

Meredith Badalucca

From: Derek Albertson
Sent: Thursday, January 18, 2024 1:20 PM
To: Meredith Badalucca
Subject: 245 Route 32; proposed residential development
Attachments: 245 rte 32 ProposedCondoDevelopment_Wright_Pierce-Cross-Check 9-26-2023_Optimized (1).pdf

Good Afternoon: With regards to the proposed 245 Route 32 Condo Development plans (attached). We had met to discuss what we needed from you to complete our site plan review. As mentioned in our last meeting, this is a private development. As such, we will make recommendations for the site based on our findings, with most of our review efforts focused on the sewer connection between the private development and Montville owned existing sewer main.

Comments from WPCA Engineer have been provided in the attached report with various colors. Green boxes indicate no further review needed, yellow boxes/comments indicate recommendations for the developer as they are on the private side, while red comments are still outstanding, require additional information, and review. Required Items from the applicant:

- Final "Sanitary Sewer Report" (Page 5 in attached review document)
- "Revised Report Summary of Proposed Sewage Flow" (Pump Peaking Factor) (Page 4 in the attached review document)
- "Fixture Count Spreadsheet and Table of Water Service Line Sizing for a Supply System with Flush Tank" (Page 6 in the attached review document)
- The plans still indicate that Unit 1 is on an individual grinder. According to the report, this should not be the case. The Plans should be updated to reflect this change or indicate why this change has not been made. (Page 5 in the attached review document).

Derek J. Albertson

Superintendent/Administrator

CTDEEP Operator IV (Treatment) / NEWEA Operator IV (Collections)

M.A., Public Administration / B.S., Geology

860.886.3666 / dalbertson@montville-ct.org



FULLER ENGINEERING & LAND SURVEYING, LLC

525 John Street – Second Floor – Bridgeport, CT 06604

Phone: (203) 333-9465

Fax: (203) 336-1769

10 August 2022

Liz Burdick, Planning Director
Town of Montville Planning
310 Norwich-New London Turnpike
Uncasville, Connecticut 06382

RE: Condition of Approval Response
22 Unit Condominium
245 Route 32
Uncasville, Connecticut

The following are our responses to comments from multiple departments in a letter from various review agencies. Our responses are designated in italics.

State of Connecticut Department of Transportation – District 11, Carlos Wimberly dated June 15, 2022

Response: Drawings have been revised per comment letter received. Detail Sheet C-6.4 has been added.

Planning Director Comments – Liz Burdick dated 3/22/2022

1. Sheet "Zoning Improvement Location Plan" – Delete zoning compliance table on this sheet. It is located properly on Sheet C-2.1.

Response: We respectfully request this chart remain on the survey since the intent of the survey is to depict a zoning analysis of the current site as it presently exists. The table located on Sheet C-2.1 expands the information to compare the proposed conditions to the existing conditions.

2. Sheet C-2.1 – Revise sheet to identify space in front of garage as 1 parking space.

Response: All spaces in front of the garages now indicate one(1) car inside and one (1) car outside.

3. Sheet C-3.1 – Note 4 – Add zoning dept. & fire marshal's office.

Response: Note 4 has been revised to add "zoning department, and fire marshal's office"

4. Sheet C-3.2 – Note 4 – Add zoning dept. & fire marshal's office.

Response: Note 4 has been revised to add "zoning department, and fire marshal's office"

Note 5 – Reference 2002 CT E&S Guidelines

Response: Note 5 has been updated to reflect the 2002 CT E&S Guidelines.

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5. Sheets C-6.1 to 6.3 – Add notes regarding maintenance of drainage structures to the plan in addition to Appendix O of the engineering report.
Response: All drainage details have been modified to with direct references to Appendix 'O' for the periodic maintenance requirements.
6. Sheet C-4.1 (E&S Control Plan) – Any future construction staging areas (office trailer, laydown, etc.) shall require review and approval by the Zoning Official or Planning Director. Condition of Approval.
Response: Note 7 has been added to Sheet C-4.1 indicating the above Condition of Approval.
7. Sheet C-5.1 – Revise title to "Landscape & Lighting Plan." Cond. Of Approval.
Response: Title on Sheet C-5.1 has been revised to "Landscape & Lighting Plan"
8. Comment skipped on Director's memo.
9. Comment skipped on Director's memo.
10. ZR Sec. 17.3 (GIS) – Digital data in accordance with this section shall be provided to the Planning Office prior to issuance of any zoning permit to start work. Condition of Approval.
Response: Acknowledged – a digital copy of the data will be submitted once final Zoning approval has been issued in response to the Conditions of Approval.
11. ZR Sec. 19 (Signs) – Proposed complex sign on the face of the decorative wall requires review & approval of its size by the Zoning Official (zoning permit). Condition of Approval.
Response: Acknowledged – The note referring the sign on Sheet C-2.1 has been modified to indicate such approval is required.

Uncas Health District – Michael J. Kirby, R.S. dated 3/16/2022

1. In addition to the garage, an asbestos inspection of the house must also be completed. If asbestos is found an abatement must be conducted.
Response: Acknowledged, prior to demolition, both the house and garage will be inspected for an asbestos determination. If found, abatement procedures will be implemented.

CLA Engineers, Inc. – Thomas L. Cummings, P.E. dated 3/18/22

1. A detail of the handicap ramps per CTDOT drawings must be added to the plans.
Response: Detail Sheet C-6.4 has been added to the drawing set in response to comments by the CTDOT.
2. Tree clearing must be adjusted and not shown on the southerly neighbor's property.
Response: The tree clearing line has been adjusted to limit any tree clearing to the subject property only.

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3. The exterior lighting detail must address spillage and glare. The note referencing "lighting schedule" must be clarified.
A note has been added to the Lighting Notes indicating the installation of "House Shields" to control light spillage and glare. The Detail on Sheet C-6.1 has also been updated to specify the "House Shield."
4. Permeability testing per CT DEEP recommendations must be performed in the proposed subsurface drainage areas once the filling is completed. The Town must be provided with the data prior to the installation of the subsurface galley system
Response: Acknowledged. A note has been added to Sheet C-3.1 indicating the permeability testing requirement.
5. The note added to the plans on Sheet C-3.1 regarding a CT Licensed Engineer designing and inspecting the block wall installation must be added to the wall detail, also the note must delete the Town Engineer and add Town Building Inspector.
Response: The note has been revised on Sheet C-3.1 and added to the detail on Sheet C-6.1.
6. The plans must be revised to read Schedule 80 PVC as appropriate.
Response: Sheet C-3.1 has been revised to indicate Sch 80 PVC pipes where specified.
7. A detail of the level spreader must be added to the plans. The plunge pool detail must be deleted.
Response: A level spreader detail has been added to Sheet C-6.3.
8. The E&S Control Bond amount of \$27,258 is satisfactory.
Response: Acknowledged.

Sewer System Comments — Mariusz Jedrychowski & Joe Hausmann, Wright Pierce
Memorandum, dated 3/18/2022

1. Sewer Calculation notes say 21 units with Existing house being 22nd unit.
Response: This was corrected to exclude the existing house, but include (22) twenty two units. The Calculations depict. Bold note on Summation of Proposed Sewage Flow spreadsheet has been removed.
2. The calculations utilize an average daily flow of 400 gpd per 3-bedroom unit.
Response: This flow may also be found in the CT-DPH Code Technical Standards Section IV. Design Flows, Table 4. (Although the code is for Onsite Sewage Disposal, the Design Flows shall be similar for the Sanitary Sewer System).
This office acknowledges Town of Montville should verify this flow with past developments to ensure consistency with typical flow assumptions.
3. Discrepancy between 6" or 8" Dia. Size Sanitary Sewer in street.
Response: Reference to "Grading, Drainage, & Utility Plan for Commercial/ Residential Complex Norwich-New London Road (CT Route 32) Montville, Connecticut Prepared for Tomashe LLC 19

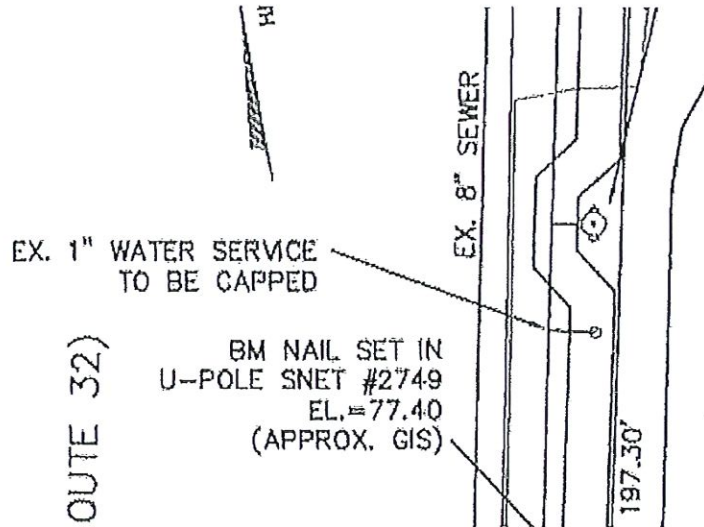
Appears in line with Montville WPCA guidelines. Confirm with Derek and Jon.

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Tulsa Court Monmouth Junction, NJ 08852. By Development Solutions, LLC Dated September 19, 2014, Revised through 3/17/15". Said drawing was used as the base and depicts the Sewer Lateral to be 6" service, but the Sanitary Main north of the San. MH (where this development will tie in) lists the Existing Sanitary Sewer as 8" Service. See Cut Out Attachment:



CUT OUT ATTACHMENT

Response Con't: As a safety factor, and provided for confidence in not overwhelming the existing Sanitary Sewers' capacity, @ 8"Ø QAllow= 0.856 cfs, @ 6"Ø, Calculated QAllow= 0.397 cfs Using the same slope and material, which are both > the proposed Q (flow) going into the System from the 22 units including Stormwater infiltration which was calculated as 0.054 cfs. Therefore, either 6" or 8" size main will suffice. This writer agrees that the Existing Sanitary Sewer service should be verified to avoid any future confusion or conflict.

Note Added to Existing San. Sewer Line on Utility Plan DWG No. C-3.2. as depicted above, "EX. 8" Sewer".

4. Sewer Calculation Peak Pumping factor is 5000 GPD / pump therefore x 2 = 10,000 GPD or 0.0155 cfs which is < 0.054 cfs Peak factor used in calculation.

Response: See the Revised Report Summation of Proposed Sewage Flow (Pump Peaking Factor):

Plan Review Comments — Mariusz Jedrychowski & Joe Hausmann, Wright Pierce
Memorandum, dated 3/18/2022

- There is a none on Sheet C3.2 that calls out San MH Lift Station,
Response: The callout has been removed.

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Joe recommends 8" on private side.

- The sewer line from MH on the site to the public sewer in the street labeled as 6"
Response: Conveyance Calculation was provided for said 6" Lateral. To be included in the revised Sanitary Sewer Report.

- The pipe material for the 2" force main does not appear to be labeled.
Response: 2"Ø PVC label was added to the Utility Plan Sheet C3.2. e-One recommends the use of HDPE 11 pipe for force main piping.

- The 6" PVC sewer coming into each of the 2 lift stations is too shallow.
Response: 6" pipe invert was adjusted to be 3'-6" to the top of the pipe in lieu of to the invert.

- The system is being referred to as a Low-Pressure Sewer (LPS), but this is not entirely accurate. The system has both low pressure and conventional gravity sewer elements. **Unit 1 still on individual grinder**

Response: The individual grinder pump in each unit have been eliminated and a gravity lateral is being proposed from each unit to a 6" gravity distribution sewer to the communal lift stations. This has been depicted on Plan and in Report. Conveyance Calculations have been provided for the new 4" Sanitary Laterals.

6" should be standard. However, this is a private development, so they are free to do what they want.

- The Town of Montville WPCA should make it clear that the sanitary sewer system is a private system and are to be maintained privately.

Response: Acknowledged.

- It is recommended that the lift stations and the private grinder pumps have some form of emergency backup power.

Response: Individual grinder pumps have been eliminated for each unit; a note was added to the plan callout stating the pump station model WH483/WR483 Triplex with Emergency Backup shall be provided.

Water System Comments — Mariusz Jedrychowski & Joe Hausmann, Wright Pierce Memorandum, dated 3/18/2022

- It is understood that the plan is to have individual water meters at each of the two new 22 condominiums, instead of a single main meter.

Response: Each block of Condominiums, one of 9 (North Side) one of 13 (South Side) make up the total of 22 Condo's; which will each have its own separate water meter for each individual unit for a total of 22 total meters.

- Montville's WPCA ownership of the public water line ends at the proposed new tap at the street.

Response: This has been depicted in Plan.

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- Provide the minimum separation distance of 10' horizontally between the water line and sanitary lines.

Response: 10 feet has been provided between said utilities, dimension has been added to the plan set.

- Please provide a fixture count or other flow analysis to confirm the sizing of the 2-inch feeder lines on the property.

Response: Fixture count spreadsheet has been provided as well as a Table of Water Service Line-Sizing for a Supply System with Flush Tank. The 2" feeder line size is adequate; Total Water Fixture Units (WFU) = 224 yields 2" size line adequate up to 250 WFU. [See Attachment RE: WFU]

- If the 2-inch size is confirmed, instead of a 2-inch tap that is branching into two 2-inch feed lines, it is preferred to have the tap be a 12" x 4" tap at the main, and then split the 4-inch pipe into the dual 2-inch feeder lines.

Response: Since 2-inch feeder line is confirmed adequate, New 12" X 4" Tap was provided in lieu of the 12" X 2" Tap.

- Call out the 12" X 6" Tap for the Fire Service main as well.

Response: Call out was added to Plan on Sheet C 3.2 "New 12" X 6" Tap for Fire Service line.

- The 6" fire service line also needs to have valving shown.

Response: Valving was added to 6" Fire Service Line.

- Suggest looping the water lines or installing flushing devices on the dead-ends.

Response: A closed loop system has been designed with Blow Off Hydrants at the terminal end of each building row. Isolation valves have been added for further zone control.

- Please confirm if sprinklers will be required in the building for fire protection. If so, please show those connections and confirm that adequate fire flows exist with sprinklers and hydrant active.

Response: Sprinkler's are not required for this Residential condominium complex. The units shall be constructed in groups of two (2) with firewall separation.

Town of Montville — Water Pollution Control Authority Memorandum, dated 3/15/2022. To Liz Burdick, Town Planner, From Derek Albertson, WPCA Superintendent.

Sewer

- Field Conditions will verify the receiving sewer main at street is 8-inch; a 6-inch line (indicated) may exceed capacity during simultaneous pumping of both proposed lift stations.

Response: The line was checked with both 8" & 6" sizes, verifying that the main is adequate to receive the additional design flow from the New Condominium Complex.

- Individual grinder pumps may not be required if sewer lines are placed at a greater depth

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Response: Basements have been eliminated, thus negating the need for individual pumps. All units have been designed to discharge into a gravity line which leads to pumps at the eastern end of the parking area.

- All maintenance of sewer and associated equipment is the requirement of property owner

Response: Maintenance of sewer and associated equipment is the responsibility of the owner has been acknowledged and directed to the owner.

- Emergency power is recommended to ensure functioning of the systems during storm events due to proposed storage volumes in sewer equipment.

Response: The e-ONE pump station units are to be equipped with emergency back up power. Note was added to the plan set.

- C-3.2 drawing indicates an erroneous notation for a pump station.

Response: Erroneous note has been removed.

- Lift stations located east of the two buildings do not meet depth requirements (36 inches).

Response: Inverts of the inlet pipe were lowered to 3'-6" (42") to top of pipe.

Water

- There is an option to meter each unit (noted curb stop at each) or one meter at street.

Response: Proposal is to meter each individual unit.

- Recommend the configuration from 12-inch water supply main to 4-inch pipe then two 2-inch supply lines rather than what is depicted.

Response: The above change has been incorporated into the design. Refer to Utility Plan Sheet C-3.2.

- Blow off recommended for each 2-inch line

Response: Blow off hydrants have been specified at the terminal ends of each building side.

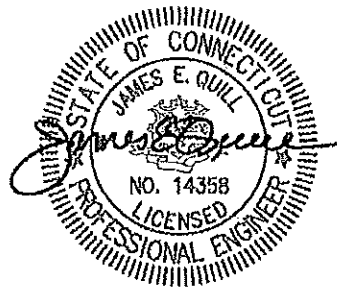
- Recommendation that the water supply lines be "looped"

Response: Water distribution lines have been re-designed as a loop system.

James E. Quill

James E. Quill, P.E.

CT PE # 14358



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C-1 / RT 32 OZ DISTRICT
MAP 70 LOT 010-000

PROPOSED 22 UNIT CONDOMINIUM DEVELOPMENT

245 NORWICH-NEW LONDON ROAD
(CT ROUTE 32)
MONTVILLE, CONNECTICUT

APPLICANT
WESTERN GROUP, LLC
338 Westport Road
Wilton, CT

OWNER
WESTERN GROUP, LLC
338 Westport Road
Wilton, CT

DRAWING LIST

SYMBOL	DESCRIPTION	DATE	BY
C-1	COVER SHEET	01/2012	JEG
C-2	APPROVALS COVER SHEET	01/2012	JEG
C-3	SITE LAYOUT PLAN	01/2012	JEG
C-4	GRADING DRAINAGE PLAN	01/2012	JEG
C-5	UTILTY PLAN	01/2012	JEG
C-6	SOIL EROSION & SEDIMENT CONTROL PLAN	01/2012	JEG
C-7	SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS	01/2012	JEG
C-8	LANDSCAPE & LIGHTING PLAN	01/2012	JEG
C-9	DETAIL SHEET	01/2012	JEG
C-10	DETAIL SHEET	01/2012	JEG
C-11	DETAIL SHEET	01/2012	JEG
C-12	DETAIL SHEET	01/2012	JEG
C-13	DETAIL SHEET	01/2012	JEG
C-14	DETAIL SHEET	01/2012	JEG
C-15	DETAIL SHEET	01/2012	JEG
C-16	DETAIL SHEET	01/2012	JEG
C-17	DETAIL SHEET	01/2012	JEG
C-18	DETAIL SHEET	01/2012	JEG
C-19	DETAIL SHEET	01/2012	JEG
C-20	DETAIL SHEET	01/2012	JEG
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C-97	DETAIL SHEET	01/2012	JEG
C-98	DETAIL SHEET	01/2012	JEG
C-99	DETAIL SHEET	01/2012	JEG
C-100	DETAIL SHEET	01/2012	JEG



The planning of the location of
 this project is subject to the
 approval of the Planning and
 Zoning Commission of the
 Town of Montville, Connecticut.
 This drawing is not to be used
 for any other purpose without
 the written consent of the
 architect.

Planning Department
 100 State Street
 Montville, CT 06054

WILTONS WAY
 22 UNIT CONDOMINIUM DEVELOPMENT
 245 NORWICH-NEW LONDON ROAD
 MONTVILLE, CONNECTICUT
 WESTERN GROUP, LLC

Job Number:
 FE22-1700

Job Start Date:
 1-4-22

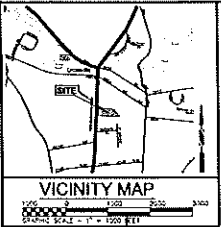
License: FE202
 Exp. Date: 12/31/23
 Issued: 01/22
 The State of Connecticut

Drawn By: Checked By:
 D.R.A. J.E.G.

Sheet Title:
 COVER SHEET

Scale:
 AS SHOWN

Sheet Number:
 C-0



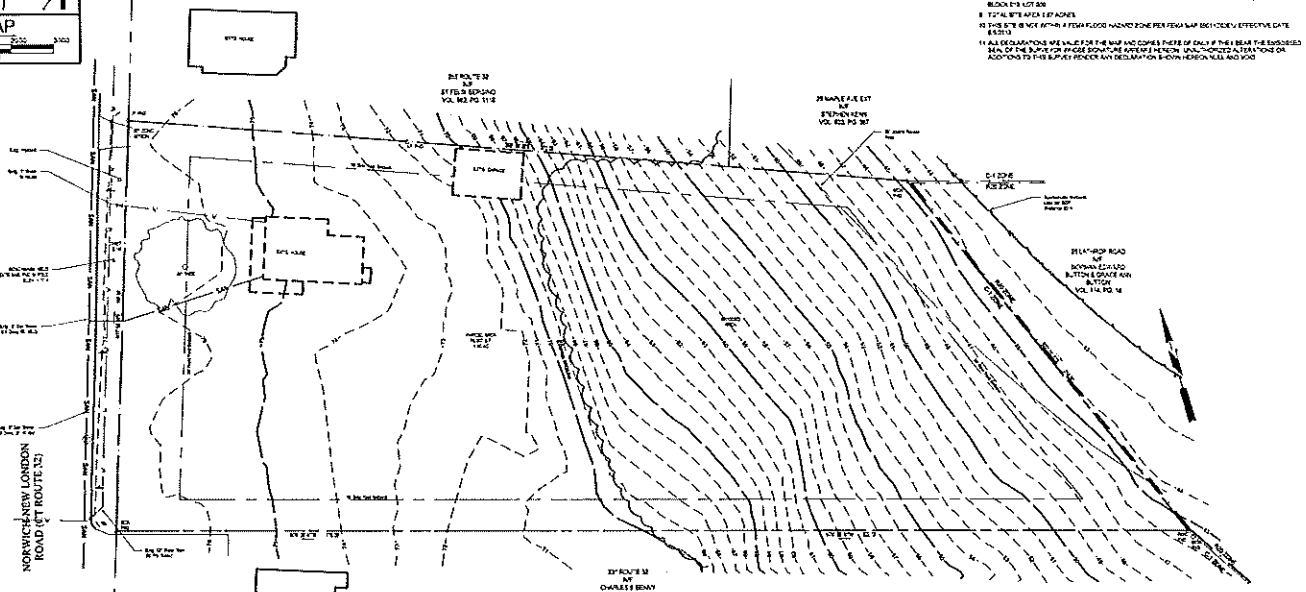
ITEM	MEASUREMENT	EXISTING	COMMENTS
Minimum Lot Area	12,000 S.F.	31,223 S.F.	
Minimum Lot Frontage	85 FT	127.5	
Minimum Building Footprint			
Front Yard	32 FT	65.8 FT	
Side Yard (per Corner) (min)	15 FT	15 FT	
Side Yard (per Side) (min)	20 FT	111.3 FT	
Back Yard	30 FT	111.3 FT	
Maximum Height	NA		
Building Coverage	15%		
Lot Coverage (per Improvement)	5%		

MAP REFERENCES:

A. 2022 ZONING MAP, 2022 ZONING REGULATIONS / PERMITS & DEVELOPMENT REGULATIONS, 2022 ZONING REGULATIONS / PERMITS & DEVELOPMENT REGULATIONS, PREPARED FOR WESTERN GROUP, LLC BY FULLER ENGINEERING & LAND SURVEYING, DATED SEPTEMBER 15, 2022. REFER TO THE TOWN OF MONTVILLE ZONING REGULATIONS FOR THE ZONING MAP AND ZONING REGULATIONS.

NOTES:

- THIS PLAN AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 20-208a (1) (A) TO (D) OF THE REGULATION OF CONSTRUCTION ACT AND THE ZONING REGULATIONS FOR THE TOWN OF MONTVILLE, CONNECTICUT. THE TOWN ENGINEER HAS REVIEWED THIS PLAN AND MAP FOR CONFORMANCE WITH THE TOWN OF MONTVILLE ZONING REGULATIONS AND HAS APPROVED THIS PLAN AND MAP FOR CONSTRUCTION.
- THE TYPE OF SURVEY PERFORMED WITH RESPECT TO THE BOUNDARY PERMITS IS APPROVED UNDER THE ZONING REGULATIONS.
- THE BOUNDARY DETERMINATION CATEGORY IS DEPENDENT ON THE SURVEY MAP REFERENCES.
- WITH RESPECT TO HORIZONTAL ACCURACY, THE MAP SHALL COMPLY TO AN ACCURACY CLASS 2.
- WITH RESPECT TO VERTICAL ACCURACY, THIS MAP SHALL COMPLY TO AN ACCURACY CLASS 2.
- THE BOUNDARY DETERMINATION CATEGORY IS DEPENDENT ON THE SURVEY MAP REFERENCES. THE ACCURACY CLASSIFICATION OF THE SURVEY MAP REFERENCES SHALL BE INDICATED BY THE SURVEYOR'S PROFESSIONAL SEAL AND SIGNATURE. THE ACCURACY CLASSIFICATION OF THE SURVEY MAP REFERENCES SHALL NOT BE INDICATED ON THIS PLAN AND MAP.
- OWNER OF RECORDS SHALL BE RESPONSIBLE FOR THE VALUE OF THE RECORDS IN THE TOWN OF MONTVILLE TOWN ENGINEER'S OFFICE.
- PARCEL IS LOCATED IN THE G-1 ZONE AND IS LOCATED IN THE R-1 ZONE (SEE ZONING MAP FOR MORE INFORMATION).
- TOTAL SITE AREA IS 31,223 S.F.
- THIS SITE IS NOT WITHIN A FLOOD HAZARD ZONE PER FEMA MAP 18070C0101EFFECTIVE DATE 10/2013.
- ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED. DIMENSIONS ARE TO THE EXTERIOR FACE OF THE CURB OR THE EXTERIOR FACE OF THE ROADWAY UNLESS OTHERWISE NOTED. DIMENSIONS TO THE EXTERIOR FACE OF THE CURB OR THE EXTERIOR FACE OF THE ROADWAY UNLESS OTHERWISE NOTED.



ZONING IMPROVEMENT LOCATION & TOPOGRAPHIC PLAN
 245 NORWICH-NEW LONDON ROAD (RT 32)
 MONTVILLE, CONNECTICUT

PREPARED FOR
WESTERN GROUP, LLC
 SCALE 1" = 10' 7 JANUARY 2022
 Rev 8 March 2022

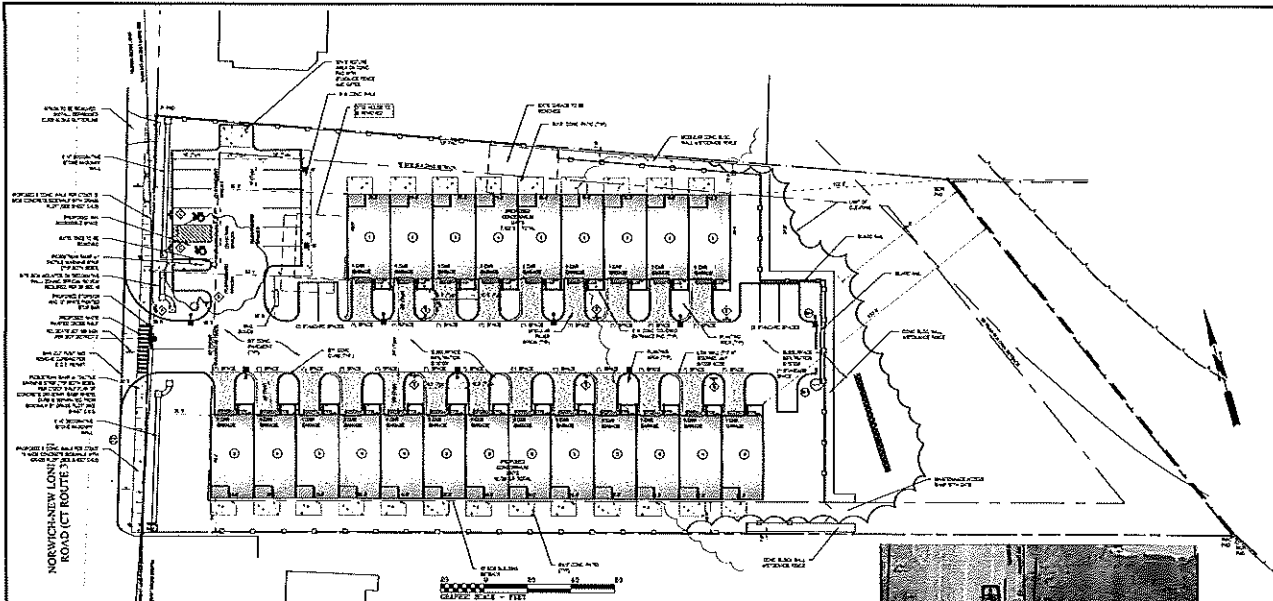
Fuller Engineering & Land Surveying
 525 JOHN STREET
 BRIDGEPORT, CT
 PH. 203-333-9465
 EMAIL: INFO@FULLERSURVEYORS.COM

THIS MAP IS NOT VALID UNLESS IT HAS BEEN APPROVED AND ENDORSED BY THE TOWN ENGINEER.
 TO BE FULLY UNDERSTOOD AND USED BY THIS MAP IS ESSENTIALLY CORRECT TO THE EXTENT OF THE SURVEY MAP REFERENCES.

WESTERN GROUP
 ALL RIGHTS RESERVED



FE22-1700



MAP REFERENCES:
 A. SHOWS APPROXIMATE LOCATION OF PROPOSED DEVELOPMENT AS SHOWN ON THE PLAN. SEE SCALE FOR FURTHER INFORMATION REGARDING MAP REFERENCES.

- NOTES:**
- THE BUYER IS FOR THE PROPOSED CONDOMINIUM DEVELOPMENT. THE BUYER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE BUYER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 - LOCATION OF EXISTING UTILITIES AND PROPOSED UTILITIES ARE SHOWN ON THIS PLAN. THE BUYER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY ON THE CONSTRUCTION SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY ON THE CONSTRUCTION SITE.
 - THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AND PROPOSED UTILITIES IN PLACE AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
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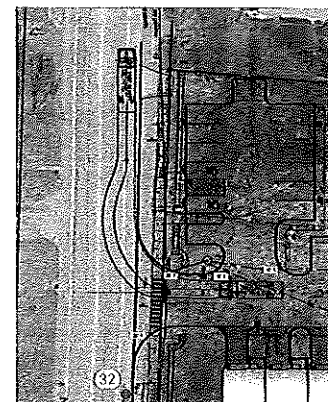
SIGN LEGEND



NO.	DESCRIPTION	QUANTITY	UNIT	AMOUNT	TOTAL
1	STOP SIGN	1	EA	100.00	100.00
2	NO PARKING SIGN	1	EA	100.00	100.00
3	NO STOPPING SIGN	1	EA	100.00	100.00

ITEM	DESCRIPTION	QUANTITY	UNIT	AMOUNT	TOTAL
1	CONCRETE DRIVE	1	EA	1000.00	1000.00
2	ASPHALT DRIVE	1	EA	500.00	500.00
3	PAVING STONE	1	EA	100.00	100.00

ITEM	DESCRIPTION	QUANTITY	UNIT	AMOUNT	TOTAL
1	CONCRETE DRIVE	1	EA	1000.00	1000.00
2	ASPHALT DRIVE	1	EA	500.00	500.00
3	PAVING STONE	1	EA	100.00	100.00



**WILTONS WAY
 22 UNIT CONDOMINIUM DEVELOPMENT
 PRELIMINARY CONSTRUCTION PLAN**

WESTERN GROUP, LLC

Job Number: FE22-1700

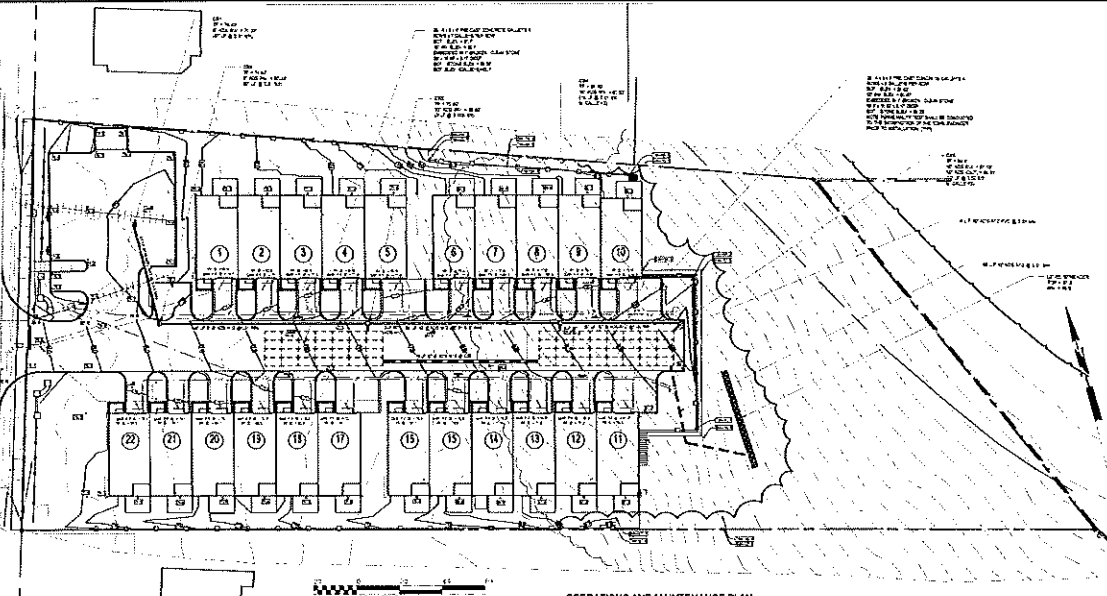
Job Date: 1/22

Drawn By: Checked By: JRG

Scale: 1" = 20'

Sheet Number: C-2.1

NORWICH/NEW LONDON ROAD (CT ROUTE 32)



MAP REFERENCES:

- 1. 22.46(3) IMPROVED, 2010 FOR PERFORMANCE EXCEEDING STANDARD SCALE 1:8437

NOTES:

- 1. THIS PLAN IS FOR THE PROPOSED GRADING AND DRAINAGE FOR THE CONSTRUCTION OF A RESIDENTIAL DEVELOPMENT AS SHOWN AND AS NOTED. THE LANSING PLANS AND SPECIFICATIONS SHALL BE USED AS A GUIDE FOR CONSTRUCTION. ANY ADDITIONAL NOTES AND DETAILS REQUIRED FOR CONSTRUCTION SHALL BE PROVIDED BY THE ARCHITECT.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEASUREMENT AND DELIVERY OF SAND AND STONE TO THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DELIVERY OF SAND AND STONE TO THE SITE.
- 3. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTING UTILITY LOCATIONS AND DEPTHS AND ALL EXISTING UTILITIES SHALL BE MARKED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.
- 4. THE PROPOSER SHALL OBTAIN NECESSARY PERMITS FROM THE TOWN OF NORWICH, CONNECTICUT, AND THE STATE OF CONNECTICUT PRIOR TO CONSTRUCTION.
- 5. ALL WORK PERFORMED IN THE OPENING OF A ROAD SHALL INCLUDE IMPROVEMENTS TO THE ROAD AND TO THE SIDEWALKS AND CURBS AND TO THE DRIVWAYS AND TO THE DRIVEWAYS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.
- 6. ALL EXISTING UTILITIES SHALL BE MARKED AND PROTECTED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.
- 7. ALL PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN ENGINEERING DEPARTMENT'S STANDARDS AND SPECIFICATIONS AND SHALL BE SUBJECT TO THE TOWN ENGINEERING DEPARTMENT'S INSPECTION AND APPROVAL.
- 8. SEE APPENDIX "D" OF THE EXISTING REPORT FOR OPERATION AND MAINTENANCE PLAN.

TEST PIT AND PERCOLATION DATA

TEST PIT DATA
NO. 1111111
NO. 1111111

NO.	DEPTH	DESCRIPTION
1	0-2'	TOPSOIL
2	2-4'	ORANGE FINE SAND W/ SOME SILT & STONES
3	4-6'	MED.-COARSE SAND AND STONES
4	6-8'	NO WATER, NO LEAK

OPERATIONS AND MAINTENANCE PLAN

- Notes:**
- 1. All paved surfaces shall be constructed and finished in accordance with the specifications of the Connecticut Department of Transportation (DOT) and the State of Connecticut.
 - 2. All drainage systems shall be installed and finished in accordance with the specifications of the Connecticut Department of Transportation (DOT) and the State of Connecticut.
 - 3. All utility lines shall be marked and protected in accordance with the specifications of the Connecticut Department of Transportation (DOT) and the State of Connecticut.
 - 4. All trees shall be protected and maintained in accordance with the specifications of the Connecticut Department of Transportation (DOT) and the State of Connecticut.
 - 5. All landscaping shall be installed and maintained in accordance with the specifications of the Connecticut Department of Transportation (DOT) and the State of Connecticut.
 - 6. All parking areas shall be installed and finished in accordance with the specifications of the Connecticut Department of Transportation (DOT) and the State of Connecticut.
 - 7. All retaining walls shall be installed and finished in accordance with the specifications of the Connecticut Department of Transportation (DOT) and the State of Connecticut.
 - 8. All fences shall be installed and finished in accordance with the specifications of the Connecticut Department of Transportation (DOT) and the State of Connecticut.
 - 9. All signs shall be installed and finished in accordance with the specifications of the Connecticut Department of Transportation (DOT) and the State of Connecticut.
 - 10. All lighting shall be installed and finished in accordance with the specifications of the Connecticut Department of Transportation (DOT) and the State of Connecticut.
 - 11. All security systems shall be installed and finished in accordance with the specifications of the Connecticut Department of Transportation (DOT) and the State of Connecticut.
 - 12. All other systems shall be installed and finished in accordance with the specifications of the Connecticut Department of Transportation (DOT) and the State of Connecticut.

EARTHWORK

Exc./Fill Summary

NO.	FROM EXISTING	TO EXISTING	CUB. YDS.	FEET	PER
1	2.24	2.44	10,000	40	100

WETLAND AREAS

AREA	AREA (SQ. FEET)	REMARKS
1	1,200	WETLAND AREA
2	1,200	WETLAND AREA
3	1,200	WETLAND AREA

**WILTON'S WAY
20 UNIT CONDOMINIUM DEVELOPMENT**

**20 UNIT CONDOMINIUM DEVELOPMENT
324 NORWICH/NEW LONDON ROAD (CT ROUTE 32)
NORWICH, CONNECTICUT 06258
WESTERN GROUP, LLC**

Job Number: 7822-1730

Job Start Date: 1/2/21

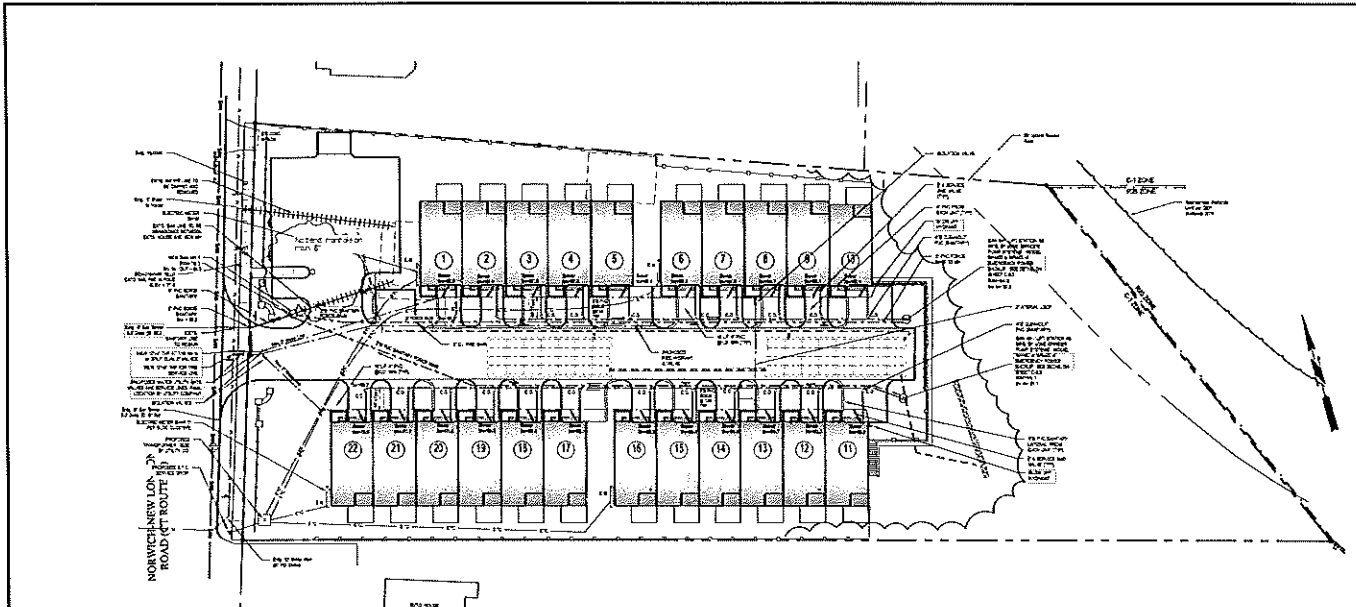
Owner:	WGL
Architect:	WGL
Engineer:	WGL
Inspector:	WGL
Surveyor:	WGL
Plumber:	WGL
Electrician:	WGL
Painter:	WGL
Other:	WGL

Drawn By: Checked By: JES

Sheet Title: GRADING AND DRAINAGE PLAN

Scale: 1" = 20'

Sheet Number: C-31



NOTES:

1. THE PLAN IS FOR THE PROPOSED UTILITIES OF THE PROPOSED MULTIFAMILY DEVELOPMENT WITH FINISH CONSTRUCTION AND ASSOCIATED LANDSCAPING. THIS PLAN IS NOT TO BE USED AS A SITE OR CONSTRUCTION PLAN. APPROVALS FROM THE STATE AND LOCAL AGENCIES ARE REQUIRED.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SEWER, WATER AND GAS LINES AND SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES.
3. THE CONTRACTOR SHALL LOCATE AND VERIFY THE LOCATION, DEPTH AND WIDTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR CONTACTING THE UTILITIES TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES.
4. THE PROPOSED DEVELOPMENT SHALL BE SUBJECT TO THE REVIEW AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT, ENGINEERING DEPARTMENT AND THE MUNICIPAL OFFICE.
5. ALL WORK PERFORMED BY THE CONTRACTOR MUST INCLUDE IMPLEMENTATION OF AN EROSION CONTROL AND SEDIMENTATION PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION OF ALL EROSION CONTROL AND SEDIMENTATION MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION OF ALL EROSION CONTROL AND SEDIMENTATION MEASURES.
6. ALL EXISTING UTILITIES SHALL BE PROTECTED AND SHALL NOT BE DISRUPTED. ALL EXISTING UTILITIES SHALL BE PROTECTED AND SHALL NOT BE DISRUPTED. ALL EXISTING UTILITIES SHALL BE PROTECTED AND SHALL NOT BE DISRUPTED.
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MAP REFERENCES:

- A. TOPOGRAPHIC MAP SHOWING LOCATION AND TOPOGRAPHIC SURVEY DATED JANUARY 1988 SCALE 1" = 40' BY CALLED ENGINEERING AND LAND SURVEYING, INC.



WILTON'S WAY
22 UNIT CONDOMINIUM DEVELOPMENT
340 WILTON ROAD, WESTPORT, MA 01891
WESTERN GROUP, LLC

Job Number: #22-1730
Job Start Date: 14.25

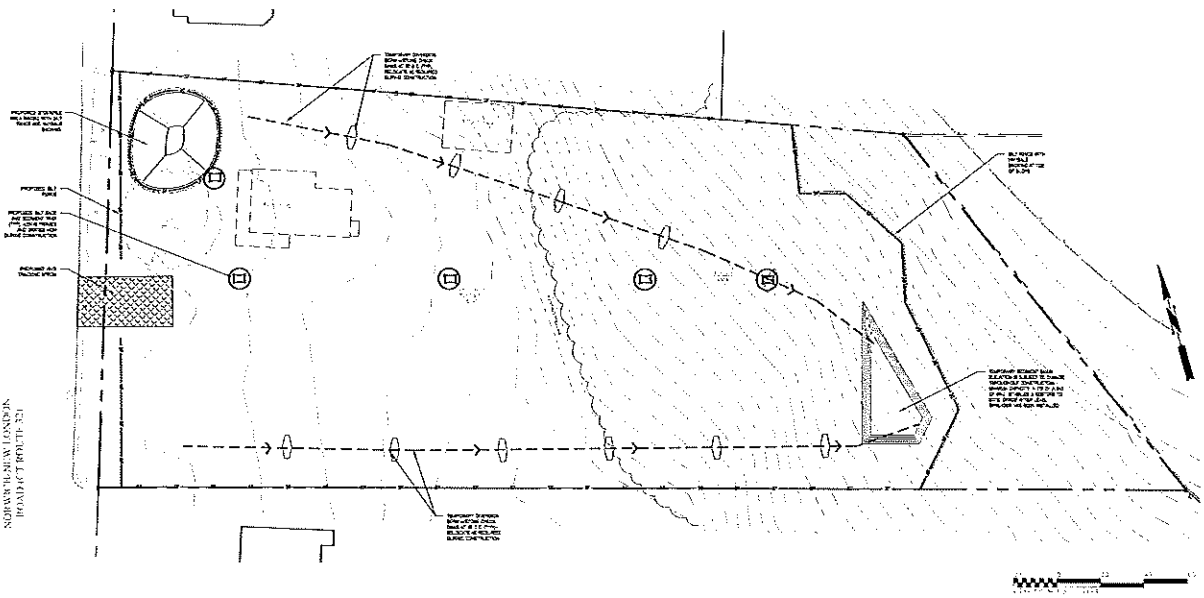
Owner	WGL
Architect	WGL
Engineer	WGL
Contractor	WGL
Inspector	WGL
Surveyor	WGL
Utility	WGL

Drawn By: BAA
Checked By: JEG

Sheet Title: PROPOSED UTILITIES PLAN

Scale: 1" = 20'

Sheet Number: C-32



MAP REFERENCES:
 1. EROSION, SEDIMENTATION AND TEMPORARY SUPPORT, DATED 11 JANUARY 2002, SCALE F102, BY CAULT ENGINEERING AND LANDSCAPE ARCHITECTURE, INC.

- NOTES:**
- THIS PLAN IS FOR THE PURPOSES OF DESIGN AND SCHEMATIC CONTROL FOR THE COMPLETION OF A PRELIMINARY EROSION CONTROL PLAN AND LANDSCAPE ARCHITECTURE PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL EROSION CONTROL MEASURES AND DETAILS REQUIRED FOR THE PROJECT.
 - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCES OF CONSTRUCTION AND FOR THE SAFETY OF PERSONNEL AND OTHERS ON THE CONSTRUCTION SITE.
 - THE PROPOSED EROSION CONTROL MEASURES SHOWN HEREIN SHALL BE DESIGNED IN ACCORDANCE WITH SECTION 16.1.1 OF THE CITY OF CHICAGO ORDINANCES.
 - ALL WORK PERFORMED BY THE CONTRACTOR MUST INCLUDE IMPLEMENTATION OF AN APPROVED EROSION CONTROL PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL EROSION CONTROL MEASURES AND DETAILS REQUIRED FOR THE PROJECT.
 - EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE REPAIRED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
 - SEE SHEET E-4.3 FOR EROSION CONTROL NOTES AND DETAILS.
 - ANY FUTURE CONSTRUCTION SHALL BE SUBJECT TO THE CITY OF CHICAGO ORDINANCES AND SHALL REQUIRE REVIEW AND APPROVAL BY THE ZONING OFFICIAL OR PLANNING DIRECTOR.

SEDIMENT TRAP CALCULATIONS

NOTE: SEDIMENT TRAP CALCULATIONS SHALL BE BASED ON THE FOLLOWING ASSUMPTIONS: 1. TRAP EFFICIENCY SHALL BE 100% FOR PARTICLES GREATER THAN 0.075 MM. 2. TRAP EFFICIENCY SHALL BE 50% FOR PARTICLES BETWEEN 0.075 MM AND 0.0425 MM. 3. TRAP EFFICIENCY SHALL BE 0% FOR PARTICLES SMALLER THAN 0.0425 MM.

TRAP TYPE	AREA (SQ FT)	TRAP EFFICIENCY (%)	SEDIMENT CAPACITY (CU YD)
TRAP 1	100	100	1.00
TRAP 2	100	100	1.00
TRAP 3	100	100	1.00
TRAP 4	100	100	1.00
TRAP 5	100	100	1.00
TRAP 6	100	100	1.00
TRAP 7	100	100	1.00
TRAP 8	100	100	1.00
TRAP 9	100	100	1.00
TRAP 10	100	100	1.00
TOTAL TRAP AREA	1000	100	10.00

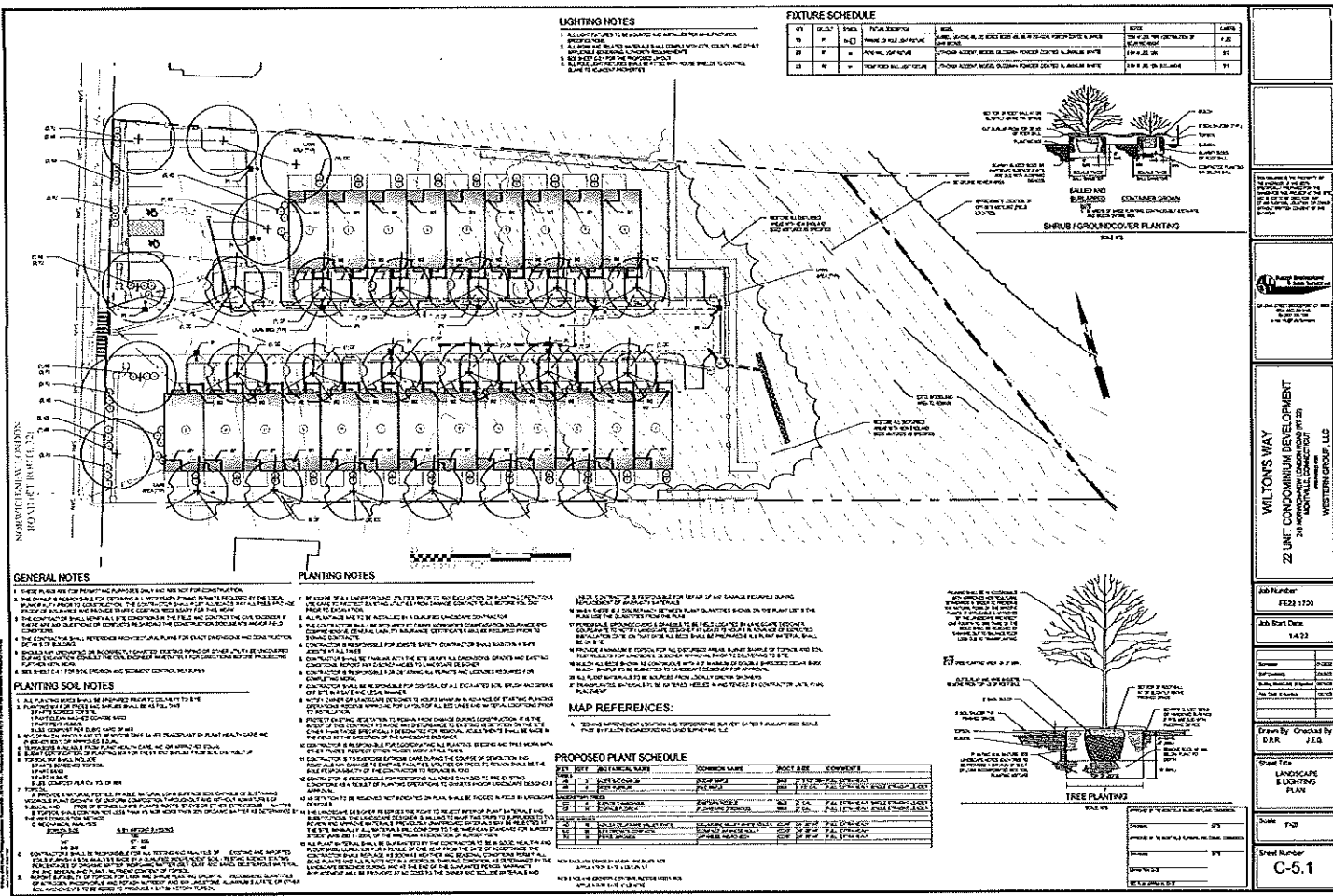
**WILTON'S WAY
 22 UNIT CONDOMINIUM DEVELOPMENT
 248 WILSON AVENUE, CHICAGO, IL 60647
 WESTERN GROUP, LLC**

Job Number: FE22-1702
 Job Start Date: 1/4/22

Scale: 1" = 20'
 Sheet Number: C-41

Drawn By: JEG
 Checked By: JEG

DATE: 1/11/22



LIGHTING NOTES

- ALL LIGHT FIXTURES TO BE INSTALLED AND WIRING TO BE INSTALLED BY AN ELECTRICIAN.
- ALL LIGHT FIXTURES TO BE INSTALLED IN ACCORDANCE WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS.
- ALL LIGHT FIXTURES TO BE INSTALLED IN ACCORDANCE WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS.
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- ALL LIGHT FIXTURES TO BE INSTALLED IN ACCORDANCE WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS.

FIXTURE SCHEDULE

NO.	SYMBOL	TYPE	PLANT SPECIES	NOTE	QTY
10	F	LED	RECESSED DOWN LIGHT	INSTALL IN EACH UNIT	22
11	F	LED	RECESSED DOWN LIGHT	INSTALL IN EACH UNIT	22
12	F	LED	RECESSED DOWN LIGHT	INSTALL IN EACH UNIT	22

GENERAL NOTES

- THESE PLANS ARE FOR INFORMATION ONLY AND NOT FOR CONSTRUCTION.
- THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF CHICAGO.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF CHICAGO.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF CHICAGO.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF CHICAGO.

PLANTING SOIL NOTES

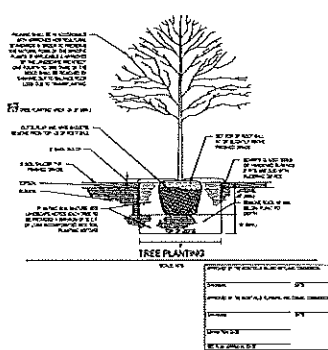
- ALL PLANTING SOILS SHALL BE PREPARED PRIOR TO DELIVERY TO THE SITE.
- PLANTING SOILS SHALL BE FREE OF STONES, LIMESTONE, AND OTHER FOREIGN MATERIALS.
- PLANTING SOILS SHALL BE FREE OF STONES, LIMESTONE, AND OTHER FOREIGN MATERIALS.
- PLANTING SOILS SHALL BE FREE OF STONES, LIMESTONE, AND OTHER FOREIGN MATERIALS.
- PLANTING SOILS SHALL BE FREE OF STONES, LIMESTONE, AND OTHER FOREIGN MATERIALS.

PLANTING NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
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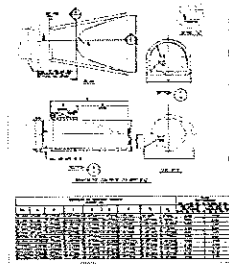
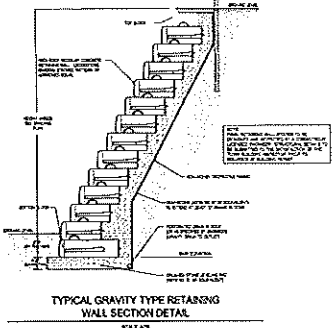
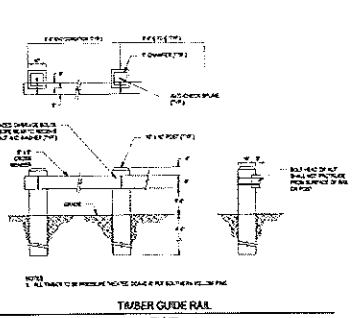
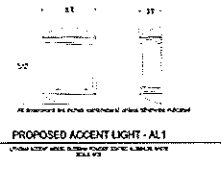
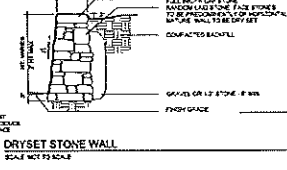
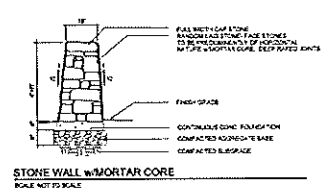
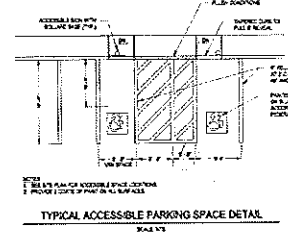
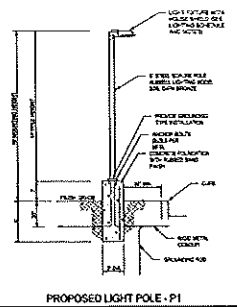
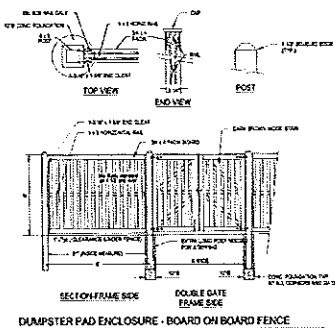
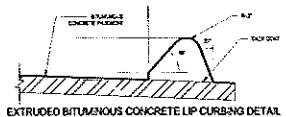
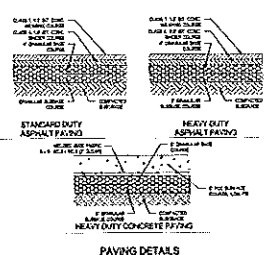
PROPOSED PLANT SCHEDULE

NO.	PLANT SPECIES	COMMON NAME	JUST B.B.	QTY
1
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WILTONS WAY
22 UNIT CONDOMINIUM DEVELOPMENT
244 WILSON AVENUE, CHICAGO, IL 60614
WESTERN GROUP, LLC

Job Number: FE22-1120
Job Start Date: 1/4/22
Drawn By: Checked By: D.A.R. / J.E.B.
Scale: AS SHOWN
Sheet Title: LANDSCAPE EXISTING PLAN
Sheet Number: C-5.1



PROJECT	DATE
DESIGNED BY	DATE
CHECKED BY	DATE
SCALE	

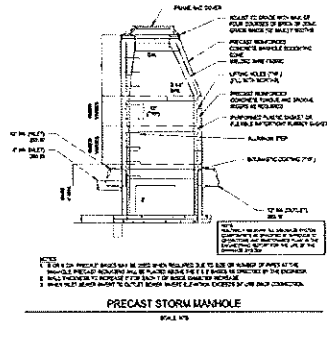
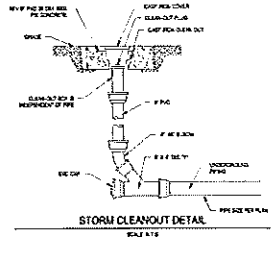
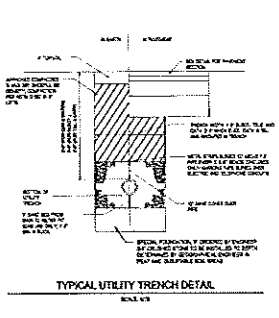
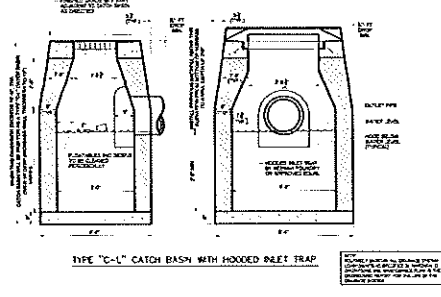
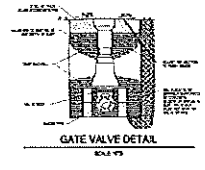
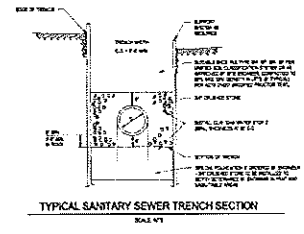
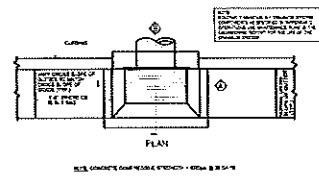
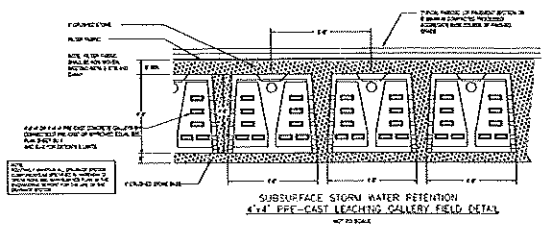
WILTON'S WAY
Z2 UNIT CONDOMINIUM DEVELOPMENT
250 WILTON WAY, SUITE 100
WESTPORT, MA 01886

Job Number: FE22-1720
Job Start Date: 1-4-22

Drawn By: JFA
Checked By: JEG

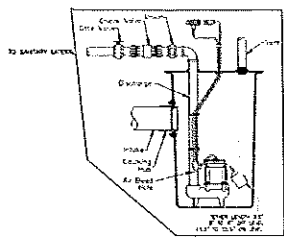
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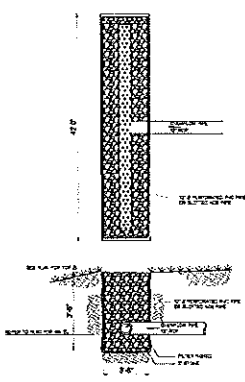
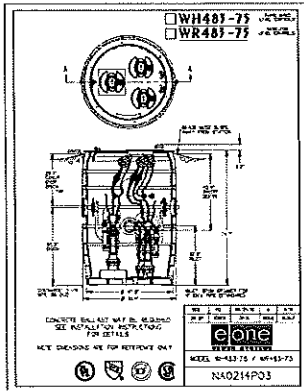


PROJECT NO.	012
DATE	1/2002
DRAWN BY	JEG
CHECKED BY	JEG
SCALE	AS SHOWN

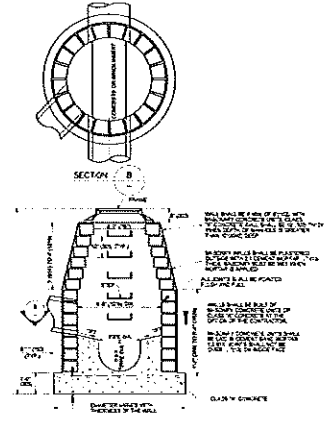
WILTON'S WAY	
22 UNIT CONDOMINIUM DEVELOPMENT	
2140 WILTON ROAD, SUITE 200 WESTPORT, MISSISSIPPI 39576	
WESTERN GROUP, LLC	
Job Number	FE22-1750
Job Start Date	1/4/02
Author	JEG
Checker	JEG
Manufacturer of Items	AS SHOWN
Year Made of Items	AS SHOWN
Drawn By	JEG
Checked By	JEG
Sheet Title	DETAIL SHEET
Scale	AS SHOWN
Sheet Number	C-6.2



SEWAGE EJECTOR PUMP TYPICAL
BELOW BASEMENT FLOOR INSTALLATION
NOT TO SCALE



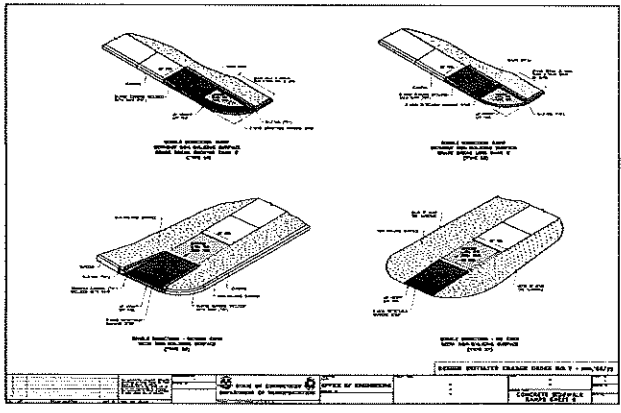
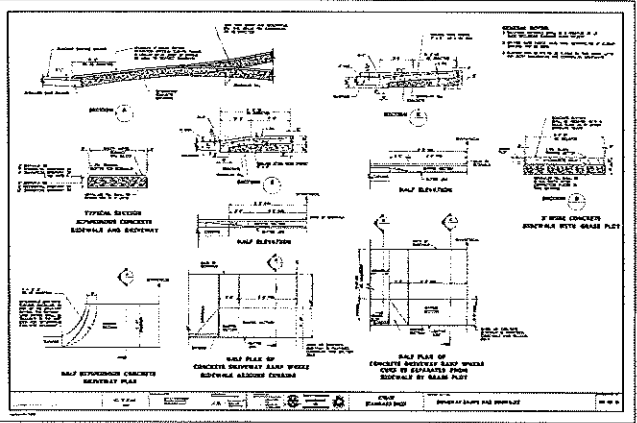
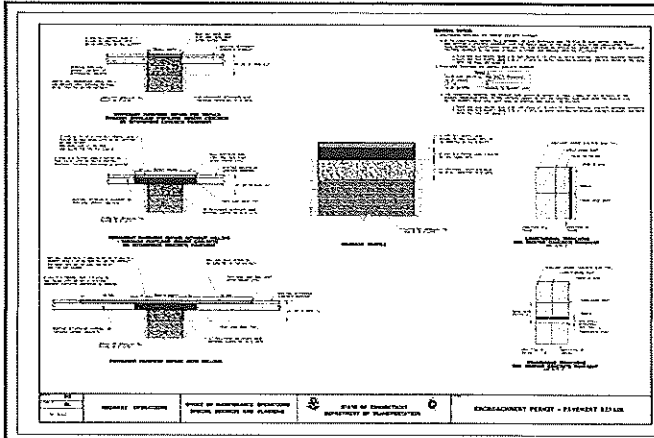
LEVEL SPREADER DETAIL
NOT TO SCALE



ELEVATOR
SANITARY MAN-OLE
NOT TO SCALE

PROJECT NO.	DATE
DESIGNER	BY
CHECKED BY	DATE
SCALE	

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WILTON'S WAY 22 UNIT CONDOMINIUM DEVELOPMENT <small>348 HAWTHORNE AVENUE, SUITE 200 WESTMINSTER, CO 80540 WESTERN GROUP, LLC</small>
SHEET NUMBER: FE24-1730 JOB DESCRIPTION: 14-22
REVISIONS: NO. DATE BY 1 12/12/10 JG
DRAWN BY: CHECKED BY: JG JG
SHEET TITLE: DETAIL SHEET
SHEET NUMBER: C-63



WILTONS WAY
 22 UNIT CONDOMINIUM DEVELOPMENT
 240 WILSON AVENUE, SUITE 200
 WESTERN GROUP, LLC

JOB NUMBER: FE23-1720
 SHEET DATE: 04/20
 DRAWN BY: BKR
 CHECKED BY: JEG
 SHEET TITLE: DETAIL SHEET CT-DOT
 SHEET NUMBER: C-64

SHEET NUMBER FOR WORK ORDER
 SCALE: 1/4" = 1'-0"
 PROJECT: 240 WILSON AVENUE, SUITE 200
 CITY: WESTON, MA
 COUNTY: WASHINGTON
 STATE: MA