TEST HOLE DATA
 PERFORMED 9/30/14, BY P. LAFAYETTE, P.E.

TH-1	TH-2	TH-3	TH-4
0-12" TOPSOIL	0-6" TOPSOIL	0-4" TOPSOIL	0-10" TOPSOIL
12-47" TAN FINE-MED. SAND W/SOME SILT	6-40" TAN FINE-MED. SAND W/SOME SILT	4-32" ORANGE FINE SAND W/SOME SILT & STONES	10-52" ORANGE FINE SAND W/SOME SILT & STONES
47-130" MED.-COARSE SAND AND STONES	40-128" MED.-COARSE SAND AND STONES	32-125" MED.-COARSE SAND AND STONES	52-136" MED.-COARSE SAND AND STONES
NO MOTTLING, NO WATER, NO LEDGE	NO MOTTLING, NO WATER, NO LEDGE	NO MOTTLING, NO WATER, NO LEDGE	NO MOTTLING, NO WATER, NO LEDGE

EARTHWORK

Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
Earthwork	1.000	1.000	66340.66 Sq. Ft.	3325.99 Cu. Yd.	3645.68 Cu. Yd.	319.69 Cu. Yd.<Fill>
Totals			66340.66 Sq. Ft.	3325.99 Cu. Yd.	3645.68 Cu. Yd.	319.69 Cu. Yd.<Fill>

A. TOTAL AREA OF DISTURBANCE: 66,340 S.F. (1.5 A.C.±)

WETLAND AREAS

AREA	AREA (S.F.)	AREA (AC.)	NOTES
WETLAND AREA ON SITE	0 S.F.	0 AC.	See note below.
UPLAND REVIEW AREA ON SITE	4,253 S.F.	0.1 AC.	
TOTAL WETLAND AREA DISTURBED	0 S.F.	0 AC.	
UPLAND REVIEW AREA DISTURBED	0 S.F.	0 AC.	
TOTAL WETLAND & UPLAND REVIEW AREA DISTURBED	0 S.F.	0 AC.	

OFF-SITE WETLANDS FLAGGED BY ALEKSANDRA MOCH ON FEBRUARY 12, 2022.

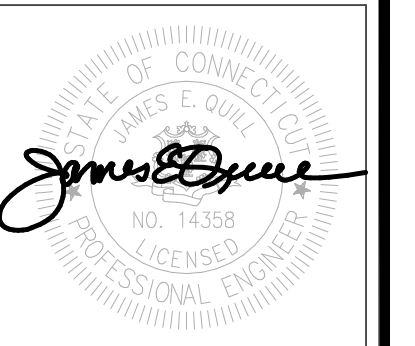
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NOTES:

- THIS PLAN IS FOR THE PROPOSED GRADING AND DRAINAGE FOR THE CONSTRUCTION OF A RESIDENTIAL DEVELOPMENT WITH PARKING, AND MISCELLANEOUS LANDSCAPING ALONG THE CT ROUTE 32. THIS PLAN IS NOT TO BE USED AS A SITE OR CONSTRUCTION PLAN. ADDITIONAL DESIGN AND DETAILS REQUIRED FOR BIDDING AND CONSTRUCTION.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCES OF CONSTRUCTION AND FOR THE SAFETY OF WORKERS AND OTHERS ON THE CONSTRUCTION SITE.
- THE CONTRACTOR SHALL LOCATE AND VERIFY THE SIZE, LOCATION, DEPTH AND INVERTS OF ANY AND ALL EXISTING UTILITIES PRIOR TO COMMENCING OPERATIONS. THE CONTRACTOR SHALL ALSO BE REQUIRED TO CONTACT THE TOLL FREE "CALL-BEFORE-YOU-DIG" PHONE NUMBER AT 1-800-922-4455.
- THE PROPOSED DEVELOPMENT SHOWN HEREON WILL REQUIRE REVIEW AND APPROVAL BY THE MONTVILLE BUILDING DEPARTMENT, ZONING DEPARTMENT, AND FIRE MARSHAL'S OFFICE.
- ALL WORK PERFORMED BY THE OWNER / DEVELOPER MUST INCLUDE IMPLEMENTATION OF AN APPROVED SOIL EROSION AND SEDIMENTATION PLAN IN ACCORDANCE WITH PUBLIC ACT No. 83-388 [PASSED BY THE CONNECTICUT GENERAL ASSEMBLY]. THE OWNER / DEVELOPER SHALL BE THOROUGHLY FAMILIAR WITH THE 2002 CONNECTICUT EROSION & SEDIMENTATION GUIDELINES.
- RESTORE ALL DISTURBED AREAS WITH A MINIMUM OF FOUR (4") INCHES OF TOPSOIL, SEED, AND HAY MULCH UPON COMPLETION OF CONSTRUCTION.
- LOT SERVED BY TOWN SEWER SYSTEM AND PUBLIC WATER SUPPLY.
- ALL EXISTING UTILITY LINES THAT WILL BE DISCONNECTED MUST BE CAPPED OR TERMINATED ACCORDING TO THE TOWN OF MONTVILLE AND UTILITY COMPANY STANDARDS.
- FINAL RETAINING WALL SYSTEM TO BE DESIGNED AND INSPECTED BY A CONNECTICUT LICENSED ENGINEER. STRUCTURAL DETAILS TO BE SUBMITTED TO THE SATISFACTION OF THE TOWN BUILDING INSPECTOR PRIOR TO ISSUANCE OF BUILDING PERMIT.
- SEE APPENDIX "O" OF THE ENGINEERING REPORT FOR OPERATION AND MAINTENANCE PLAN.

APPROVED BY THE MONTVILLE INLAND WETLAND COMMISSION
 CHAIRMAN _____ DATE _____
 APPROVED BY THE MONTVILLE PLANNING AND ZONING COMMISSION
 CHAIRMAN _____ DATE _____
 EXPIRATION DATE _____
 SEC PLAN APPROVAL DATE _____



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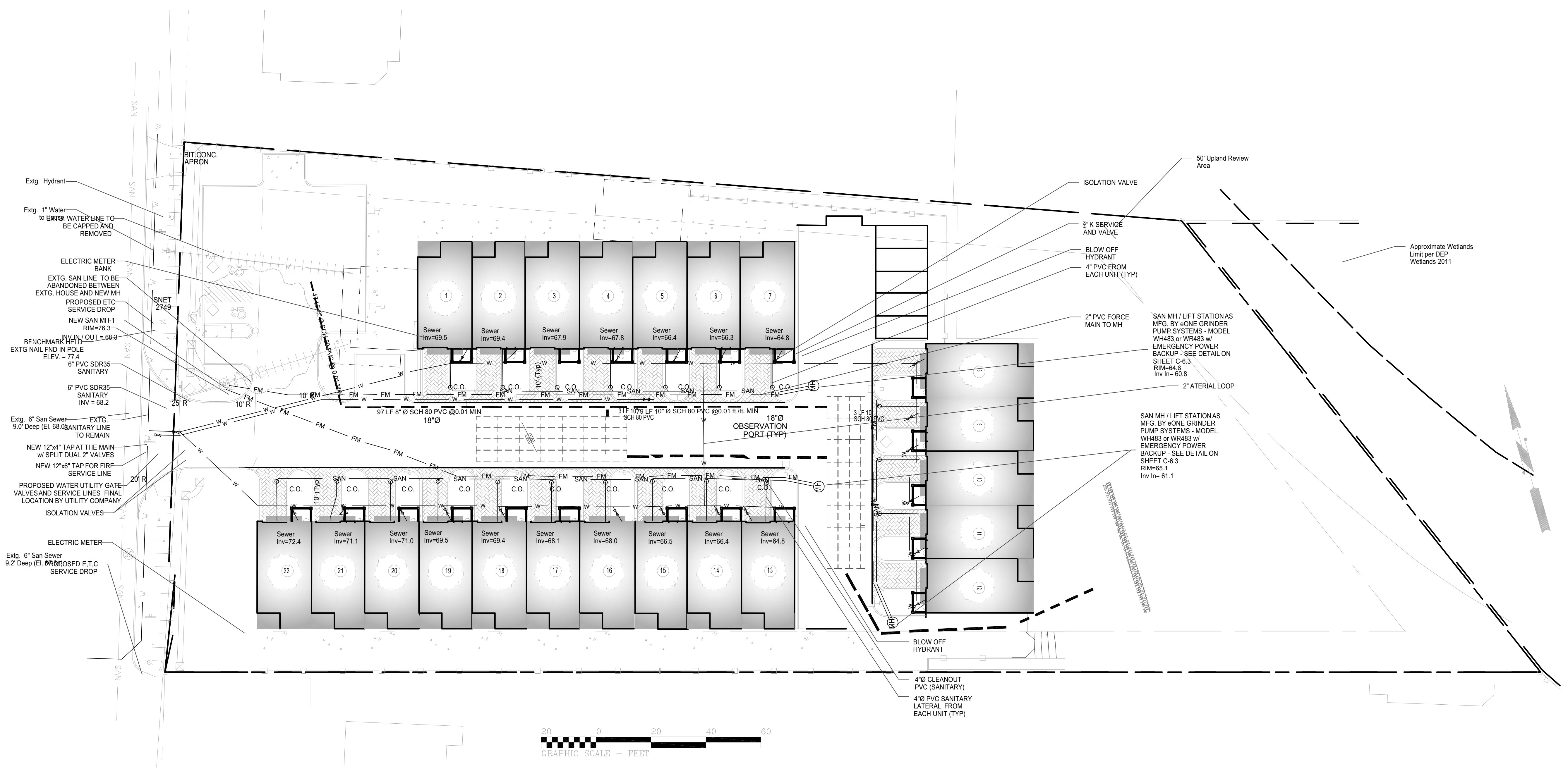
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Drawn By: Checked By:
D.R.R. J.E.Q.

Sheet Title:
PROPOSED UTILITIES PLAN

Scale:

Sheet Number:
C-3.2



Utilities

SCALE: 1:250

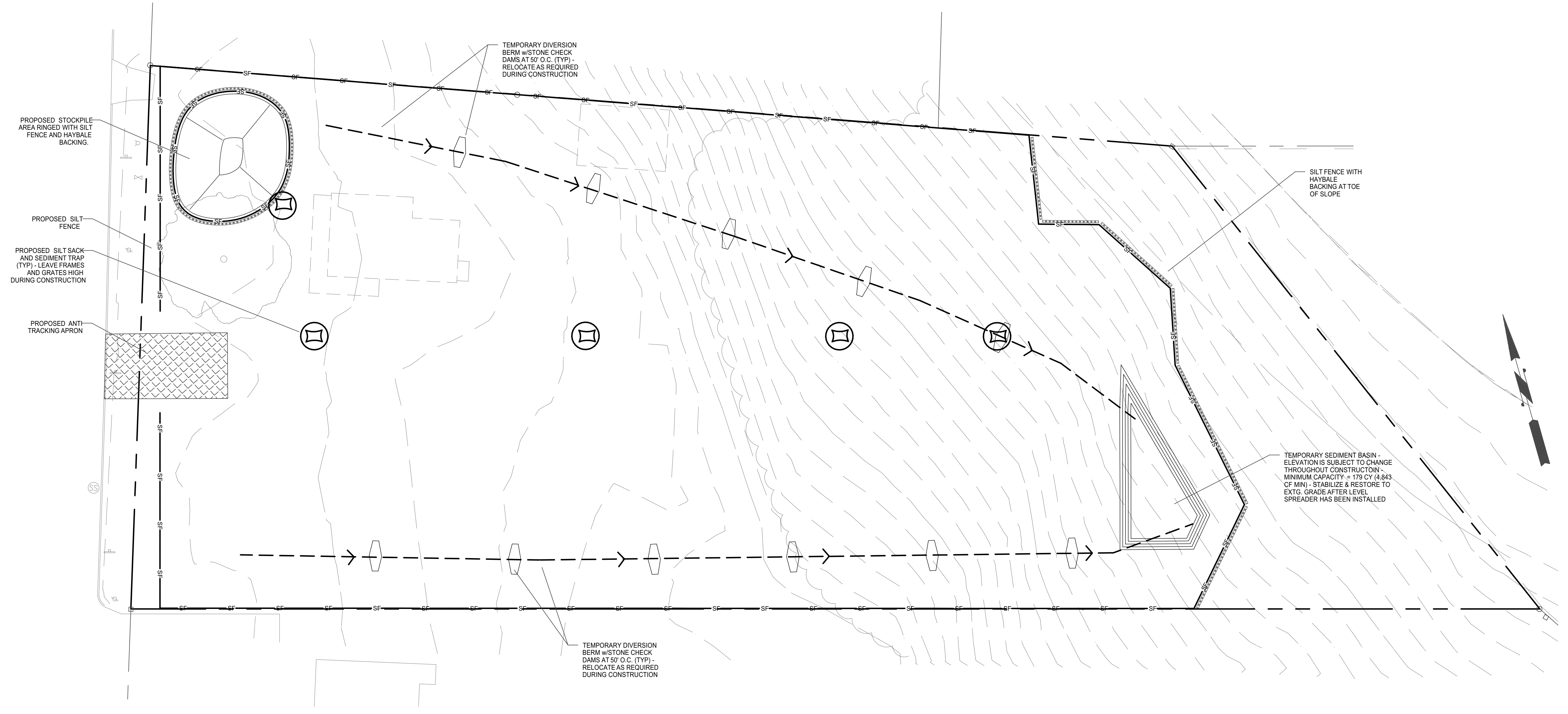
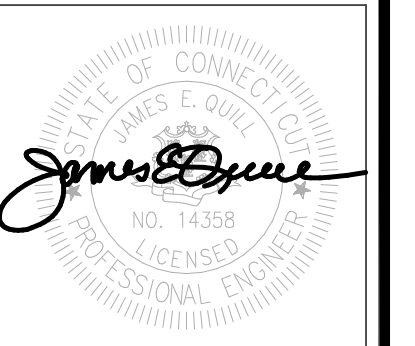
NOTES:

- THIS PLAN IS FOR THE PROPOSED UTILITIES OF THE PROPOSED RESIDENTIAL DEVELOPMENT WITH PARKING CONSTRUCTION, AND MISCELLANEOUS LANDSCAPING. THIS PLAN IS NOT TO BE USED AS A SITE OR CONSTRUCTION PLAN. ADDITIONAL DESIGN AND DETAILS REQUIRED FOR BIDDING AND CONSTRUCTION.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCES OF CONSTRUCTION AND FOR THE SAFETY OF WORKERS AND OTHERS ON THE CONSTRUCTION SITE.
- THE CONTRACTOR SHALL LOCATE AND VERIFY THE SIZE, LOCATION, DEPTH AND INVERTS OF ANY AND ALL EXISTING UTILITIES PRIOR TO COMMENCING OPERATIONS. THE CONTRACTOR SHALL ALSO BE REQUIRED TO CONTACT THE TOLL FREE "CALL-BEFORE-YOU-DIG" PHONE NUMBER AT 1-800-922-4455.
- THE PROPOSED DEVELOPMENT SHOWN HEREON WILL REQUIRE REVIEW AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT, ZONING DEPARTMENT, AND FIRE MARSHAL'S OFFICE.
- ALL WORK PERFORMED BY THE OWNER / DEVELOPER MUST INCLUDE IMPLEMENTATION OF AN APPROVED SOIL EROSION AND SEDIMENTATION PLAN IN ACCORDANCE THE MINIMUM STANDARDS AS THOSE OUTLINED IN THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL" 2002 EDITION AS AMENDED TO DATE. THOSE METHODS DEEMED MOST EFFECTIVE FOR THIS PROJECT ARE DESCRIBED HEREIN.
- RESTORE ALL DISTURBED AREAS WITH A MINIMUM OF FOUR (4") INCHES OF TOPSOIL, SEED, AND HAY MULCH UPON COMPLETION OF CONSTRUCTION.
- LOT SERVED BY TOWN SEWER SYSTEM AND PUBLIC WATER SUPPLY. APPLICATION WILL BE MADE TO THE WATER POLLUTION CONTROL AUTHORITY FOR A PERMIT TO CONSTRUCT AND CONNECT WATER AND SEWER LINES TO THE MONTVILLE SEWER SYSTEM.
- EXISTING UNDERGROUND UTILITY LOCATION TAKEN FROM MAPS PROVIDED BY UTILITY COMPANY AND SEWER DEPARTMENT, PRIOR SURVEYS, AND FIELD MARKINGS.
- ALL EXISTING UTILITY LINES THAT WILL BE DISCONNECTED MUST BE CAPPED OR TERMINATED ACCORDING TO THE TOWN OF MONTVILLE AND UTILITY COMPANY STANDARDS.
- IF REQUIRED, ALL EXISTING SANITARY SEWER LINES SHALL BE CAPPED WITHIN 2 FEET OF THE EXISTING SEWER MAIN.
- ALL ROOF LEADERS SHALL BE PIPED AND CONNECTED TO THE SUBSURFACE DRAINAGE SYSTEM. PIPE ROUTING AND GUTTER CONNECTIONS SHALL BE DETERMINED BY CONTRACTOR.
- ALL UNITS ARE DESIGNED TO HAVE SANITARY CONNECTIONS IN EACH BASEMENT AND WILL PUMP UP TO THE MAIN LATERAL AT THE FRONT OF THE BUILDINGS. SANITARY LIFT SYSTEMS ARE REQUIRED TO FACILITATE ALL SEWAGE DISCHARGE TO THE TOWN SEWER SYSTEM IN THE STREET.
- ALL WORK SHALL COMPLY WITH THE FOLLOWING TOWN STANDARDS:
 - TOWN OF MONTVILLE SEWER USE RULES AND REGULATIONS.
 - TOWN OF MONTVILLE SANITARY SEWER MATERIALS AND CONSTRUCTION STANDARDS.
 - TOWN OF MONTVILLE SPECIFICATIONS OF WATER MAINS AND APPURTENANCES.
- SEWER PIPE TO BE PLASTIC PVC-SDR35.
- WATER LINES TO BE TYPE K COPPER TUBING.

MAP REFERENCES:

- "ZONING IMPROVEMENT LOCATION AND TOPOGRAPHIC SURVEY", DATED 7 JANUARY 2022, SCALE 1"=20', BY FULLER ENGINEERING AND LAND SURVEYING, LLC.

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 22 UNIT CONDOMINIUM DEVELOPMENT**
 245 NORWICH-NEW LONDON ROAD (RT 32)
 MONTVILLE, CONNECTICUT
 PREPARED FOR
WESTERN GROUP, LLC

Job Number:
FE22-1700

Job Start Date:
1/4/22

Submission	01/25/22
Staff Comments	03/08/22
Building Mods/Cond. of Approval	08/10/22
New Design Update	11/01/22

Drawn By: Checked By:
 D.R.R. J.E.Q.

Sheet Title:
EROSION AND SETTLEMENT CONTROL

Scale:

Sheet Number:
C-4.1

MAP REFERENCES:

"ZONING IMPROVEMENT LOCATION AND TOPOGRAPHIC SURVEY", DATED 7 JANUARY 2022, SCALE 1"=20', BY FULLER ENGINEERING AND LAND SURVEYING, LLC.

NOTES:

- THIS PLAN IS FOR THE PROPOSED SOIL EROSION AND SEDIMENT CONTROL FOR THE CONSTRUCTION OF A RESIDENTIAL DEVELOPMENT WITH PARKING, AND MISCELLANEOUS LANDSCAPING ALONG THE CT ROUTE 32. THIS PLAN IS NOT TO BE USED AS A SITE OR CONSTRUCTION PLAN. ADDITIONAL DESIGN AND DETAILS REQUIRED FOR BIDDING AND CONSTRUCTION.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCES OF CONSTRUCTION AND FOR THE SAFETY OF WORKERS AND OTHERS ON THE CONSTRUCTION SITE.
- THE PROPOSED DEVELOPMENT SHOWN HEREON HAS BEEN DESIGNED IN ACCORDANCE WITH SECTION 15.1 OF THE ZONING REGULATIONS.
- ALL WORK PERFORMED BY THE OWNER / DEVELOPER MUST INCLUDE IMPLEMENTATION OF AN APPROVED SOIL EROSION AND SEDIMENTATION PLAN IN ACCORDANCE WITH PUBLIC ACT No. 83-388 [PASSED BY THE CONNECTICUT GENERAL ASSEMBLY]. THE OWNER / DEVELOPER SHALL BE THOROUGHLY FAMILIAR WITH THE CONNECTICUT GUIDELINES FOR EROSION 2002 AS AMENDED.
- RESTORE ALL DISTURBED AREAS WITH A MINIMUM OF FOUR (4") INCHES OF TOPSOIL, SEED, AND HAY MULCH UPON COMPLETION OF CONSTRUCTION.
- SEE SHEET C-4.2 FOR EROSION CONTROL NOTES AND DETAILS.
- ANY FUTURE CONSTRUCTION STAGING AREAS (OFFICE TRAILER, LAYDOWN, ETC.) SHALL REQUIRE REVIEW AND APPROVAL BY THE ZONING OFFICIAL OR PLANNING DIRECTOR.

SEDIMENT TRAP CALCULATIONS

NOTE
 TEMPORARY SEDIMENT TRAPS HAVE BEEN SIZED TO PROVIDE A MINIMUM STORAGE VOLUME OF 134 CUBIC YARDS PER ACRE OF DRAINAGE AREA PER THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.

SEDIMENT TRAP	CONTRIBUTING AREA	CY Required	CF Required
1	1.3 AC	179 CY	4,843 CF
TOTAL SEDIMENT TRAP STORAGE CAPACITY	4,843 CF		

APPROVED BY THE MONTVILLE INLAND WETLAND COMMISSION
 CHAIRMAN _____ DATE _____
 APPROVED BY THE MONTVILLE PLANNING AND ZONING COMMISSION
 CHAIRMAN _____ DATE _____
 EXPIRATION DATE _____
 SEC PLAN APPROVAL DATE _____

SEDIMENT & EROSION CONTROL NARRATIVE
 THE SEDIMENT AND EROSION CONTROL PLAN WAS DEVELOPED TO PROTECT THE EXISTING EROSION CONTROL BLANKETS MAY BE USED TO REPAIR ERODED SWALES AS DIRECTED BY THE ENGINEER OR TOWN AGENT.

ALL CONSTRUCTION ACTIVITIES INVOLVING THE REMOVAL OR DISTURBANCE OF SOILS SHALL BE PROVIDED WITH APPROPRIATE PROTECTIVE MEASURES TO MINIMIZE EROSION AND TO CONTAIN SEDIMENT WITHIN THE AREA UNDER DEVELOPMENT. THE MINIMUM STANDARD FOR INDIVIDUAL MEASURES SHALL BE THOSE OUTLINED IN THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL" 2002 EDITION AS AMENDED TO DATE. THOSE METHODS DEEMED MOST EFFECTIVE FOR THIS PROJECT ARE DESCRIBED HEREIN.

CONSTRUCTION SCHEDULE
 THE ANTICIPATED STARTING DATE FOR CONSTRUCTION IS MAY 2022 WITH COMPLETION ANTICIPATED BY DECEMBER 2022. APPROPRIATE EROSION CONTROL MEASURES AS DESCRIBED HEREIN, SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ALL SITE CLEARING OR CONSTRUCTION ACTIVITY. SCHEDULE WORK TO MINIMIZE THE LENGTH OF TIME THAT BARE SOIL WILL BE EXPOSED.

- CONSTRUCTION SEQUENCE
1. INSTALLATION OF SEDIMENT AND EROSION CONTROLS
 2. CLEARING AND GRUBBING OPERATIONS
 3. INSTALLATION OF DIVERSION BERMS AND SEDIMENT BASIN
 4. STRIPPING AND STOCKPILING OF TOPSOIL
 5. ROUGH GRADING AND EASTERN WALL CONSTRUCTION AND BACKFILL IN CONJUNCTION WITH BASEMENT EXCAVATION.
 6. INSTALLATION OF LEVEL SPREADER
 7. FINAL FILL OPERATIONS IF SUBSOIL IMPORT IS REQUIRED
 8. FOUNDATION / BUILDING CONSTRUCTION
 9. INSTALLATION OF SITE UTILITIES
 10. INSTALLATION OF PAVEMENTS AND CURBING
 11. INSTALLATION OF LANDSCAPE AND LIGHTING
 12. SITE STABILIZATION
 13. REMOVAL OF SEDIMENT AND EROSION CONTROLS AFTER APPROVAL BY TOWN

CONTINGENCY EROSION PLAN
 THE CONTRACTOR SHALL INSTALL ALL SPECIFIED EROSION CONTROL MEASURES AND MAINTAIN THEM IN THEIR INTENDED FUNCTIONING CONDITION. THE AGENT SHALL BE RESPONSIBLE FOR THE POSTING OF THIS BOND AND FOR INQUIRIES TO THE TOWN, INLAND WETLANDS COMMISSION AND/OR PROJECT ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUPPLEMENTAL MAINTENANCE OR ADDITIONAL MEASURES IF CONDITIONS ARE ENCOUNTERED BEYOND WHAT WOULD NORMALLY BE ANTICIPATED.

- OPERATION REQUIREMENTS
- CLEARING AND GRUBBING OPERATIONS:
1. ALL SEDIMENTATION AND EROSION CONTROL MEASURES, INCLUDING THE CONSTRUCTION OF TEMPORARY SEDIMENTATION TRAPS WILL BE INSTALLED PRIOR TO THE START OF CLEARING AND GRUBBING OPERATIONS.
 2. FOLLOWING INSTALLATION OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES, THE CONTRACTOR SHALL NOT PROCEED WITH GRADING, FILLING OR OTHER CONSTRUCTION OPERATIONS UNTIL THE ENGINEER HAS INSPECTED AND APPROVED THE INSTALLATIONS.
 3. THE CONTRACTOR SHALL TAKE EXTREME CARE DURING CLEARING AND GRUBBING OPERATIONS SO AS NOT TO DISTURB UNPROTECTED WETLAND AREAS OR SEDIMENTATION AREAS AND EROSION CONTROL DEVICES.
 4. FOLLOWING THE COMPLETION OF CLEARING AND GRUBBING OPERATIONS, ALL AREAS SHALL BE STABILIZED WITH TOPSOIL AND SEEDING OR PROCESSED AGGREGATE STOCKPILES AS SOON AS PRACTICAL.

- ROUGH GRADING OPERATIONS:
1. DURING THE REMOVAL AND/OR PLACEMENT OF EARTH AS INDICATED ON THE GRADING PLAN, TOPSOIL SHALL BE STRIPPED AND APPROPRIATELY STOCKPILED FOR REUSE.
 2. ALL STOCKPILED TOPSOIL SHALL BE SEEDED, MULCHED WITH HAY, AND ENCLOSED WITH SILTATION FENCE.
 3. IN REGARD TO THE ROCK CUT RETAINING WALL CONSTRUCTION, DURING SITE EXCAVATION AND GRADING, SHOULD LEDGE ROCK PRESENT ITSELF IN THE LOCATION OF THE REAR RETAINING WALL, ITS EXPOSURE AS FINISHED GRADE MAY BE PERMITTED BY STAFF APPROVAL. INSTEAD OF SOME OR ALL THE MASONRY BLOCK RETAINING WALL SUBJECT TO SUBMISSION AND ACCEPTANCE OF A CERTIFIED REPORT FROM A CONNECTICUT LICENSED GEO-TECHNICAL ENGINEER BEING PROVIDED VERIFIED TO THE EXPOSED LEDGE ROCK IS STABLE ENOUGH TO SUPPORT THE SLOPE. SAID REPORT SHALL INCLUDE RELATED CONSTRUCTION DETAILS, AS WELL AS DETAILS OF HOW THE SOIL AT THE TOP OF THE EXPOSED SLOPE WILL BE CONTAINED AND MAINTAINED IN THE LONG TERM TO PREVENT EROSION.

- FILLING OPERATIONS:
1. PRIOR TO FILLING, ALL SEDIMENTATION AND EROSION CONTROL DEVICES SHALL BE PROPERLY IMPLEMENTED, MAINTAINED AND FULLY INSTALLED, AS DIRECTED BY THE ENGINEER AND AS SHOWN ON THIS PLAN.
 2. AS GENERAL GRADING OPERATIONS PROGRESS, ANY TEMPORARY DIVERSION DITCHES SHALL BE RAISED OR LOWERED, AS NECESSARY, TO DIVERT SURFACE RUNOFF TO THE SEDIMENT BASINS.
 3. IN REGARD TO THE ROCK CUT RETAINING WALL CONSTRUCTION, DURING SITE EXCAVATION AND GRADING, SHOULD LEDGE ROCK PRESENT ITSELF IN THE LOCATION OF THE REAR RETAINING WALL, ITS EXPOSURE AS FINISHED GRADE MAY BE PERMITTED BY STAFF APPROVAL. INSTEAD OF SOME OR ALL THE MASONRY BLOCK RETAINING WALL SUBJECT TO SUBMISSION AND ACCEPTANCE OF A CERTIFIED REPORT FROM A CONNECTICUT LICENSED GEO-TECHNICAL ENGINEER BEING PROVIDED VERIFIED TO THE EXPOSED LEDGE ROCK IS STABLE ENOUGH TO SUPPORT THE SLOPE. SAID REPORT SHALL INCLUDE RELATED CONSTRUCTION DETAILS, AS WELL AS DETAILS OF HOW THE SOIL AT THE TOP OF THE EXPOSED SLOPE WILL BE CONTAINED AND MAINTAINED IN THE LONG TERM TO PREVENT EROSION.

- FINAL GRADING AND PAVING OPERATIONS:
1. NO CUT OR FILL SLOPES SHALL EXCEED 2:1 EXCEPT WHERE STABILIZED BY ROCK FASCINES OR EROSION CONTROL BLANKETS, JUTE MESH AND VEGETATION. SLOPES SHALL BE SEEDED, AND ANY ROAD OR DRIVEWAY SHOULDERS AND BANKS SHALL BE STABILIZED IMMEDIATELY UPON COMPLETION OF FINAL GRADING UNTIL TURF IS ESTABLISHED.
 2. PAVEMENT SUB-BASE AND BASE COURSES SHALL BE INSTALLED OVER AREAS TO BE PAVED AS SOON AS FINAL SUB-GRADES ARE ESTABLISHED AND UNDERGROUND UTILITIES AND STORM DRAINAGE SYSTEMS HAVE BEEN INSTALLED.
 3. AFTER CONSTRUCTION OF PAVEMENT, TOPSOIL, FINAL SEED, MULCH AND LANDSCAPING REMOVE ALL TEMPORARY EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR GRASS HAS BEEN WELL ESTABLISHED AND THE SITE HAS BEEN INSPECTED AND APPROVED BY THE TOWN, EASTERN CONNECTICUT SOILS CONSERVATION DISTRICT, INLAND WETLANDS COMMISSION.

- INSTALLATION OF SEDIMENTATION AND EROSION CONTROL MEASURES
- I. SILTATION FENCE:
 - A. DIG A SIX INCH TRENCH ON THE UPHILL SIDE OF THE DESIGNATED FENCE LINE LOCUS.
 - B. POSITION THE POST AT THE BACK OF THE TRENCH (DOWNHILL SIDE), AND HAMMER THE POST AT LEAST 1.5 FEET INTO THE GROUND.
 - C. LAY THE BOTTOM SIX INCHES OF THE FABRIC INTO THE TRENCH TO PREVENT UNDERMINING BY STORM WATER RUN-OFF.
 - D. BACKFILL THE TRENCH AND COMPACT.

- OPERATION AND MAINTENANCE OF SEDIMENTATION AND EROSION CONTROL MEASURES
- I. SILTATION FENCE:
 - A. ALL SILTATION FENCES SHALL BE INSPECTED AS A MINIMUM WEEKLY OR AFTER EACH RAINFALL. ALL DETERIORATED FABRIC AND DAMAGED POSTS SHALL BE REPLACED AND PROPERLY REPOSITIONED IN ACCORDANCE WITH THIS PLAN.
 - B. SEDIMENT DEPOSITS SHALL BE REMOVED FROM THE FENCE WHEN THEY EXCEED A HEIGHT OF ONE FOOT.

- II. SEDIMENT TRAPS:
- A. CONTRACTOR TO KEEP WEEKLY CHECKLIST LOGS FOR INSPECTIONS OF ALL SEDIMENTATION AND EROSION CONTROL DEVICES AND HAVE THEM READILY AVAILABLE ON-SITE AT ALL TIMES FOR INSPECTION BY CT DEEP, LOCAL AUTHORITIES OR ENGINEER.
 - B. ALL SEDIMENT BASINS SHALL BE INSPECTED FOLLOWING EACH RAINFALL. REPAIR OF SLOPES SHALL BE PROMPTLY MADE AS NEEDED. EROSION CONTROL BLANKETS MAY BE USED FOLLOWING REPAIR OF SLOPE AS DIRECTED BY THE ENGINEER.
 - C. SEDIMENT DEPOSITS SHALL BE REMOVED FROM SEDIMENT BASINS AND/OR SEDIMENT TRAPS WHEN THEY EXCEED A HEIGHT OF ONE FOOT UNLESS OTHERWISE INDICATED IN THE EROSION CONTROL PLANS AND DETAILS TO BE AT A SPECIFIC ELEVATION PER CLEAN OUT MARKERS.
 - D. SEDIMENT SHALL BE DISPOSED OF ON-SITE OR AS DIRECTED BY THE ENGINEER AND LOCAL GOVERNING OFFICIALS. SEE SEDIMENT AND EROSION CONTROL NOTES REGARDING DISPOSAL REQUIREMENTS FOR OFF SITE SPOIL DISPOSAL.

- III. CHECK DAMS:
- A. ALL STONE CHECK DAMS SHALL BE INSPECTED FOLLOWING EACH RAINFALL. REPAIR OF STONE CHECK DAMS SHALL BE PROMPTLY MADE AND ACCUMULATED SEDIMENT REMOVED WHEN IT REACHES ONE HALF OF THE HEIGHT OF THE CHECK DAM.

- IV. TEMPORARY/PERMANENT DRAINAGE SWALES:
- A. SWALES SHALL BE INSPECTED FOLLOWING EACH RAINFALL. REPAIR OF ANY WASH OUT OR ERODED SLOPES SHALL BE MADE PROMPTLY AND THE AREA SHALL BE RE-SEEDED AS NECESSARY.

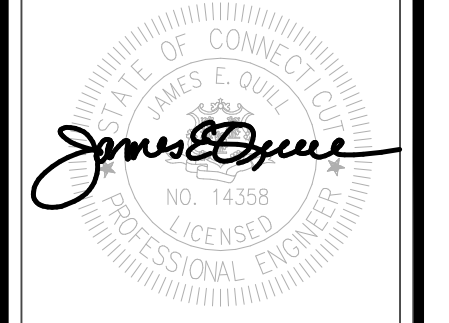
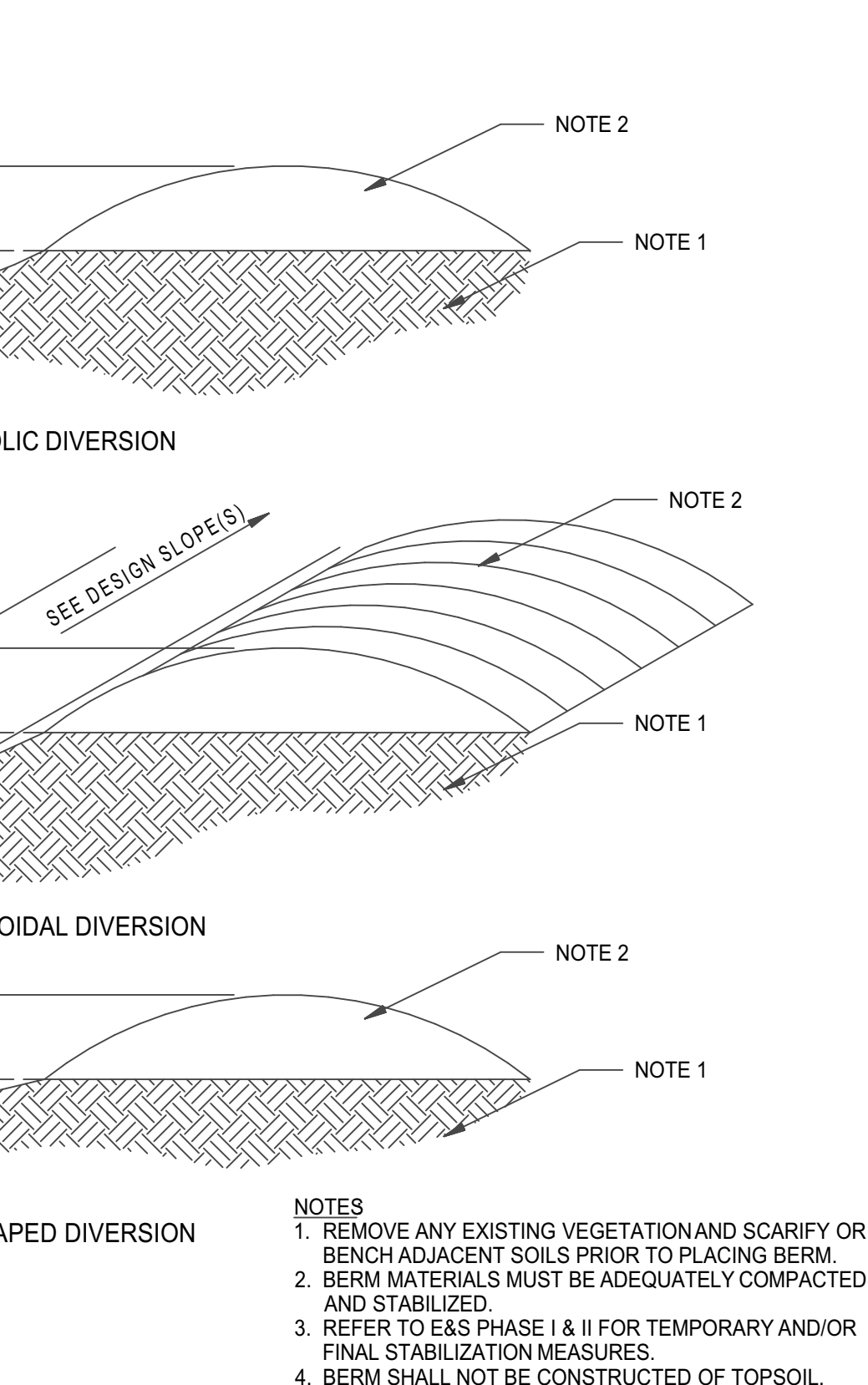
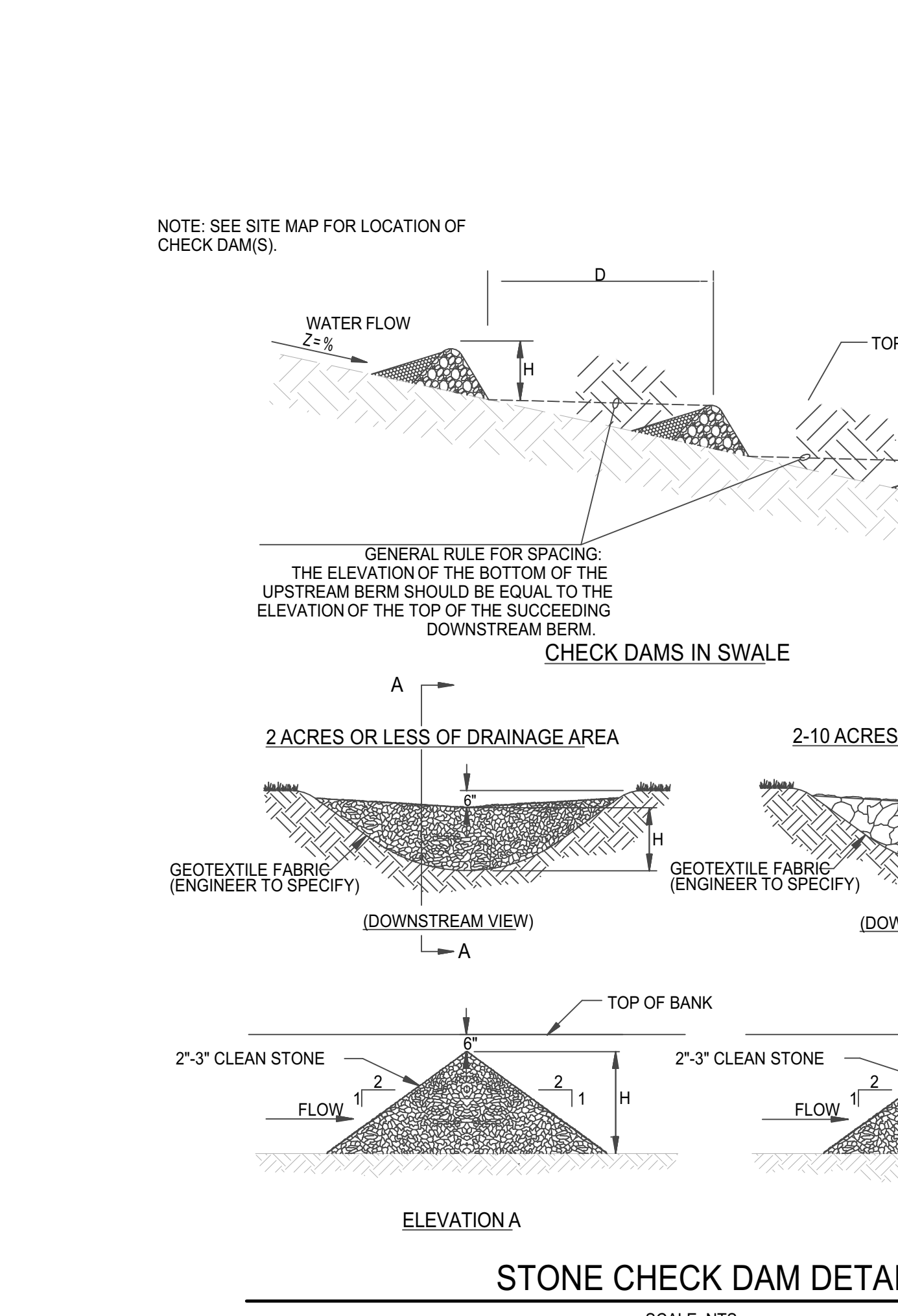
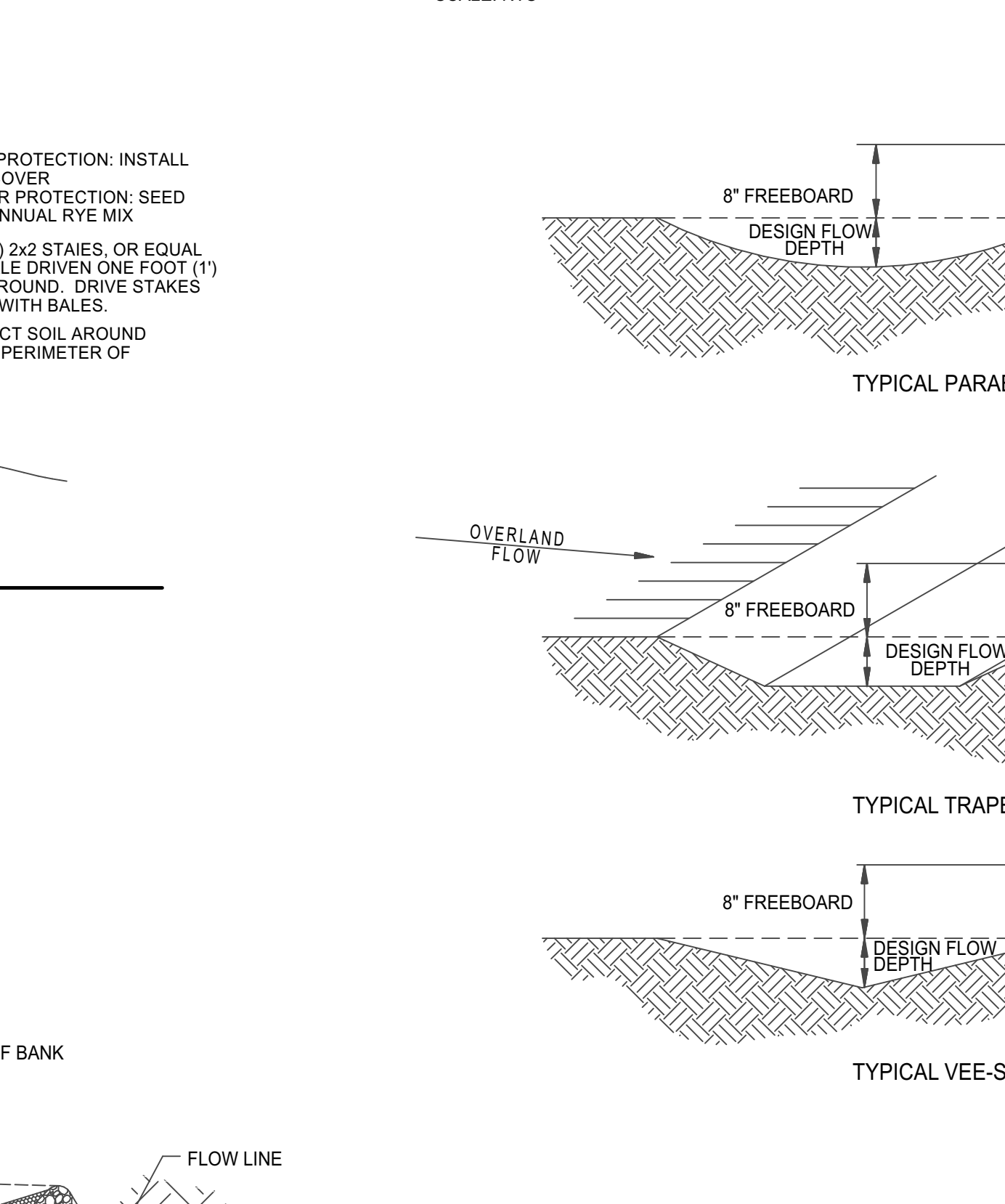
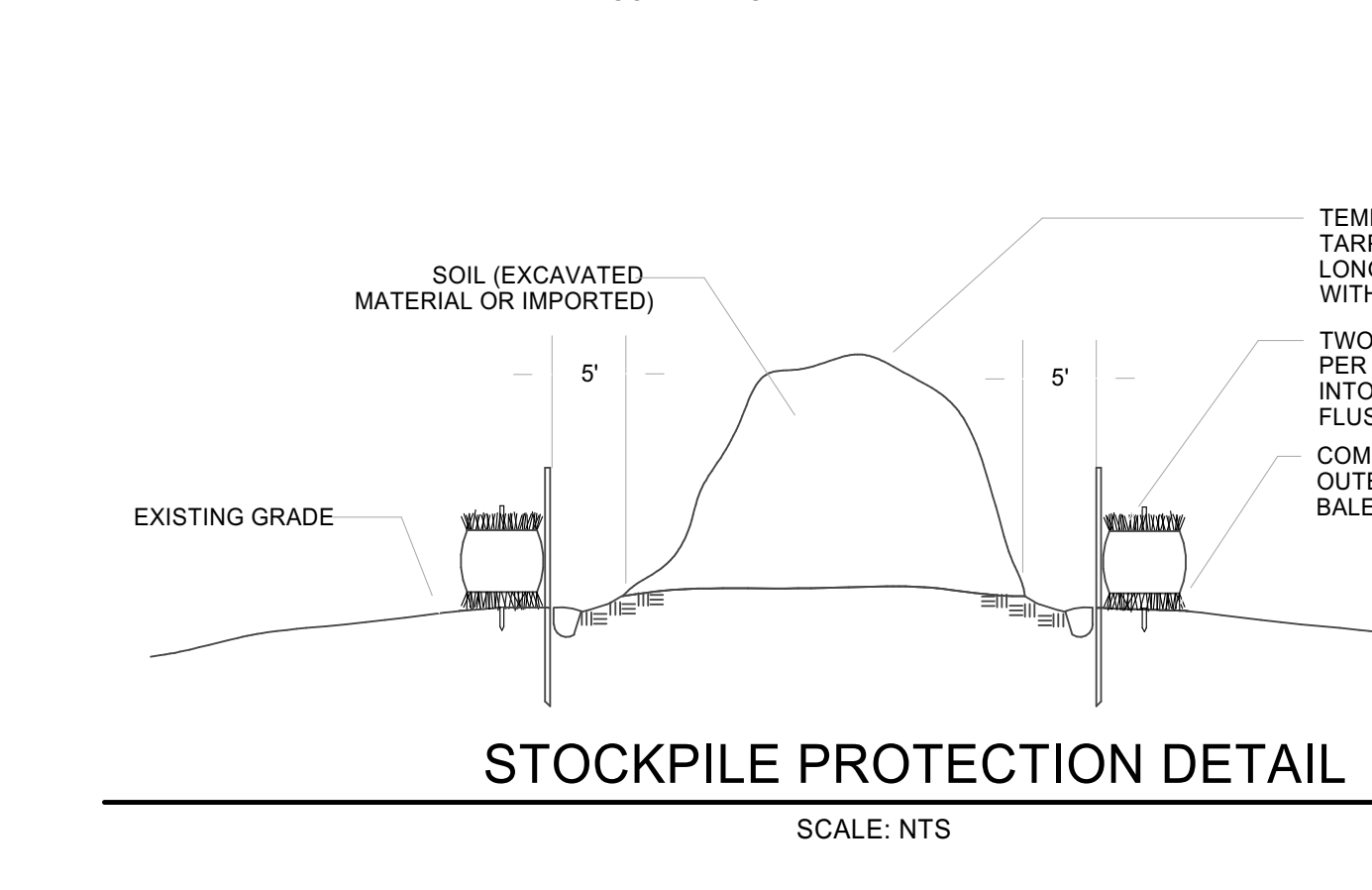
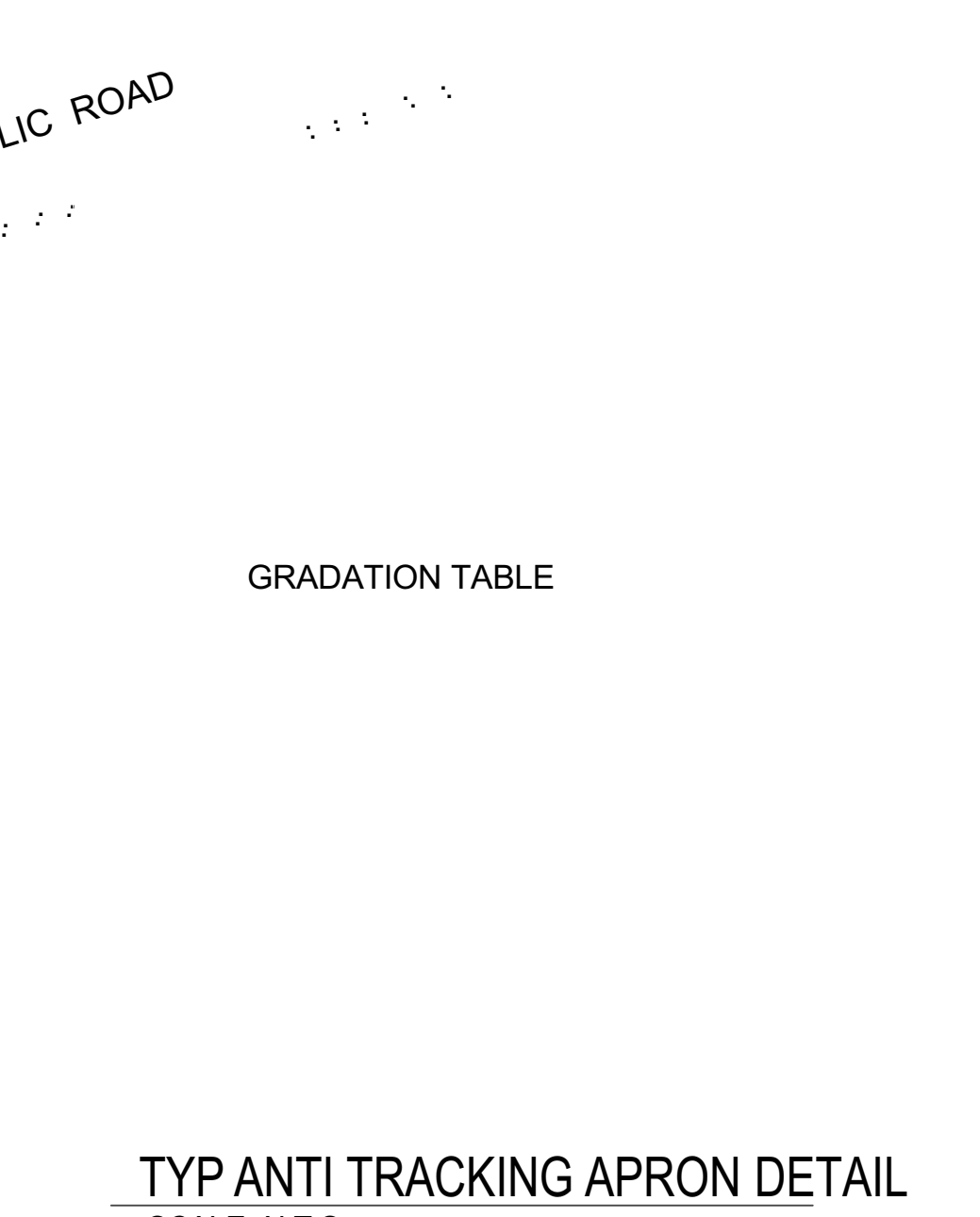
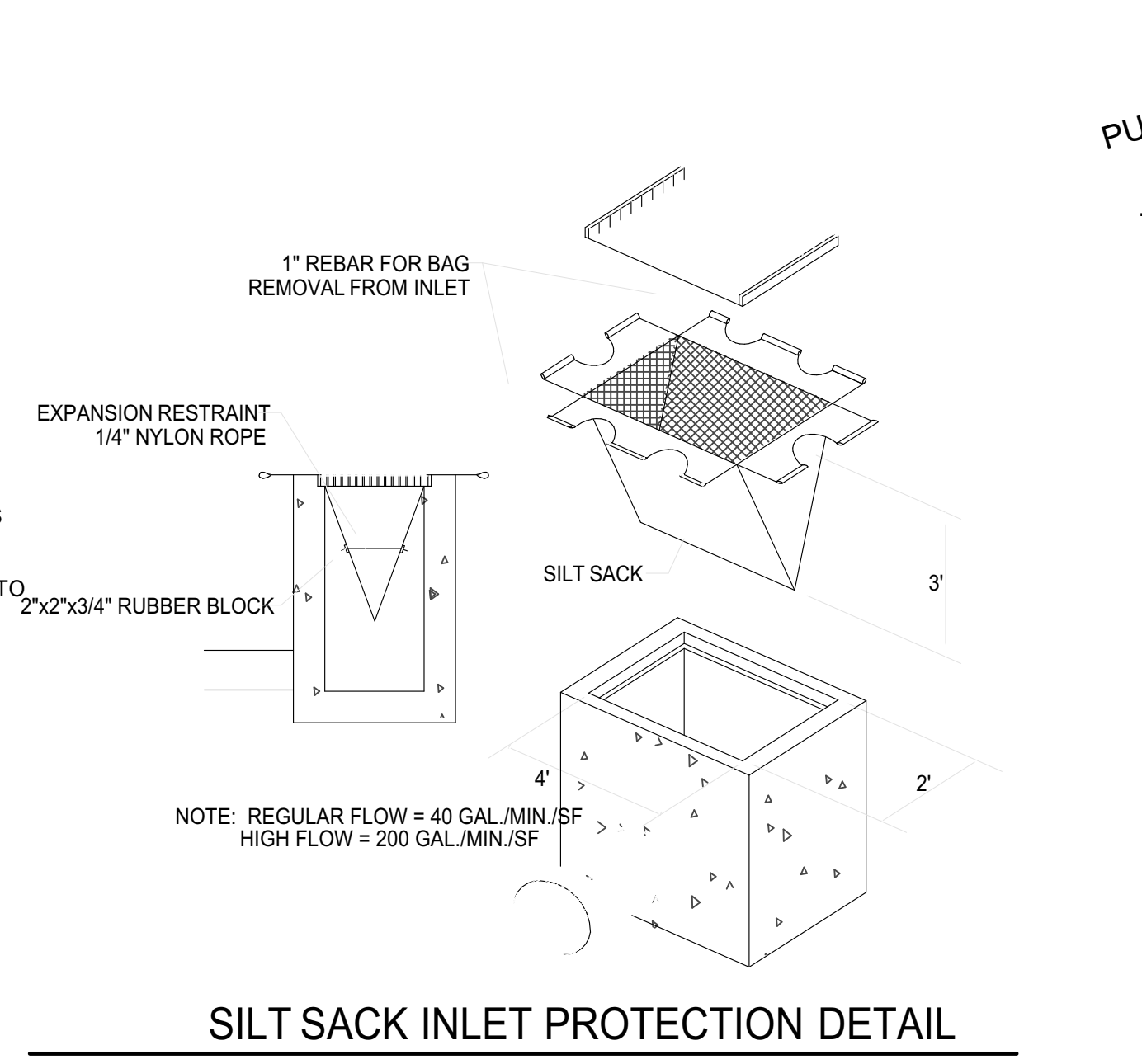
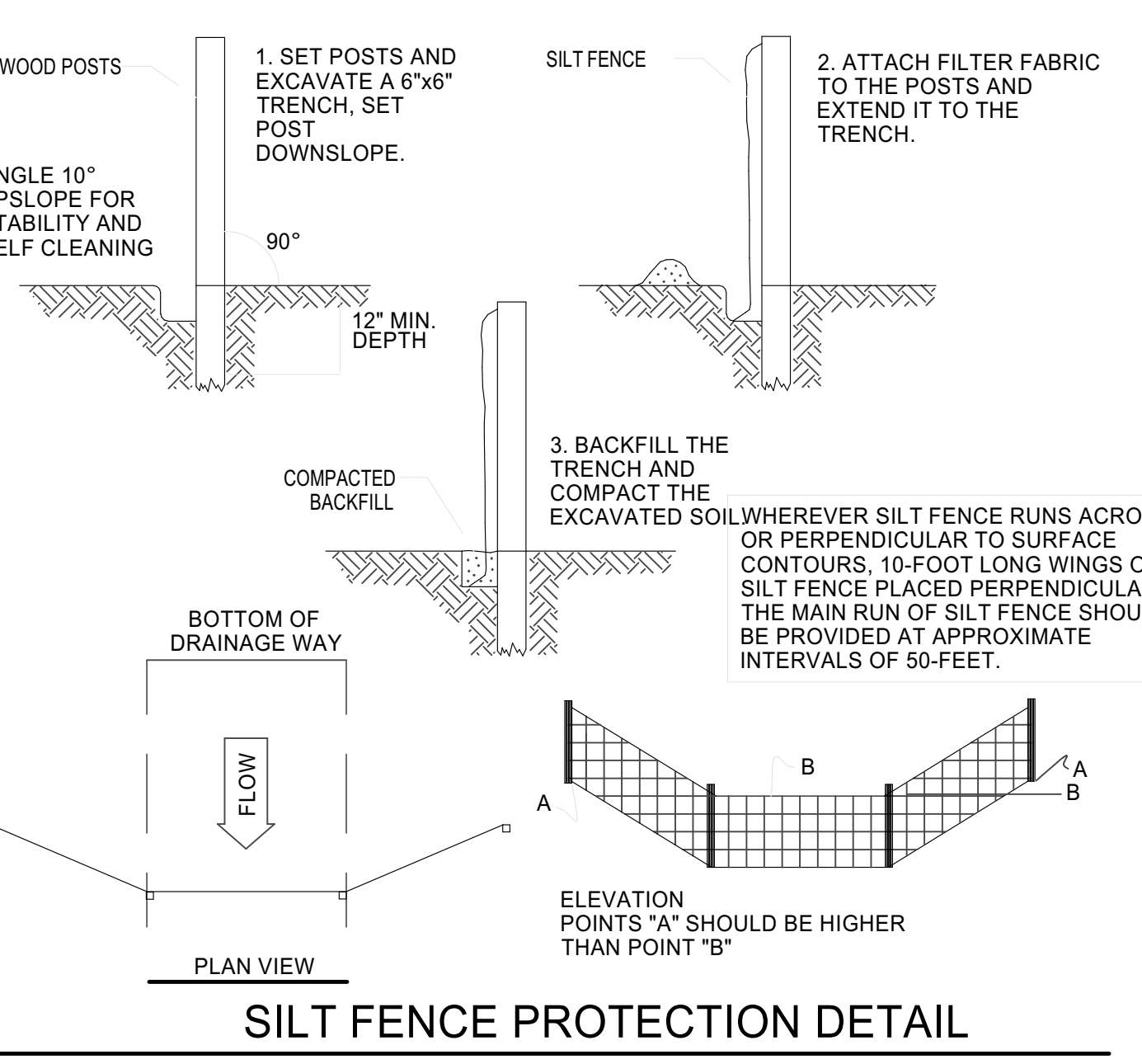
- EROSION AND SEDIMENT CONTROL PLAN
1. ALL CULVERT OUTLETS IF CULVERT OUTLETS ARE AVAILABLE TO THIS PROJECT AND ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES AND CULVERT DISCHARGE AREAS WILL BE PROTECTED WITH RIP RAP CHANNELS, ENERGY DISSIPATORS WILL BE INSTALLED AS SHOWN ON THESE PLANS AND AS NECESSARY.
 2. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL MANUAL, LATEST EDITION.
 3. EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO CONSTRUCTION WHENEVER POSSIBLE.
 4. ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
 5. ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF NECESSARY OR REQUIRED OR AS DIRECTED BY THE CIVIL ENGINEER OR BY LOCAL GOVERNING OFFICIALS.
 6. SEDIMENT REMOVED FROM EROSION CONTROL STRUCTURES WILL BE DISPOSED IN A MANNER WHICH IS CONSISTENT WITH THE INTENT AND REQUIREMENTS OF THE EROSION CONTROL PLANS, NOTES, AND DETAILS.
 7. THE OWNER IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN.

- SEDIMENT AND EROSION CONTROL NOTES
1. THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THIS SEDIMENT AND EROSION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE PROPER INSTALLATION AND MAINTENANCE OF EROSION CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED WITH CONSTRUCTION ON THE SITE OF THE REQUIREMENTS AND OBJECTIVES OF THIS PLAN, INFORMING THE GOVERNING AUTHORITY OR INLAND WETLANDS AGENCY OF ANY TRANSFER OF THIS RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE SEDIMENT & EROSION CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
 2. AN EROSION CONTROL BOND MAY BE REQUIRED TO BE POSTED WITH THE TOWN TO GUARANTEE IMPLEMENTATION OF THE EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POSTING OF THIS BOND AND FOR INQUIRIES TO THE TOWN, INLAND WETLANDS COMMISSION AND/OR PROJECT ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUPPLEMENTAL MAINTENANCE OR ADDITIONAL MEASURES IF CONDITIONS ARE ENCOUNTERED BEYOND WHAT WOULD NORMALLY BE ANTICIPATED.
 3. VISUAL SITE INSPECTIONS SHALL BE CONDUCTED WEEKLY, AND AFTER EACH MEASURABLE PRECIPITATION EVENT OF 0.10 INCHES OR GREATER BY QUALIFIED PERSONNEL, TRAINED AND EXPERIENCED IN EROSION AND SEDIMENT CONTROL, TO ASCERTAIN THAT THE EROSION AND SEDIMENT CONTROL (E&S) BMPs ARE OPERATIONAL AND EFFECTIVE IN PREVENTING POLLUTION. A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT, AND INCLUDE:
 - A) A SUMMARY OF THE SITE CONDITIONS, E&S BMPs, AND COMPLIANCE; AND
 - B) THE DATE, TIME, AND THE NAME OF THE PERSON CONDUCTING THE INSPECTION

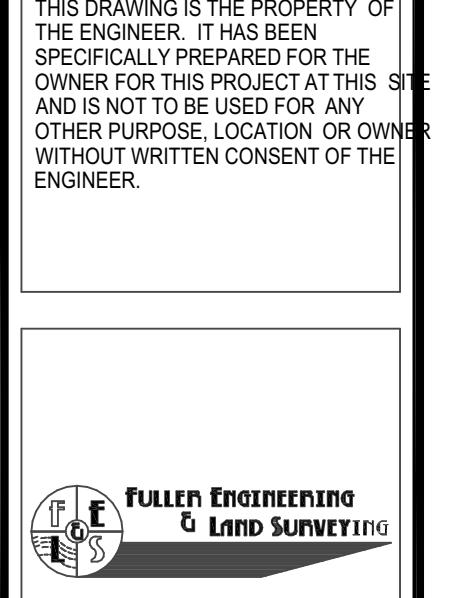
- ADDITIONAL AND/OR ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES MAY BE INSTALLED DURING THE CONSTRUCTION PERIOD IF FOUND NECESSARY BY THE CONTRACTOR, OWNER, CIVIL ENGINEER, THE TOWN, EASTERN CONNECTICUT SOILS CONSERVATION DISTRICT, INLAND WETLANDS COMMISSION, OR GOVERNING AGENCIES. THE CONTRACTOR SHALL CONTACT THE OWNER AND APPROPRIATE GOVERNING AGENCIES FOR APPROVAL IF ALTERNATIVE CONTROLS OTHER THAN THOSE SHOWN ON THESE PLANS ARE PROPOSED.
- THE CONTRACTOR SHALL INSPECT ALL SEDIMENT AND EROSION CONTROLS BEFORE AND AFTER EACH STORM (0.10 INCHES OR GREATER RAINFALL), OR AT LEAST WEEKLY, TO VERIFY THAT THE CONTROLS ARE OPERATING PROPERLY AND MAKE REPAIRS WHERE NECESSARY.
- THE CONTRACTOR SHALL KEEP A SUPPLY OF EROSION CONTROL MATERIAL (HAY BALES, JUTE MESH, RIP RAP ETC.) ON-SITE FOR MAINTENANCE AND EMERGENCY REPAIRS.
- INSTALL PERIMETER SEDIMENT CONTROLS PRIOR TO CLEARING OR CONSTRUCTION. ALL CONSTRUCTION SHALL BE CONTAINED WITHIN THE LIMIT OF DISTURBANCE (LOD), WHICH WILL BE MARKED WITH FENCE, SAFETY FENCE, HAY BALES, RUBBER, OR OTHER MEANS PRIOR TO CLEARING. CONSTRUCTION ACTIVITY SHALL REMAIN ON THE UPHILL SIDE OF THE SILT FENCE UNLESS WORK IS SPECIFICALLY CALLED FOR ON THE DOWNHILL SIDE OF THE FENCE.

- TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING. ALL EARTH STOCKPILES SHALL HAVE HAY BAITS OR SILT FENCE AROUND THE PERIMETER. PILES SHALL BE TEMPORARILY SEEDED IF PILE IS TO REMAIN IN PLACE FOR MORE THAN 7 DAYS.
- SEDIMENTATION TRAPS SHALL PROVIDE 134 CUBIC YARDS OF SEDIMENT STORAGE PER DISTURBED ACRE CONTRIBUTING TO THE TRAP. PROVIDE TRAP VOLUMES FOR ALL DISTURBANCE ON SITE.
- MINIMIZE LAND DISTURBANCES. SEED AND MULCH DISTURBED AREAS WITH TEMPORARY MIX AS SOON AS PRACTICABLE (2 WEEK MAXIMUM UNSTABILIZED PERIOD) USING PERENNIAL RYEGRASS AT 40 LBS PER ACRE, MULCH ALL CUT AND FILL SLOPES AND SWALES WITH LOOSE HAY AT A RATE OF 2 TONS PER ACRE. IF NECESSARY, REPLACE ALLOOSE HAY ON SLOPES WITH EROSION CONTROL BLANKETS OR JUTE CLOTH.
- SILT FENCE AND OTHER SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH CONTRACT DRAWINGS AND MANUFACTURER'S RECOMMENDATIONS TO WORK IN ANY UPLAND AREAS.
- EXCAVATED MATERIAL FROM TEMPORARY SILT TRAPS SHALL BE STOCKPILED ON UPHILL SIDE OF SILT FENCE.
- INSTALL SILT FENCE ACCORDING TO MANUFACTURER'S INSTRUCTION, PARTICULARLY LOWER EDGE OF FABRIC INTO GROUND. SILT FENCE SHALL BE MIRAFI ENVIRONMENTAL M300 SILT STOP OR EQUIVALENT APPROVED BY THE CIVIL ENGINEER. FILTER FABRIC USED SHALL BE MIRAFI 100X OR EQUIVALENT. SEE SPECIFICATIONS FOR FURTHER INFORMATION.

- WHERE INDICATED ON EROSION CONTROL PLANS USE NEW HAY BALES AND REPLACE THEM WHENEVER THEIR CONDITION DETERIORATES BEYOND REASONABLE USABILITY. HAY BALES SECURELY INTO GROUND AND BUTT TIGHTLY TOGETHER TO PREVENT UNDERCUTTING AND BYPASSING.
- INSTALL TEMPORARY DIVERSION DITCHES, PLUNGE POOLS, SEDIMENT TRAPS, AND DEWATERING PITS AS SHOWN AND AS NECESSARY DURING VARIOUS PHASES OF CONSTRUCTION TO CONTROL RUNOFF UNTIL UPHILL AREAS ARE STABILIZED. LOCATION OF TEMPORARY SEDIMENT TRAPS WILL REQUIRE REVIEW AND APPROVAL BY THE CIVIL ENGINEER AND GOVERNING OFFICIAL.
- BLOCK THE OPEN UPSTREAM ENDS OF DETENTION BASIN/SEDIMENTATION BASIN OUTLET CONTROL ORIFICE UNTIL SITE IS STABILIZED. CONVERT TEMPORARY SEDIMENT BASINS TO PERMANENT DETENTION BASINS ONCE SITE HAS BEEN STABILIZED. CLEAN OUTLET CONTROL STRUCTURES AS NECESSARY AND REMOVE ACCUMULATED SEDIMENT FROM TOP OF BASIN. BLOCK END OF STORM SEWERS IN EXPOSED TRENCHES WITH BOARDS AND SANDBAGS AT THE END OF EACH WORKING DAY WHEN RAIN IS EXPECTED.
- SWEEP AFFECTED PORTIONS OF OFF SITE ROADS ONE OR MORE TIMES A DAY (OR LESS FREQUENTLY IF TRACKING IS NOT A PROBLEM) DURING CONSTRUCTION. OTHER DUST CONTROL MEASURES TO BE USED AS NECESSARY INCLUDE WATERING DOWN DISTURBED AREAS, USING CALCIUM CHLORIDE, AND COVERING LOADS ON DUMP TRUCKS.
- PERIODICALLY CHECK ACCUMULATED SEDIMENT LEVELS IN THE SEDIMENT TRAPS DURING CONSTRUCTION AND CLEAN ACCUMULATED SILT WHEN NECESSARY OR WHEN A FEW FEET OF SEDIMENT HAS ACCUMULATED OR PER SPECIFIC CLEAN OUT MARKERS.
- ELEVATION REMOVE ACCUMULATED SEDIMENT FROM BEHIND SILT FENCE WHEN LEVEL REACHES HALF THE HEIGHT OF THE HAY BALE OR ONE FOOT AT SILT FENCE. DISPOSE OF SEDIMENT LEGALLY EITHER ON OR OFF SITE.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES (BMP) TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- ALL EXCAVATED MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF UTILITY AND STORM PIPE TRENCHES SO AS TO ALLOW THE TRENCH TO INTERCEPT ALL SILT LADEN RUNOFF.
- EROSION AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM OF 70% UNIFORM PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING OR OTHER MOVEMENTS.
- MAINTAIN ALL PERMANENT AND TEMPORARY SEDIMENT CONTROL DEVICES IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. UPON COMPLETION OF WORK SWEEP PARKING LOT AND REMOVE ALL TEMPORARY SEDIMENT CONTROLS WHEN AUTHORIZED BY LOCAL GOVERNING AUTHORITY. FILE NOTICE (NOTICE OF TERMINATION) WITH GOVERNING AUTHORITY RESPONSIBLE FOR REGULATING STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES PER NPDES.



THIS DRAWING IS THE PROPERTY OF THE ENGINEER. IT HAS BEEN SPECIFICALLY PREPARED FOR THE OWNER FOR THIS PROJECT AT THIS SCALE AND IS NOT TO BE USED FOR ANY OTHER PURPOSE, LOCATION OR OWNER WITHOUT WRITTEN CONSENT OF THE ENGINEER.



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WILTON'S WAY
22 UNIT CONDOMINIUM DEVELOPMENT
 245 NORWICH-NEW LONDON ROAD (RT 32)
 MONTVILLE, CONNECTICUT
 PREPARED FOR
WESTERN GROUP, LLC

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FE22-1700

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EROSION AND SETTLEMENT CONTROL DETAILS AND NOTES

Scale:

Sheet Number:
C-4.2

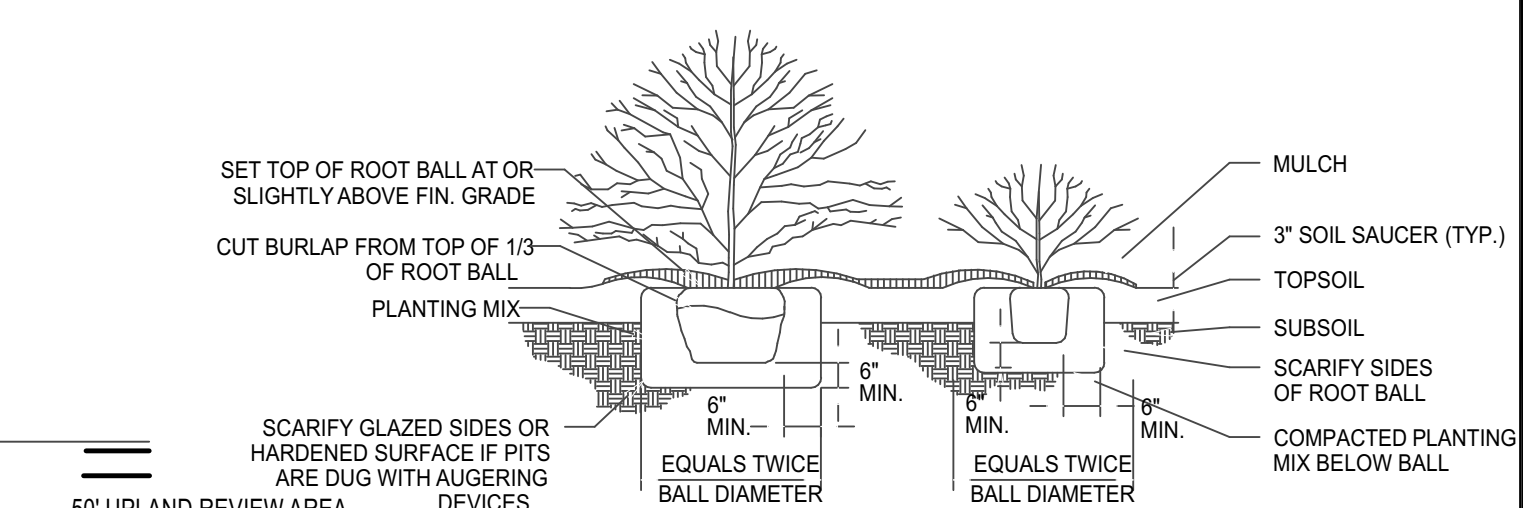
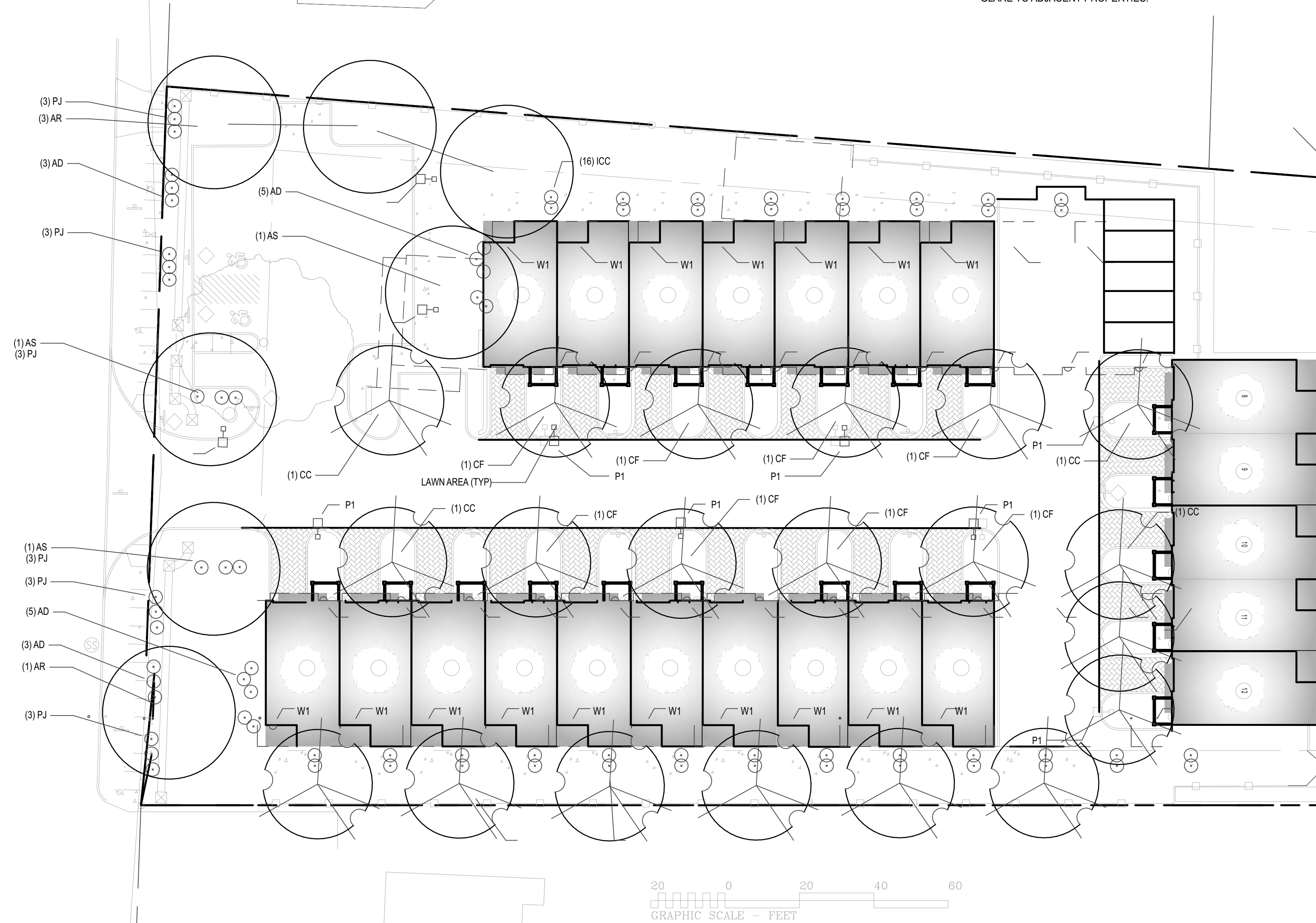
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LIGHTING NOTES

- ALL LIGHT FIXTURES TO BE MOUNTED AND INSTALLED PER MANUFACTURER SPECIFICATIONS.
- ALL WORK AND RELATED MATERIALS SHALL COMPLY WITH CITY, COUNTY, AND OTHER APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.
- SEE SHEET C-2.1 FOR THE PROPOSED LAYOUT.
- ALL POLE LIGHT FIXTURES SHALL BE FITTED WITH HOUSE SHIELDS TO CONTROL GLARE TO ADJACENT PROPERTIES.

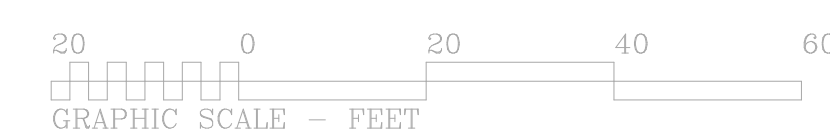
FIXTURE SCHEDULE

QTY	CALLOUT	SYMBOL	FIXTURE DESCRIPTION	MODEL	NOTES	LUMENS
10	P1		PARKING LOT POLE LIGHT FIXTURE	HUBBELL LIGHTING ASL LED SERIES, MODEL ASL-16L-4K-219-4-EHS, POWDER COATED ALUMINUM DARK BRONZE	123W 4K LED, TYPE 4 DISTRIBUTION, 20' MOUNTING HEIGHT	11,253
22	W1		PATIO WALL LIGHT FIXTURE	LITHONIA ACCENT, MODEL OLCSS9WH POWDER COATED ALUMINUM, WHITE	8.9W 4K LED, 120V	513
22	W2		FRONT PORCH WALL LIGHT FIXTURE	LITHONIA ACCENT, MODEL OLCSS9WH POWDER COATED ALUMINUM, WHITE	8.9W 4K LED, 120V, 513 LUMENS	513



BALLED AND BURLAPPED AND CONTAINER GROWN SHRUB / GROUNDCOVER PLANTING
 SCALE: NTS

NOTE:
 1. IN AREAS OF MASS PLANTING, CONTINUOUSLY EXCAVATE AND MULCH ENTIRE BED.



Landscape

SCALE: 1:250

GENERAL NOTES

- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION.
- THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY THE LOCAL MUNICIPALITY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE CIVIL ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS.
- THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING.
- SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK.
- SEE SHEET C-4.1 FOR SOIL EROSION AND SEDIMENT CONTROL MEASURES

PLANTING NOTES

- BE AWARE OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION OR PLANTING OPERATIONS. USE CARE TO PROTECT EXISTING UTILITIES FROM DAMAGE, CONTACT "CALL BEFORE YOU DIG" PRIOR TO EXCAVATION.
- ALL PLANTINGS ARE TO BE INSTALLED BY A QUALIFIED LANDSCAPE CONTRACTOR.
- THE CONTRACTOR SHALL BE REQUIRED TO CARRY WORKMEN'S COMPENSATION INSURANCE AND COMPREHENSIVE GENERAL LIABILITY INSURANCE. CERTIFICATES WILL BE REQUIRED PRIOR TO SIGNING CONTRACTS.
- CONTRACTOR IS RESPONSIBLE FOR JOBSITE SAFETY. CONTRACTOR SHALL MAINTAIN A SAFE JOBSITE AT ALL TIMES.
- CONTRACTOR SHALL BE FAMILIAR WITH THE SITE VERIFY ALL DIMENSIONS, GRADES AND EXISTING CONDITIONS. REPORT ANY DISCREPANCIES TO LANDSCAPE DESIGNER.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND LICENSES REQUIRED FOR COMPLETING WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL EXCAVATED SOIL, BRUSH AND DEBRIS OFF-SITE IN A SAFE AND LEGAL MANNER.
- NOTIFY OWNER OR LANDSCAPE DESIGNER 72 HOURS MINIMUM IN ADVANCE OF STARTING PLANTING OPERATIONS. RECEIVE APPROVAL FOR LAYOUT OF ALL BED LINES AND MATERIAL LOCATIONS PRIOR TO INSTALLATION.
- PROTECT EXISTING VEGETATION TO REMAIN FROM DAMAGE DURING CONSTRUCTION. IT IS THE INTENT OF THIS CONTRACT TO AVOID ANY DISTURBANCE TO EXISTING VEGETATION ON THE SITE OTHER THAN THOSE SPECIFICALLY DESIGNATED FOR REMOVAL. ADJUSTMENTS SHALL BE MADE IN THE FIELD AT THE DIRECTION OF THE LANDSCAPE DESIGNER.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL PLANTING, SEEDING AND TREE WORK WITH OTHER TRADES. RESPECT OTHER TRADES WORK AT ALL TIMES.
- CONTRACTOR IS TO EXERCISE EXTREME CARE DURING THE COURSE OF DEMOLITION AND REMOVALS AS DAMAGE TO EXISTING FACILITIES, UTILITIES OR TREES TO REMAIN SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE IN KIND.
- CONTRACTOR IS RESPONSIBLE FOR RESTORING ALL AREAS DAMAGED TO PRE-EXISTING CONDITIONS AS A RESULT OF PLANTING OPERATIONS TO OWNERS AND/OR LANDSCAPE DESIGNERS APPROVAL.
- VEGETATION TO BE REMOVED, NOT INDICATED ON PLAN, SHALL BE TAGGED IN FIELD BY LANDSCAPE DESIGNER.
- THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO REJECT INFERIOR PLANT MATERIALS AND SUBSTITUTIONS. THE LANDSCAPE DESIGNER IS WILLING TO MAKE TWO TRIPS TO SUPPLIERS TO TAG, REVIEW AND APPROVE MATERIALS. PREVIOUSLY UNAPPROVED MATERIALS MAY BE REJECTED AT THE SITE. MINIMALLY, ALL MATERIALS WILL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1 - 2004) OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN GOOD, HEALTHY AND FLOURISHING CONDITION FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AS SOON AS WEATHER AND SEASONAL CONDITIONS PERMIT, ALL DEAD PLANTS AND ALL PLANTS NOT IN A VIGOROUS, THRIVING CONDITION, AS DETERMINED BY THE LANDSCAPE DESIGNER DURING, AND AT THE END OF THE GUARANTEE PERIOD. WARRANTY REPLACEMENT WILL BE PROVIDED AT NO COST TO THE OWNER AND INCLUDE MATERIALS AND

- LABOR. CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE INCURRED DURING REPLACEMENT OF WARRANTY MATERIALS.
- WHEN THERE IS A DISCREPANCY BETWEEN PLANT QUANTITIES SHOWN ON THE PLANT LIST & THE PLAN, USE THE QUANTITIES FROM THE PLAN.
 - PERENNIALS, GROUNDCOVERS & GRASSES TO BE FIELD LOCATED BY LANDSCAPE DESIGNER. COORDINATE TO NOTIFY LANDSCAPE DESIGNER AT LEAST 72 HOURS IN ADVANCE OF EXPECTED INSTALLATION DATE. ON THAT DATE ALL BEDS SHALL BE PREPARED & ALL PLANT MATERIAL SHALL BE ON SITE.
 - PROVIDE A MINIMUM 6" TOPSOIL FOR ALL DISTURBED AREAS. SUBMIT SAMPLE OF TOPSOIL AND SOIL TEST RESULTS FOR LANDSCAPE DESIGNER APPROVAL PRIOR TO DELIVERING TO SITE.
 - MULCH ALL BEDS SHOWN AS CONTINUOUS WITH A 3" MINIMUM OF DOUBLE SHREDDED CEDAR BARK MULCH. SAMPLE TO BE SUBMITTED TO LANDSCAPE DESIGNER FOR APPROVAL.
 - ALL PLANT MATERIALS TO BE SOURCED FROM LOCALLY GROWN GROWERS.
 - TRANSPLANTED MATERIALS TO BE WATERED, HEELED IN AND TENDED BY CONTRACTOR UNTIL FINAL PLACEMENT.

MAP REFERENCES:

- "ZONING IMPROVEMENT LOCATION AND TOPOGRAPHIC SURVEY", DATED 7 JANUARY 2022, SCALE 1"=20', BY FULLER ENGINEERING AND LAND SURVEYING, LLC.

PROPOSED PLANT SCHEDULE

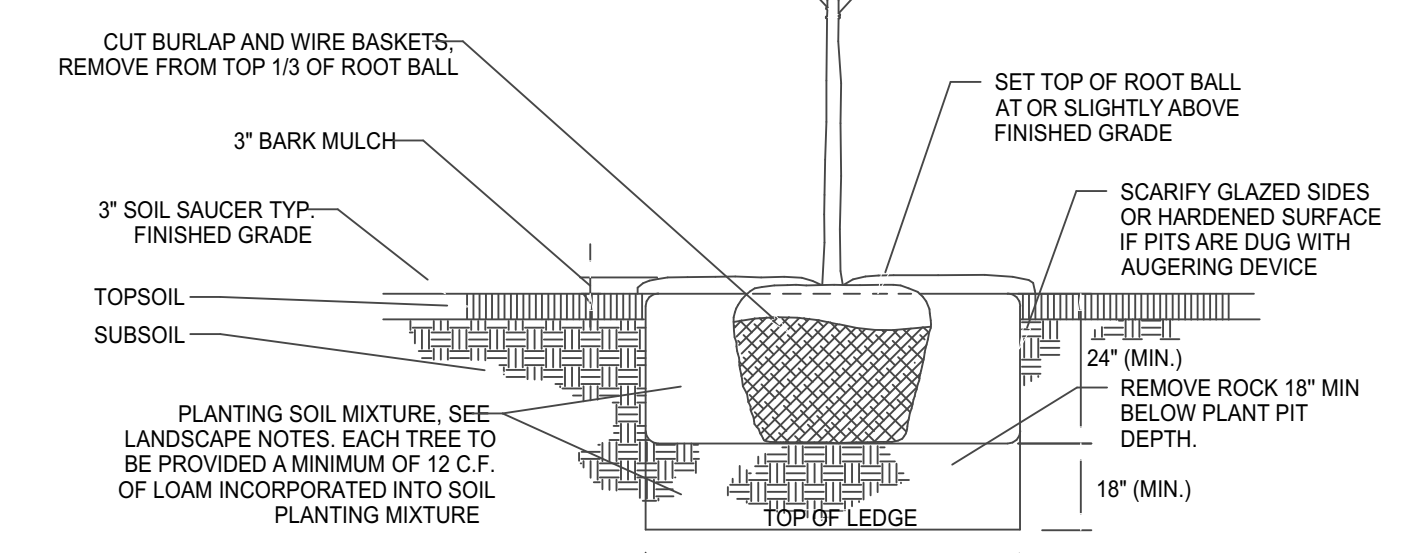
KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT SIZE	COMMENTS
TREES					
AS	3	ACER SACCHARUM	SUGAR MAPLE	B&B 3"-3 1/2" DBH	FULL, EXTRA HEAVY
AR	4	ACER RUBRUM	RED MAPLE	B&B 2 1/2" CAL	FULL, EXTRA HEAVY, SINGLE STRAIGHT LEADER
UNDERSTORY TREES					
CC	4	CERCIS CANADENSIS	EASTERN REDBUD	B&B 2" CAL	FULL, EXTRA HEAVY, SINGLE STRAIGHT LEADER
CF	14	CORNUS FLORIDA	FLOWERING DOGWOOD	B&B 2" CAL	FULL, EXTRA HEAVY, SINGLE STRAIGHT LEADER
UPLAND SHRUBS					
AD	16	AZALEA 'DELAWARE VALLEY WHITE'	DELAWARE VALLEY WHITE AZALEA	CONT 24"-30" HT	FULL, EXTRA HEAVY
ICC	56	ILEX CRENATA COMPACTA	COMPACT JAPANESE HOLLY	CONT 24"-30" HT	FULL, EXTRA HEAVY
PJ	18	PERIS JAPONICA	JAPANESE ANDROMEDA	CONT 24"-36" HT	FULL, EXTRA HEAVY

NEW ENGLAND CONSERVATION / WILDLIFE MIX
 APPLICATION RATE: 1 LB/1,450 S.F.

NEW ENGLAND EROSION CONTROL RESTORATION MIX
 APPLICATION RATE: 35 LB/ACRE

PRUNING SHALL BE IN ACCORDANCE WITH APPROVED HORTICULTURAL STANDARDS IN ORDER TO PRESERVE THE NATURAL FORM OF THE SPECIFIC PLANTS, IF APPLICABLE & APPROVED BY THE LANDSCAPE ARCHITECT. ONE-FOURTH TO ONE-THIRD OF THE WOOD SHALL BE REMOVED BY THINNING OUT TO BALANCE ROOT LOSS DUE TO TRANSPLANTING.

NOTE:
 5' x 5' TREE PLANTING AREA - 24 SF (MIN.)



TREE PLANTING

SCALE: NTS

APPROVED BY THE MONTVILLE INLAND WETLAND COMMISSION

CHAIRMAN _____ DATE _____

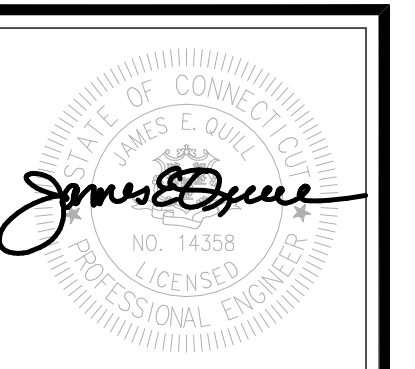
APPROVED BY THE MONTVILLE PLANNING AND ZONING COMMISSION

CHAIRMAN _____ DATE _____

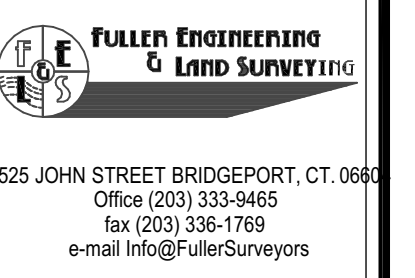
EXPIRATION DATE _____

SEC PLAN APPROVAL DATE _____

8/11/2022 5:30 PM



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 e-mail Info@FullerSurveyors

WILTON'S WAY
22 UNIT CONDOMINIUM DEVELOPMENT
 245 NORWICH-NEW LONDON ROAD (RT 32)
 MONTVILLE, CONNECTICUT
 PREPARED FOR
WESTERN GROUP, LLC

Job Number:
FE22-1700

Job Start Date:
1/4/22

Submission	01/25/22
Staff Comments	03/08/22
Building Mods/Cond. of Approval	08/10/22
New Design Update	11/01/22

Drawn By: Checked By:
 D.R.R. J.E.Q.

Sheet Title:
LANDSCAPE AND LIGHTING PLAN

Scale:

Sheet Number:
C-5.1