

BLACK ASH ESTATES RESUBDIVISION

970 OLD COLCHESTER RD., PARCEL ID: 037-001-000

LAND NOW OR FORMERLY
PACHAUG CAPITAL, LLC.

BLACK ASH ROAD & OLD COLCHESTER ROAD
MONTVILLE, CONNECTICUT

DRAWING INDEX:

TITLE	DWG. NO.
COVER SHEET	1
PROPERTY SURVEY	2
RECORD SUBDIVISION MAP	3
OVERALL PLAN	4
SITE DEVELOPMENT PLAN	5
SITE DEVELOPMENT PLAN	6
EROSION & SEDIMENTATION CONTROL PLAN	7
SOILS, & SEPTIC DESIGN CALCULATIONS	8
NOTES & DETAILS	9
NOTES & DETAILS	10
DRIVEWAY SIGHT LINE DEMONSTRATION PLAN	11
DRIVEWAY SIGHT LINE PROFILES	12



LOCATION MAP

SCALE: 1"=1000'

LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY/HIGHWAY LINE
---	---	EASEMENT LINE
MON	■	CONCRETE MONUMENT
IP/IPN	●	IRON PIPE/PIN
DH	○	DRILL HOLE
---	---	STONEWALL
BA	---	WETLANDS/FLAG NO.
---	---	WETLAND REGULATED AREA
---	---	MARSH
---	---	STREAM
---	---	TREE
---	---	TREELINE
---	---	SOIL BOUNDARY/CLASSIFICATION
---	---	CONTOUR
---	---	SPOT ELEVATION
---	---	SIGN
---	---	FENCE
---	---	FENCE POST
---	---	UTILITY POLE/GUY
---	---	STORM SEWER/CATCH BASIN
---	---	WELL
---	---	SILT FENCE / STAKED HAYBALES
---	---	DEEP TEST PIT LOCATION
---	---	PERCOLATION TEST LOCATION
---	---	EXISTING GROUND SLOPE OF 20% OR GREATER

ATTORNEY:

HARRY B. HELLER, ESQ.
HELLER, HELLER & MCCOY
736 NORWICH-NEW LONDON TURNPIKE
UNCASVILLE, CT 06382

APPLICANT:

PACHAUG CAPITAL, LLC.
MR. ZACHARY WOOD, MEMBER
P.O. BOX 525
JEWETT CITY, CT 06351

PROPERTY OWNER:

PACHAUG CAPITAL, LLC.
MR. ZACHARY WOOD, MEMBER
P.O. BOX 525
JEWETT CITY, CT 06351

DRAWING REVISION LOG

DATE	DRAWING NO.	REVISION NO.	DESCRIPTION	BY
5/28/24		1	TOWN COMMENTS - BY ENGINEERING, PUBLIC WORKS, PLANNING & HEALTH DEPT.	KR/WJW

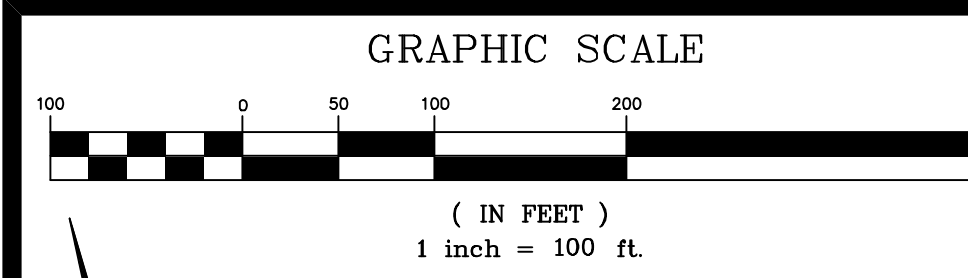
NOTES:
INLAND WETLANDS PERMIT #208WC18 ORIGINALLY APPROVED BY MONTVILLE INLAND WETLANDS AND WATERCOURSES COMMISSION ON 12/18/08.
INLAND WETLANDS PERMIT #208WC18 TRANSFERRED TO PACHAUG CAPITAL LLC BY MONTVILLE INLAND WETLANDS AND WATERCOURSES COMMISSION ON 4/18/24
A LETTER OF DETERMINATION RELATIVE TO ONSITE SUBSURFACE SEPTIC SYSTEMS FOR ALL LOTS WAS ISSUED BY THE UNCAS HEALTH DISTRICT ON XX/XX/XX.
PASSIVE SOLAR ENERGY TECHNIQUES AS PRESCRIBED BY LAW HAVE BEEN CONSIDERED IN DEVELOPMENT OF THIS PLAN.

APPROVED BY THE MONTVILLE PLANNING & ZONING COMMISSION ON _____
BY: _____
CHAIRMAN, VICE CHAIRMAN, SECRETARY
DATE: _____
PER C.G.S. SECTION 8-28C, AS MAY BE AMENDED, ALL WORK IN CONJUNCTION WITH THE APPROVED SUBDIVISION SHALL BE COMPLETED WITHIN FIVE (5) YEARS ON OR BEFORE _____
APPROVAL OF THIS SUBDIVISION PLAN BY THE COMMISSION SHALL MEAN CERTIFICATION OF THE EROSION AND SEDIMENT CONTROL PLAN.



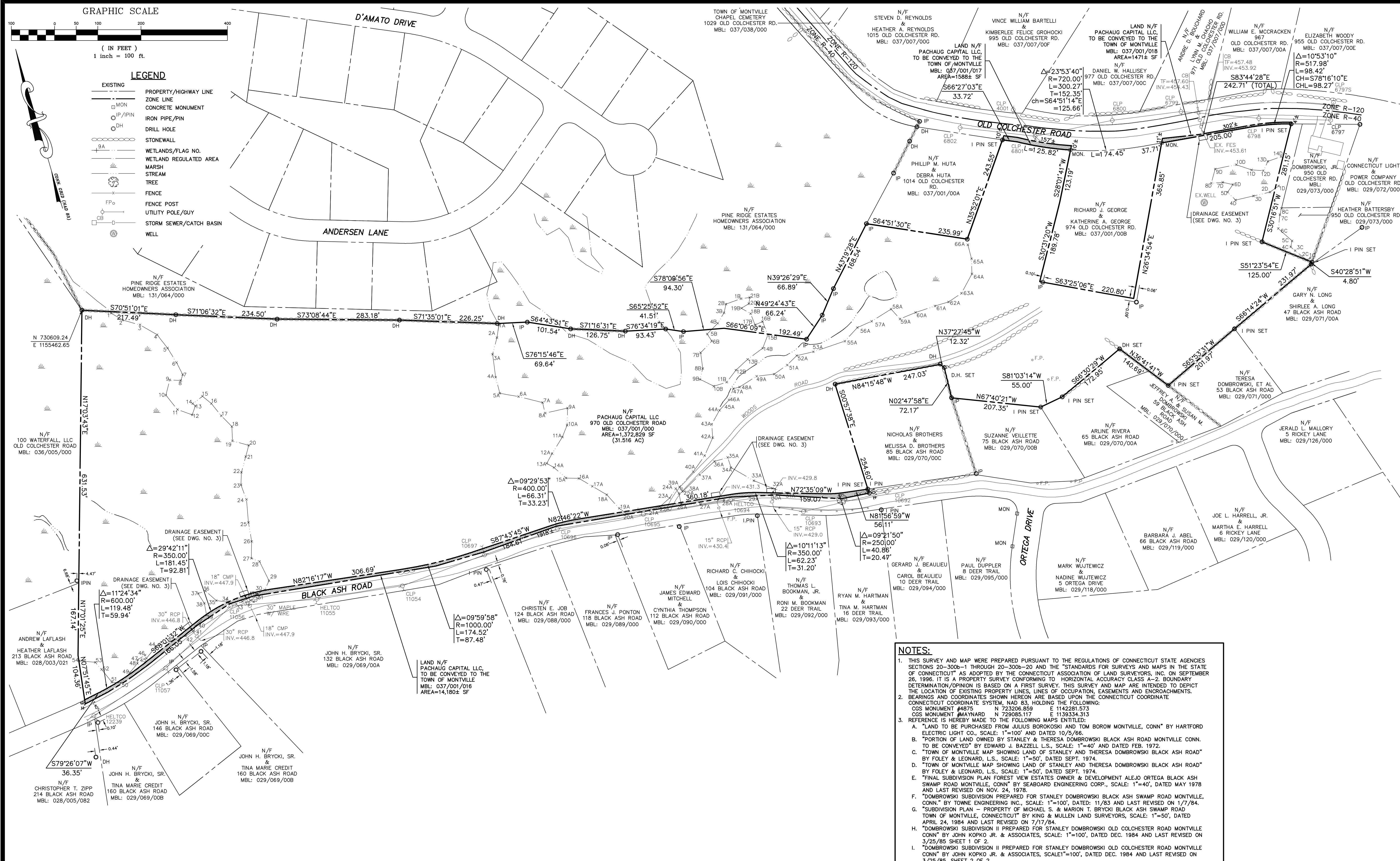
BENNETT & SMILAS ASSOCIATES, INC.
415 KILLINGWORTH ROAD, P.O. BOX 241
HIGGANUM, CONNECTICUT 06441
(860) 345-4553 FAX (860) 345-3858

WENTWORTH CIVIL ENGINEERS LLC
177 WEST TOWN ST.
LEBANON, CT 06249
TEL. (860) 642-7255
FAX (860) 642-4794
web: wentworthcivil.com



LEGEND

EXISTING	PROPERTY/HIGHWAY LINE
---	ZONE LINE
▣	CONCRETE MONUMENT
○	IRON PIPE/PIN
○	DRILL HOLE
---	STONEWALL
9A	WETLANDS/FLAG NO.
---	WETLAND REGULATED AREA
---	MARSH
---	STREAM
---	TREE
---	FENCE
FP	FENCE POST
---	UTILITY POLE/GUY
---	STORM SEWER/CATCH BASIN
---	WELL



NOTES:

- THIS SURVEY AND MAP WERE PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. IT IS A PROPERTY SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2. BOUNDARY DETERMINATION/OPINION IS BASED ON A FIRST SURVEY. THIS SURVEY AND MAP ARE INTENDED TO DEPICT THE LOCATION OF EXISTING PROPERTY LINES, LINES OF OCCUPATION, EASEMENTS AND ENCROACHMENTS.
- BEARINGS AND COORDINATES SHOWN HEREON ARE BASED UPON THE CONNECTICUT COORDINATE SYSTEM, NAD 83, HOLDING THE FOLLOWING: CCS MONUMENT #4875 N 723208.59 E 1142281.573 CCS MONUMENT #MAYNARD N 729085.117 E 1139334.313
- REFERENCE IS HEREBY MADE TO THE FOLLOWING MAPS ENTITLED:
 - "LAND TO BE PURCHASED FROM JULIUS BORKOSKI AND TOM BOROW MONTVILLE, CONN" BY HARTFORD ELECTRIC LIGHT CO., SCALE: 1"=100' AND DATED 10/5/66.
 - "PORTION OF LAND OWNED BY STANLEY & THERESA DOMBROWSKI BLACK ASH ROAD MONTVILLE CONN. TO BE CONVEYED" BY EDWARD J. BAZZELL L.S., SCALE: 1"=40' AND DATED FEB. 1972.
 - "TOWN OF MONTVILLE MAP SHOWING LAND OF STANLEY AND THERESA DOMBROWSKI BLACK ASH ROAD" BY FOLEY & LEONARD, L.S., SCALE: 1"=50', DATED SEPT. 1974.
 - "TOWN OF MONTVILLE MAP SHOWING LAND OF STANLEY AND THERESA DOMBROWSKI BLACK ASH ROAD" BY FOLEY & LEONARD, L.S., SCALE: 1"=50', DATED SEPT. 1974.
 - "FINAL SUBDIVISION PLAN FOREST VIEW ESTATES OWNER & DEVELOPMENT ALEJO ORTEGA BLACK ASH SWAMP ROAD MONTVILLE, CONN" BY SEABOARD ENGINEERING CORP., SCALE: 1"=40', DATED MAY 1978 AND LAST REVISED ON NOV. 24, 1978.
 - "DOMBROWSKI SUBDIVISION PREPARED FOR STANLEY DOMBROWSKI BLACK ASH SWAMP ROAD MONTVILLE, CONN." BY TOWNE ENGINEERING INC., SCALE: 1"=100', DATED: 11/83 AND LAST REVISED ON 1/7/84.
 - "SUBDIVISION PLAN - PROPERTY OF MICHAEL S. & MARION T. BRYCKI BLACK ASH SWAMP ROAD TOWN OF MONTVILLE, CONNECTICUT" BY KING & MULLEN LAND SURVEYORS, SCALE: 1"=50', DATED APRIL 24, 1984 AND LAST REVISED ON 7/17/84.
 - "DOMBROWSKI SUBDIVISION II PREPARED FOR STANLEY DOMBROWSKI OLD COLCHESTER ROAD MONTVILLE CONN" BY JOHN KOPKO JR. & ASSOCIATES, SCALE: 1"=100', DATED DEC. 1984 AND LAST REVISED ON 3/25/85 SHEET 1 OF 2.
 - "DOMBROWSKI SUBDIVISION II PREPARED FOR STANLEY DOMBROWSKI OLD COLCHESTER ROAD MONTVILLE CONN" BY JOHN KOPKO JR. & ASSOCIATES, SCALE: 1"=100', DATED DEC. 1984 AND LAST REVISED ON 3/25/85, SHEET 2 OF 2.
 - "FINAL SUBDIVISION PLAN ROBIN HILL ESTATES BLACK ASH SWAMP ROAD DAKDALE, CONNECTICUT PREPARED FOR OWNER/DEVELOPER DIOLINDA & ALEJO ORTEGA" BY JOHN KOPKO JR. & ASSOCIATES, INC., SCALE: 1"=40', DATED: JAN. 90 AND LAST REVISED ON JULY 1990.
 - "RE-SUBDIVISION OF LAND OF STANLEY DOMBROWSKI JR. BOUNDARY PLAN OLD COLCHESTER ROAD MONTVILLE, CT" BY BRIAN E. SITTY LAND SURVEYOR, SCALE: 1"=100', DATED: SEPTEMBER, 1995 AND LAST REVISED ON 11/2/05.
- THIS PARCEL IS ZONED R-40, SETBACKS ARE : FRONT 40', SIDE 15' AND REAR 40'.
- INLAND WETLANDS LIMITS SHOWN HEREON DELINEATED BY MICHAEL SCHAEFER, SOIL SCIENTIST AND LOCATED IN THE FIELD BY BENNETT & SMILAS ASSOCIATES, INC. IN DECEMBER 2004.
- THE LOCATION OF UNDERGROUND UTILITIES DEPICTED HEREON ARE BASED ON FIELD LOCATIONS, MAPPING, INFORMATION PROVIDED BY OTHERS AND OTHER SOURCES. THEIR TRUE LOCATION MAY VARY FROM THOSE INDICATED AND ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN. IF APPLICABLE, UTILIZE THE "CALL BEFORE YOU DIG" NUMBER (1-800-922-4455) TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES.
- THIS PARCEL IS LOCATED WITHIN FLOOD ZONE C AS REFERENCED FROM THE FLOOD INSURANCE RATE MAP, TOWN OF MONTVILLE, CONNECTICUT NEW LONDON COUNTY COMMUNITY PANEL NUMBER 090099 0010 B, EFFECTIVE DATE: JULY 2, 1980. FLOOD ZONE C IS DESCRIBED AS AN AREA OF MINIMAL FLOODING.
- THE PROPERTY IS NOT LOCATED WITHIN A PUBLIC WATER SUPPLY WATERSHED (RE: "ATLAS OF THE PUBLIC WATER SUPPLY SOURCES & DRAINAGE BASINS OF CONNECTICUT" JUNE 1982 BY THE STATE OF CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION NATURAL RESOURCES CENTER D.E.P. BULLETIN NO. 4).

"I INSPECTED THE INLAND WETLAND AND WATERCOURSE BOUNDARY ON THIS PROPERTY. I AM OF THE OPINION THAT THE WETLAND BOUNDARY WHICH WAS MARKED ON DECEMBER 2004 BY MICHAEL SCHAEFER, CPSS IS SHOWN CORRECTLY ON THIS MAP"

JOSEPH R. THEROUX, CPSS

NO.	DATE	TOWN REVIEW COMMENTS	KJR
1	05/28/24	TOWN REVIEW COMMENTS	KJR

BENNETT & SMILAS ASSOCIATES, INC.
 415 KILLINGWORTH ROAD, P.O. BOX 241
 HIGGANUM, CONNECTICUT 06441
 PHONE (860) 346-4663 FAX (860) 346-9868

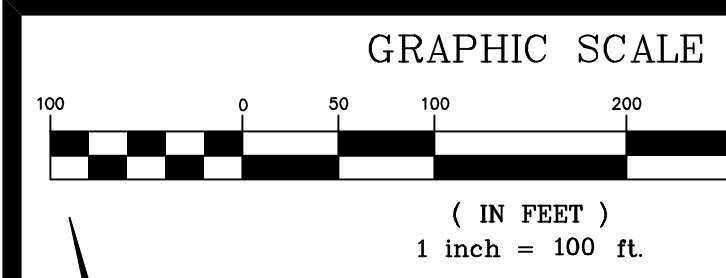
TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Michael J. Bennett
 MICHAEL J. BENNETT R.L.S. #10831

PROPERTY SURVEY
 LAND NOW OR FORMERLY OF
 PACHAUG CAPITAL LLC
 BLACK ASH ROAD & OLD COLCHESTER ROAD
 MONTVILLE, CONNECTICUT

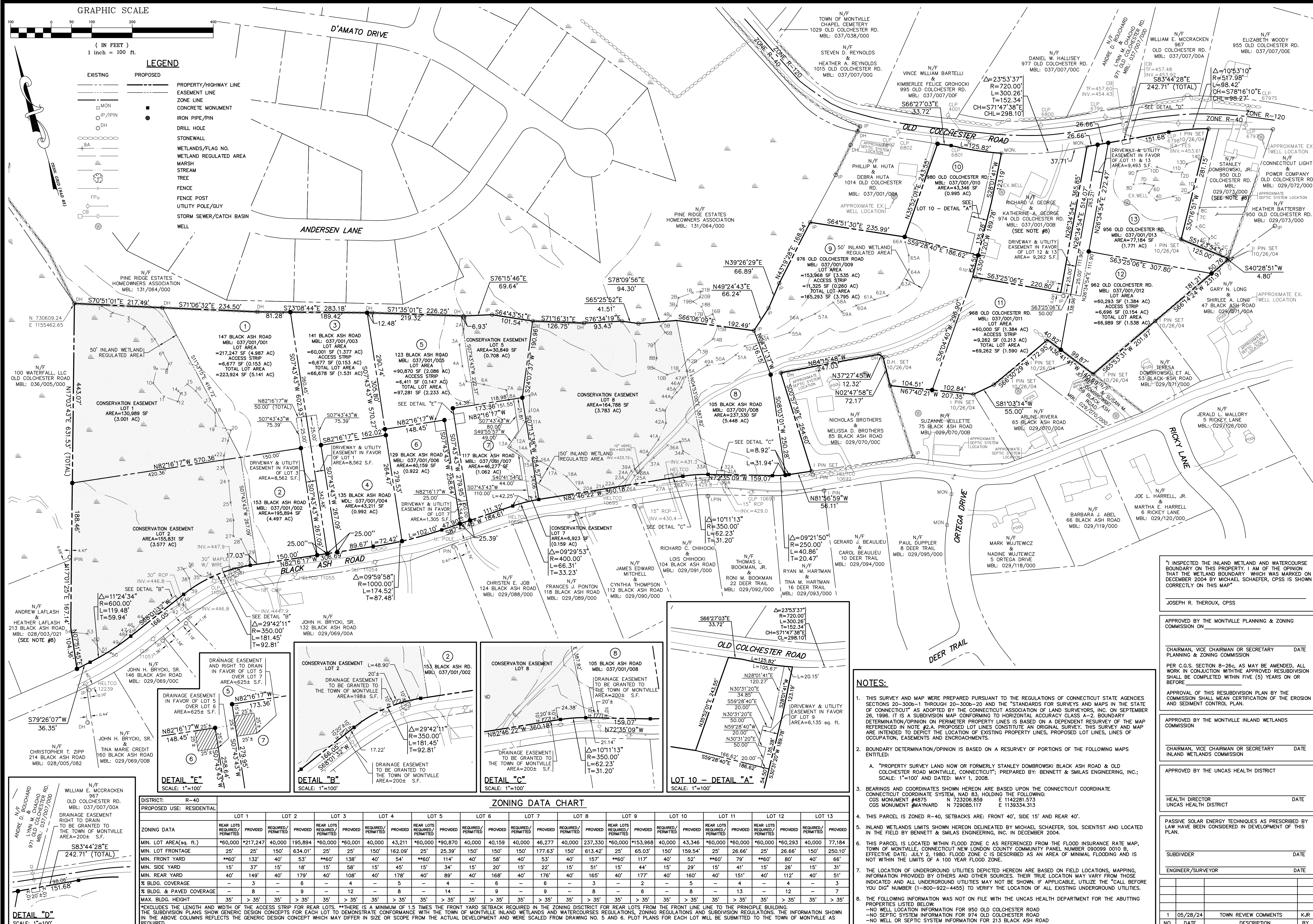
TITLE:
 DATE: AUGUST 22, 2023
 SCALE: 1"=100'
 SHEET: 2 OF 12
 DWG. NO.: 2

E:\BSE_PROJECTS\MONTVILLE\ANDERSEN - BLACK ASH ESTATES\DWG\BLACK ASH_PIN_REV.DWG

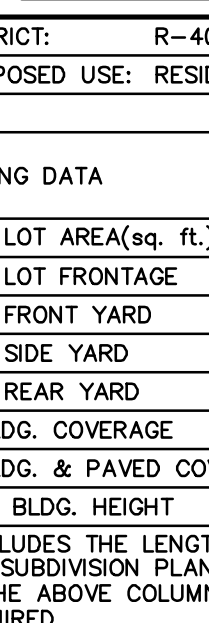


LEGEND

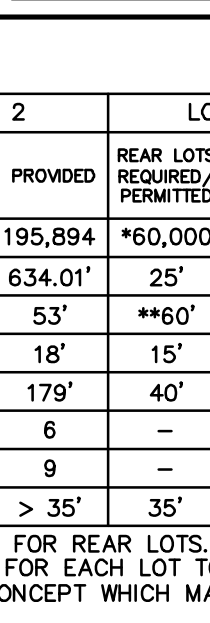
- | EXISTING | PROPOSED | PROPERTY/HIGHWAY LINE |
|----------|----------|-------------------------|
| --- | --- | --- |
| --- | --- | EASEMENT LINE |
| --- | --- | ZONE LINE |
| --- | --- | CONCRETE MONUMENT |
| --- | --- | IRON PIPE/PIN |
| --- | --- | DRILL HOLE |
| --- | --- | STONEWALL |
| --- | --- | WETLANDS/FLAG NO. |
| --- | --- | WETLAND REGULATED AREA |
| --- | --- | MARSH |
| --- | --- | STREAM |
| --- | --- | TREE |
| --- | --- | FENCE |
| --- | --- | FENCE POST |
| --- | --- | UTILITY POLE/GUY |
| --- | --- | STORM SEWER/CATCH BASIN |
| --- | --- | WELL |



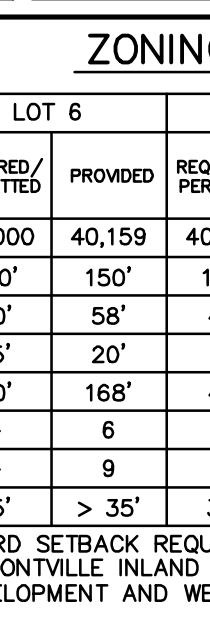
DETAIL "A"
SCALE: 1"=100'



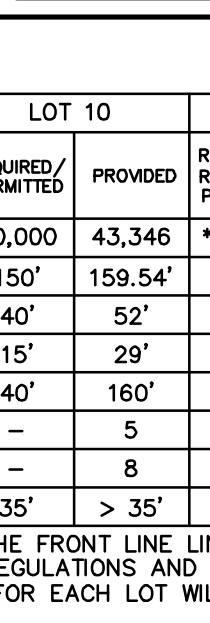
DETAIL "B"
SCALE: 1"=100'



DETAIL "C"
SCALE: 1"=100'



LOT 10 - DETAIL "A"
SCALE: 1"=100'



ZONING DATA CHART

DISTRICT:	R-40																									
PROPOSED USE:	RESIDENTIAL																									
ZONING DATA	REAR LOTS PERMITTED	PROVIDED	REQUIRED/PERMITTED	PROVIDED	REAR LOTS PERMITTED	PROVIDED	REQUIRED/PERMITTED	PROVIDED	REAR LOTS PERMITTED	PROVIDED	REQUIRED/PERMITTED	PROVIDED	REAR LOTS PERMITTED	PROVIDED	REQUIRED/PERMITTED	PROVIDED	REAR LOTS PERMITTED	PROVIDED	REQUIRED/PERMITTED	PROVIDED	REAR LOTS PERMITTED	PROVIDED	REQUIRED/PERMITTED	PROVIDED		
MIN. LOT AREA(sq. ft.)	*60,000	*217,247	40,000	195,894	*60,000	*60,000	43,211	*60,000	*90,870	40,000	40,159	40,000	46,277	40,000	237,330	*60,000	*153,968	40,000	43,346	*60,000	*60,293	40,000	77,184			
MIN. LOT FRONTAGE	25'	25'	150'	634.01'	25'	25'	150'	162.09'	25'	25.39'	150'	150'	177.63'	150'	613.42'	25'	65.03'	150'	159.54'	25'	26.66'	25'	26.66'	150'	250.10'	
MIN. FRONT YARD	**60'	132'	40'	53'	**60'	138'	40'	54'	**60'	114'	40'	58'	40'	53'	40'	157'	**60'	117'	40'	52'	**60'	79'	**60'	80'	40'	66'
MIN. SIDE YARD	15'	37'	15'	18'	15'	58'	15'	45'	15'	34'	15'	20'	15'	22'	15'	51'	15'	44'	15'	29'	15'	41'	15'	26'	15'	31'
MIN. REAR YARD	40'	149'	40'	179'	40'	108'	40'	178'	40'	89'	40'	168'	40'	176'	40'	165'	40'	177'	40'	160'	40'	151'	40'	112'	40'	51'
% BLDG. COVERAGE	-	3	-	6	-	4	-	5	-	4	-	6	-	6	-	3	-	2	-	5	-	4	-	4	-	7
% BLDG. & PAVED COVERAGE	-	8	-	9	-	12	-	8	-	14	-	9	-	9	-	8	-	6	-	8	-	13	-	12	-	3
MAX. BLDG. HEIGHT	35'	> 35'	35'	> 35'	35'	> 35'	35'	> 35'	35'	> 35'	35'	> 35'	35'	> 35'	35'	> 35'	35'	> 35'	35'	> 35'	35'	> 35'	35'	> 35'	35'	> 35'

*EXCLUDES THE LENGTH AND WIDTH OF THE ACCESS STRIP FOR REAR LOTS. **THERE IS A MINIMUM OF 1.5 TIMES THE FRONT YARD SETBACK REQUIRED IN THE ZONING DISTRICT FOR REAR LOTS FROM THE FRONT LINE TO THE PRINCIPLE BUILDING. THE SUBDIVISION PLANS SHOW GENERIC DESIGN CONCEPTS FOR EACH LOT TO DEMONSTRATE CONFORMANCE WITH THE TOWN OF MONTVILLE INLAND WETLANDS AND WATERCOURSES REGULATIONS, ZONING REGULATIONS AND SUBDIVISION REGULATIONS. THE INFORMATION SHOWN IN THE ABOVE COLUMNS REFLECTS THE GENERIC DESIGN CONCEPT WHICH MAY DIFFER IN SIZE OR SCOPE FROM THE ACTUAL DEVELOPMENT AND WERE SCALED FROM DRAWING NO. 5 AND 6. PLOT PLANS FOR EACH LOT WILL BE SUBMITTED TO THE TOWN OF MONTVILLE AS REQUIRED.

"I INSPECTED THE INLAND WETLAND AND WATERCOURSE BOUNDARY ON THIS PROPERTY. I AM OF THE OPINION THAT THE WETLAND BOUNDARY WHICH WAS MARKED ON DECEMBER 2004 BY MICHAEL SCHAEFER, CPSS IS SHOWN CORRECTLY ON THIS MAP"

JOSEPH R. THEROUX, CPSS

APPROVED BY THE MONTVILLE PLANNING & ZONING COMMISSION ON _____

CHAIRMAN, VICE CHAIRMAN OR SECRETARY DATE PLANNING & ZONING COMMISSION

PER C.G.S. SECTION 8-26c, AS MAY BE AMENDED, ALL WORK IN CONNECTION WITH THE APPROVED RESUBDIVISION SHALL BE COMPLETED WITHIN FIVE (5) YEARS OR BEFORE

APPROVAL OF THIS RESUBDIVISION PLAN BY THE COMMISSION SHALL MEAN CERTIFICATION OF THE EROSION AND SEDIMENT CONTROL PLAN.

APPROVED BY THE MONTVILLE INLAND WETLANDS COMMISSION

CHAIRMAN, VICE CHAIRMAN OR SECRETARY DATE INLAND WETLANDS COMMISSION

APPROVED BY THE UNCAS HEALTH DISTRICT

HEALTH DIRECTOR DATE UNCAS HEALTH DISTRICT

PASSIVE SOLAR ENERGY TECHNIQUES AS PRESCRIBED BY LAW HAVE BEEN CONSIDERED IN DEVELOPMENT OF THIS PLAN.

SUBDIVIDER DATE

ENGINEER/SURVEYOR DATE

1	05/28/24	TOWN REVIEW COMMENTS	KJR
NO.	DATE	DESCRIPTION	BY

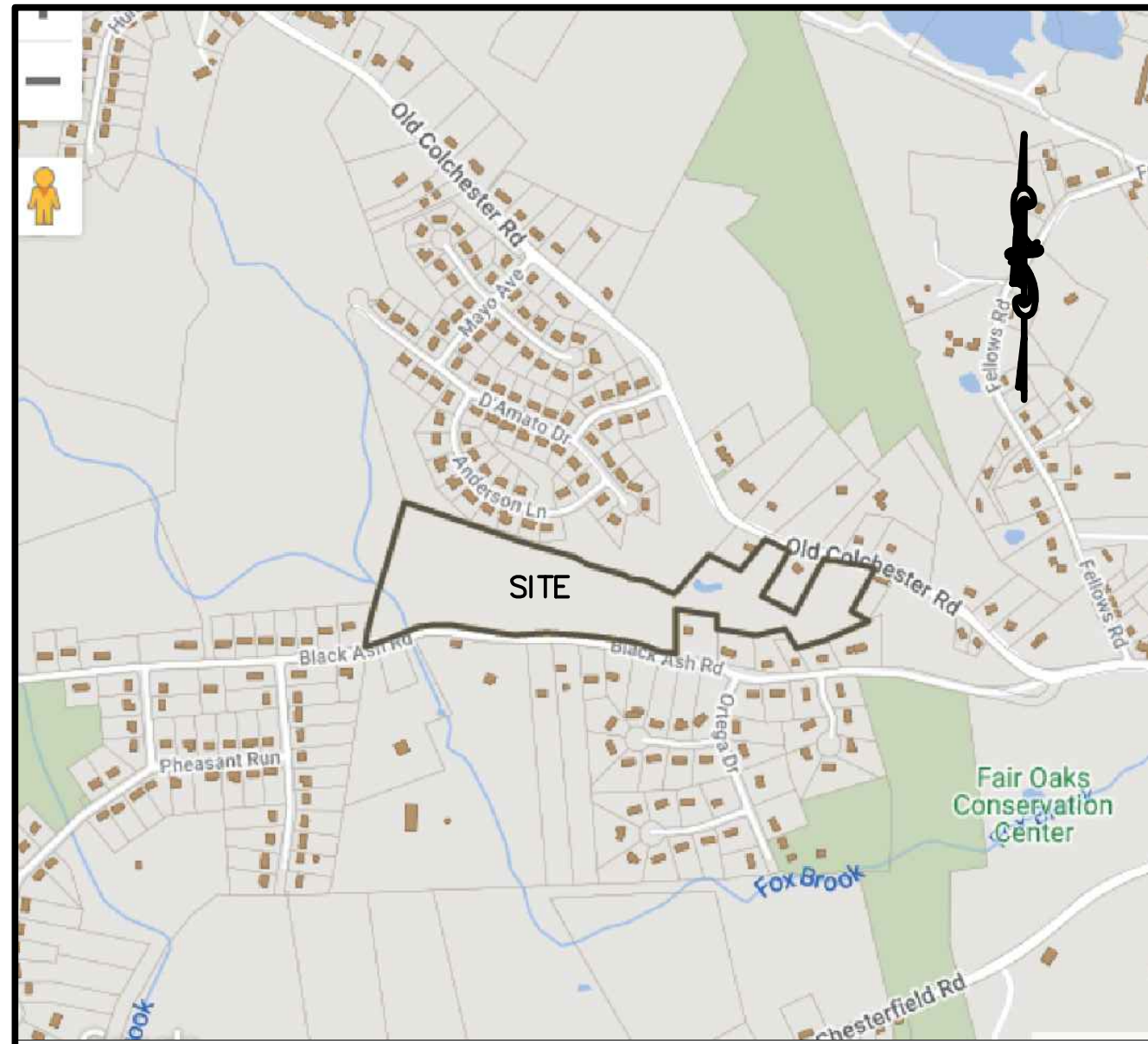
DATE: AUGUST 22, 2023
SCALE: 1"=100'
SHEET: 3 OF 12
DWG. NO.: 3

BENNETT & SMILAS ASSOCIATES, INC.
415 KILLINGWORTH ROAD, P.O. BOX 241
HIGGANUM, CONNECTICUT 06441
PHONE (860) 346-4655 FAX (860) 346-8868

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

Michael J. Bennett
MICHAEL J. BENNETT
R.L.S. #10831

RECORD RESUBDIVISION MAP
LAND NOW OR FORMERLY OF
PACHAUG CAPITAL LLC
BLACK ASH ROAD & OLD COLCHESTER ROAD
MONTVILLE, CONNECTICUT



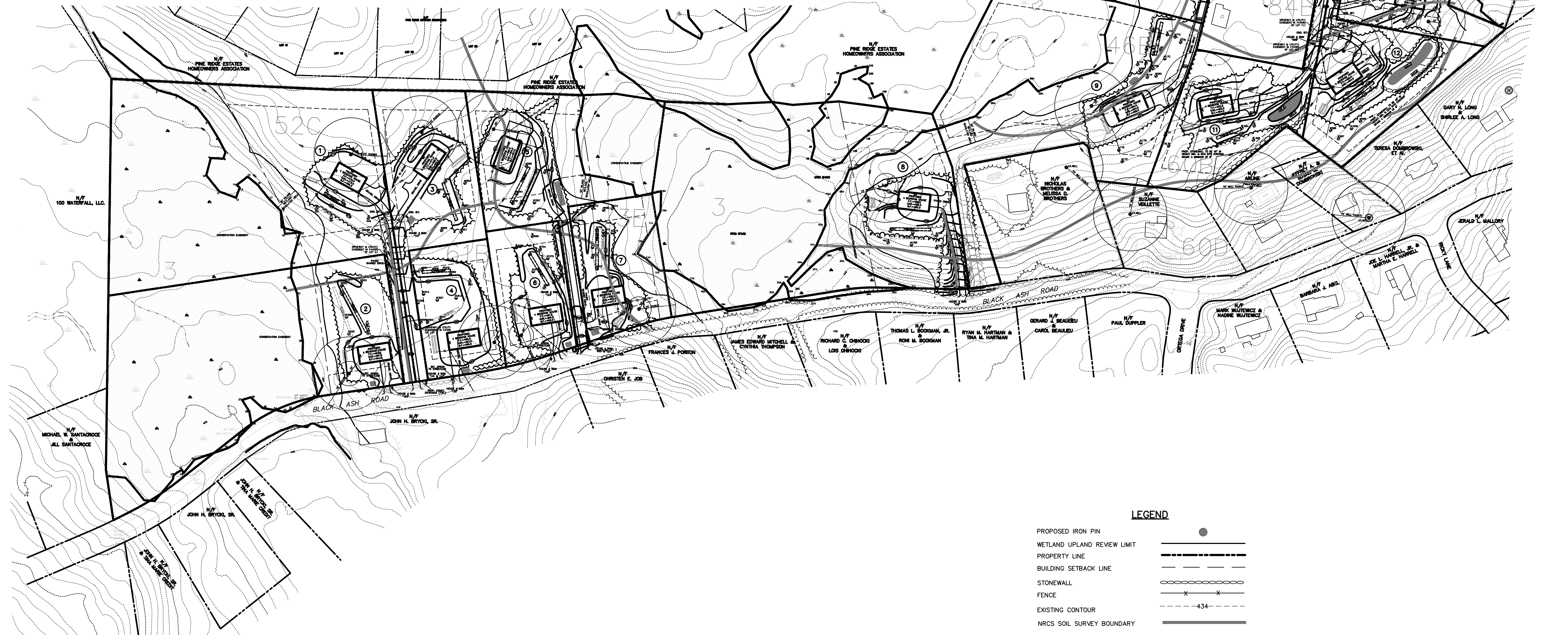
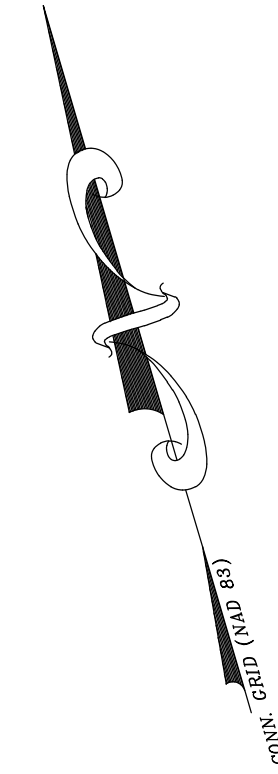
KEY MAP

SCALE : 1"=1000'

LOT AREAS		
LOT NUMBER	AREA (SQUARE FEET)	AREA (ACRES)
1	223,924	5.141
2	195,894	4.497
3	66,678	1.531
4	43,211	0.992
5	97,281	2.233
6	40,159	0.922
7	46,277	1.062
8	237,330	5.448
9	165,293	3.795
10	43,346	0.995
11	69,262	1.590
12	66,989	1.538
13	77,184	1.771
TOTAL AREA	1,372,829	31.516

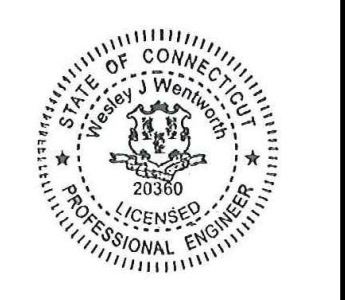
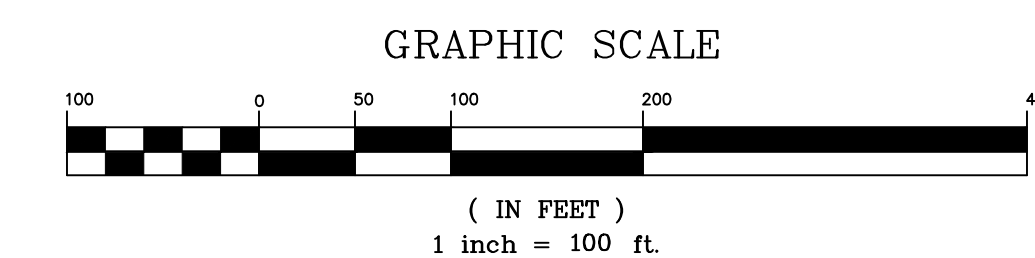
NRCS SOILS LEGEND

- 3 Ridgebury, Leicester, and Whitman soils – extremely stony
- 46B Woodbridge fine sandy loam, 0 to 8 percent slopes, very stony
- 52C Sutton fine sandy loam, 2 to 15 percent slopes, extremely stony
- 60B Canton and Charlton fine sandy loams, 3 to 8 percent slopes
- 60D Canton and Charlton fine sandy loams, 15 to 25 percent slopes
- 61B Canton and Charlton fine sandy loams, 0 to 8 percent slopes very stony
- 84B Paxton and Montauk fine sandy loams, 3 to 8 percent slopes



LEGEND

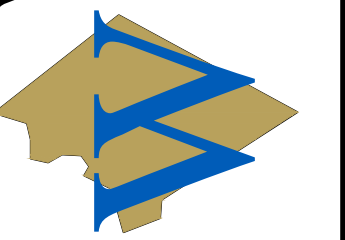
- PROPOSED IRON PIN
- WETLAND UPLAND REVIEW LIMIT
- PROPERTY LINE
- BUILDING SETBACK LINE
- STONEWALL
- FENCE
- EXISTING CONTOUR
- NRCS SOIL SURVEY BOUNDARY



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

WESLEY J. WENTWORTH
P.E. # 20360

WENTWORTH CIVIL ENGINEERS LLC
177 WEST TOWN ST.
LEBANON, CT 06249
TEL: (860) 642-7255
FAX: (860) 642-4794
web: wentworthcivil.com



OVERALL PLAN
BLACK ASH ESTATES RESUBDIVISION
PREPARED FOR
PACHAUG CAPITAL, LLC
BLACK ASH ROAD & OLD COLCHESTER ROAD
MONTVILLE, CONNECTICUT

REV. 5/28/24 TOWN COMMENTS

DATE: 8-22-23
SCALE: 1"=100'
SHEET 4 OF 12
MAP NO. 23-024-10A

LOT AREAS		
LOT NUMBER	AREA (SQUARE FEET)	AREA (ACRES)
1	223,924	5.141
2	195,894	4.497
3	66,678	1.531
4	43,211	0.992
5	97,281	2.233
6	40,159	0.922
7	46,277	1.062



CLEARING LIMITS ON ALL LOTS SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR PRIOR TO THE START OF WORK FOR INDIVIDUAL LOT DEVELOPMENT.

NOTE: NO FREE DRAINING MATERIAL IS TO BE USED IN BACKFILLING UNDERGROUND UTILITIES WITHIN 25' OF WELLS OR THE UP SLOPE / SIDES OR 50' DOWN SLOPE OF THE PROPOSED SEPTIC SYSTEMS.

NOTE: ROOF & FOUNDATION DRAIN EXIT LINE PIPES ARE TO BE TIGHTPIPE WITHIN 25' OF THE PROPOSED SEPTIC SYSTEMS

NOTE: THE ZONING & SUBDIVISION REGULATIONS OF THE TOWN OF MONTVILLE ARE A PART OF THIS PLAN AND APPROVAL OF THIS PLAN IS CONTINGENT ON THE COMPLIANCE WITH ALL REQUIREMENTS OF THE SAID ZONING AND SUBDIVISION REGULATIONS

WARNING THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES - CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS BEFORE YOU DIG.

PROPOSED GRAVEL DRIVEWAYS HAVE A MAXIMUM GRADE OF 10% AS SHOWN. DRIVEWAYS ARE TO BE CONSTRUCTED IN CONFORMANCE WITH TOWN DRIVEWAY STANDARDS.

ALL COMMON DRIVEWAYS SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH SECTION 130D (COMMON DRIVEWAYS) PER THE 2018 TOWN OF MONTVILLE ROAD STANDARDS AND IMPROVEMENT DETAILS.

PASSIVE SOLAR ENERGY TECHNIQUES AS PRESCRIBED BY LAW HAVE BEEN CONSIDERED IN DEVELOPMENT OF THIS PLAN.

WETLANDS PLACARDS SHALL BE PLACED BY A LICENSED LAND SURVEYOR AT THE 50' URA ON EACH LOT.

NO ACTIVITIES SHALL COMMENCE WITHIN REGULATED UPLANDS / WETLANDS AREAS WITHOUT PRIOR APPROVAL OF THE MONTVILLE INLAND WETLANDS COMMISSION.

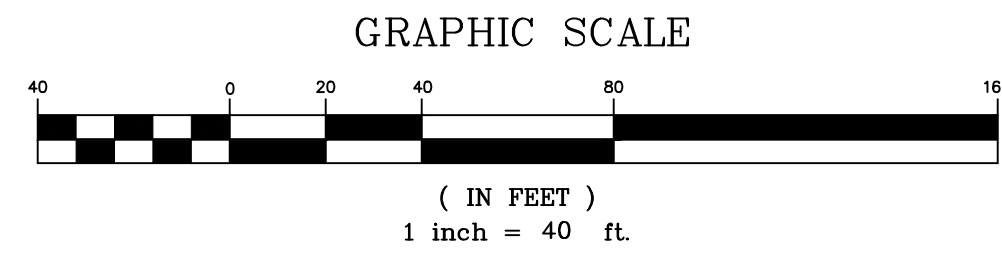
ALL IMPROVEMENTS SHOWN HERIN ARE CONCEPTUAL AND DEVELOPMENT OF INDIVIDUAL LOTS REQUIRE INDIVIDUAL SITE PLANS PREPARED BY A LICENSED LAND SURVEYOR AND/OR PROFESSIONAL ENGINEER.

ALL UTILITY CONNECTIONS CROSSING OLD COLCHESTER ROAD AND BLACK ASH ROAD WILL BE OVERHEAD.

LOTS 2, 4, 6, 7 & 10 WILL REQUIRE SUMP PUMPS FOR BASEMENTS.

THE FOLLOWING INFORMATION WAS NOT ON FILE WITH THE UNCAS HEALTH DEPARTMENT FOR THE ABUTTING PROPERTIES LISTED BELOW:

-NO WELL LOCATION INFORMATION FOR 950 OLD COLCHESTER ROAD
 -NO SEPTIC SYSTEM INFORMATION FOR 974 OLD COLCHESTER ROAD
 -NO WELL OR SEPTIC SYSTEM INFORMATION FOR 213 BLACK ASH ROAD



LEGEND

PROPOSED IRON PIN	●
WETLAND UPLAND REVIEW LIMIT	—
PROPERTY LINE	—
BUILDING SETBACK LINE	—
STONEWALL	—
FENCE	—
EXISTING CONTOUR	—
PROPOSED CONTOUR	—
EXISTING SPOT ELEVATION	434
PROPOSED LIMIT OF CLEARING	434X2
PROP. UTILITIES	—



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

WESLEY J. WENTWORTH
 P.E. # 20360

WENTWORTH CIVIL ENGINEERS LLC
 177 WEST TOWN ST.
 LEBANON, CT 06249
 TEL. (860) 642-7255
 FAX (860) 642-4794
 web: wentworthcivil.com

BLACK ASH ESTATES RESUBDIVISION
 PREPARED FOR
PACHAUG CAPITAL, LLC
 BLACK ASH ROAD & OLD COLCHESTER ROAD
 MONTVILLE, CONNECTICUT

REV. 5/28/24 TOWN COMMENTS

DATE: 8-22-23
 SCALE: 1"=40'
 SHEET 5 OF 12
 MAP NO. 23-024-1T

CLEARING LIMITS ON ALL LOTS SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR PRIOR TO THE START OF WORK FOR INDIVIDUAL LOT DEVELOPMENT.

NOTE: NO FREE DRAINING MATERIAL IS TO BE USED IN BACKFILLING UNDERGROUND UTILITIES WITHIN 25' OF WELLS OR THE UP SLOPE / SIDES OR 50' DOWN SLOPE OF THE PROPOSED SEPTIC SYSTEMS.

NOTE: ROOF & FOUNDATION DRAIN EXIT LINE PIPES ARE TO BE TIGHTPIPE WITHIN 25' OF THE PROPOSED SEPTIC SYSTEMS

NOTE: THE ZONING & SUBDIVISION REGULATIONS OF THE TOWN OF MONTVILLE ARE A PART OF THIS PLAN AND APPROVAL OF THIS PLAN IS CONTINGENT ON THE COMPLIANCE WITH ALL REQUIREMENTS OF THE SAID ZONING AND SUBDIVISION REGULATIONS

WARNING THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES - CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS BEFORE YOU DIG.

PROPOSED GRAVEL DRIVEWAYS HAVE A MAXIMUM GRADE OF 10% AS SHOWN. DRIVEWAYS ARE TO BE CONSTRUCTED IN CONFORMANCE WITH TOWN DRIVEWAY STANDARDS.

ALL COMMON DRIVEWAYS SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH SECTION 130D (COMMON DRIVEWAYS) PER THE 2018 TOWN OF MONTVILLE ROAD STANDARDS AND IMPROVEMENT DETAILS.

PASSIVE SOLAR ENERGY TECHNIQUES AS PRESCRIBED BY LAW HAVE BEEN CONSIDERED IN DEVELOPMENT OF THIS PLAN.

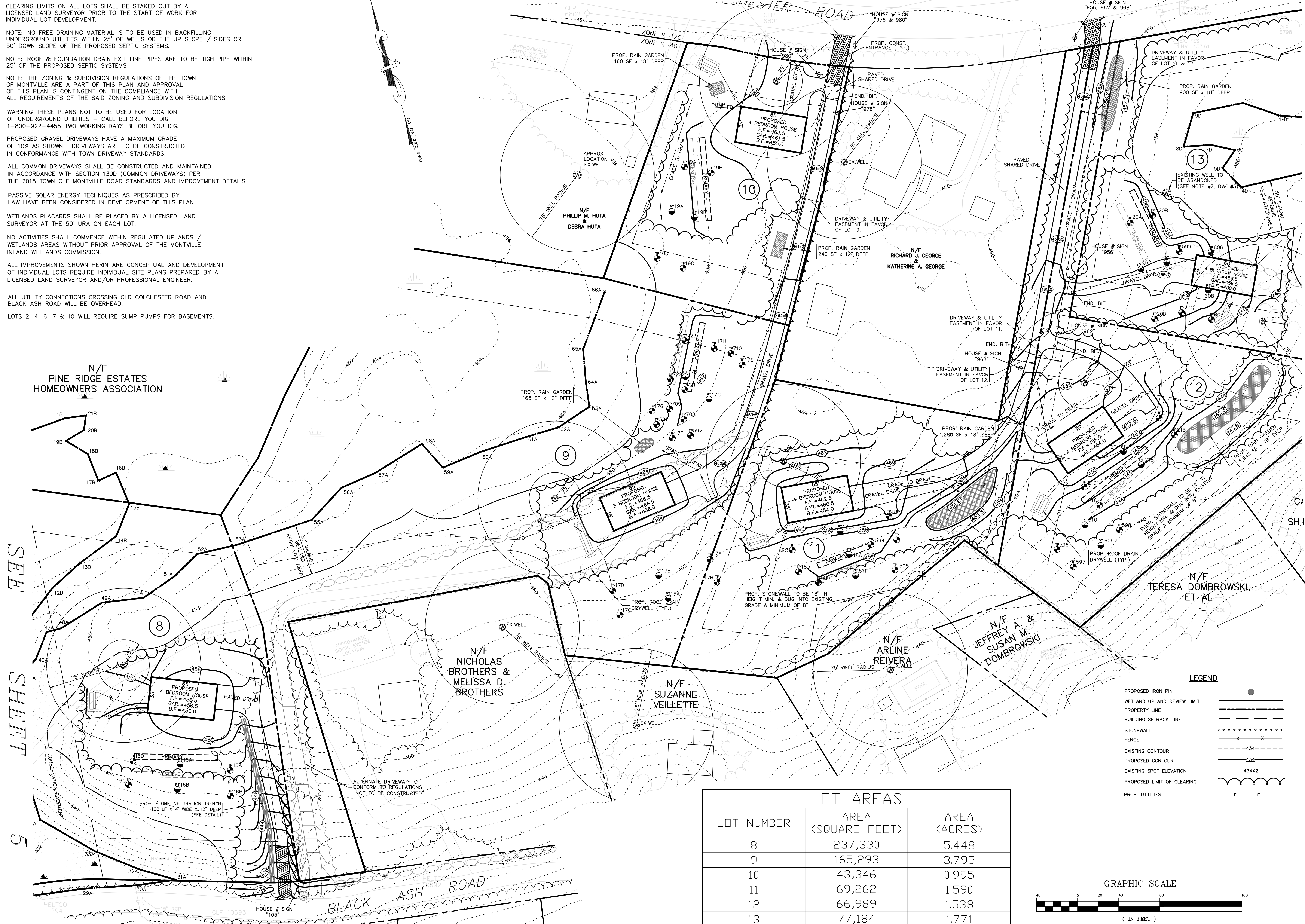
WETLANDS PLACARDS SHALL BE PLACED BY A LICENSED LAND SURVEYOR AT THE 50' URA ON EACH LOT.

NO ACTIVITIES SHALL COMMENCE WITHIN REGULATED UPLANDS / WETLANDS AREAS WITHOUT PRIOR APPROVAL OF THE MONTVILLE INLAND WETLANDS COMMISSION.

ALL IMPROVEMENTS SHOWN HEREIN ARE CONCEPTUAL AND DEVELOPMENT OF INDIVIDUAL LOTS REQUIRE INDIVIDUAL SITE PLANS PREPARED BY A LICENSED LAND SURVEYOR AND/OR PROFESSIONAL ENGINEER.

ALL UTILITY CONNECTIONS CROSSING OLD COLCHESTER ROAD AND BLACK ASH ROAD WILL BE OVERHEAD.

LOTS 2, 4, 6, 7 & 10 WILL REQUIRE SUMP PUMPS FOR BASEMENTS.



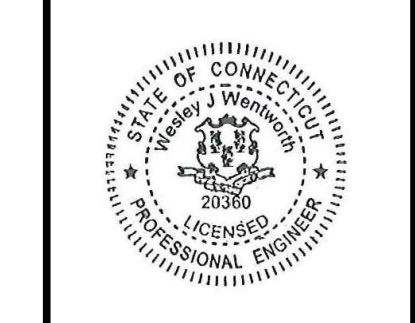
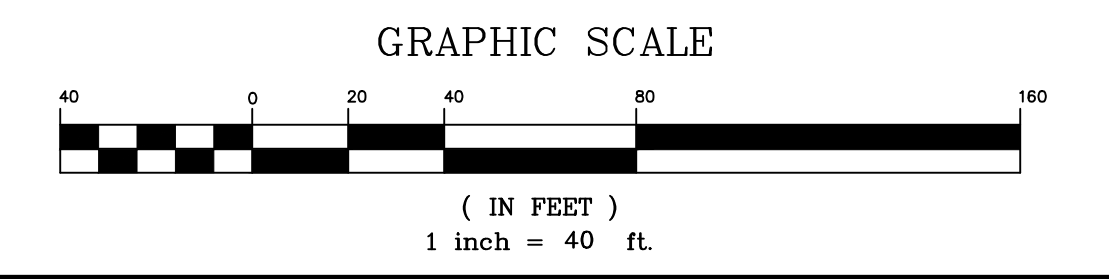
N/F PINE RIDGE ESTATES HOMEOWNERS ASSOCIATION

SEE SHEET 5

LOT AREAS		
LOT NUMBER	AREA (SQUARE FEET)	AREA (ACRES)
8	237,330	5.448
9	165,293	3.795
10	43,346	0.995
11	69,262	1.590
12	66,989	1.538
13	77,184	1.771

LEGEND

- PROPOSED IRON PIN
- WETLAND UPLAND REVIEW LIMIT
- PROPERTY LINE
- BUILDING SETBACK LINE
- STONEWALL
- FENCE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED LIMIT OF CLEARING
- PROP. UTILITIES



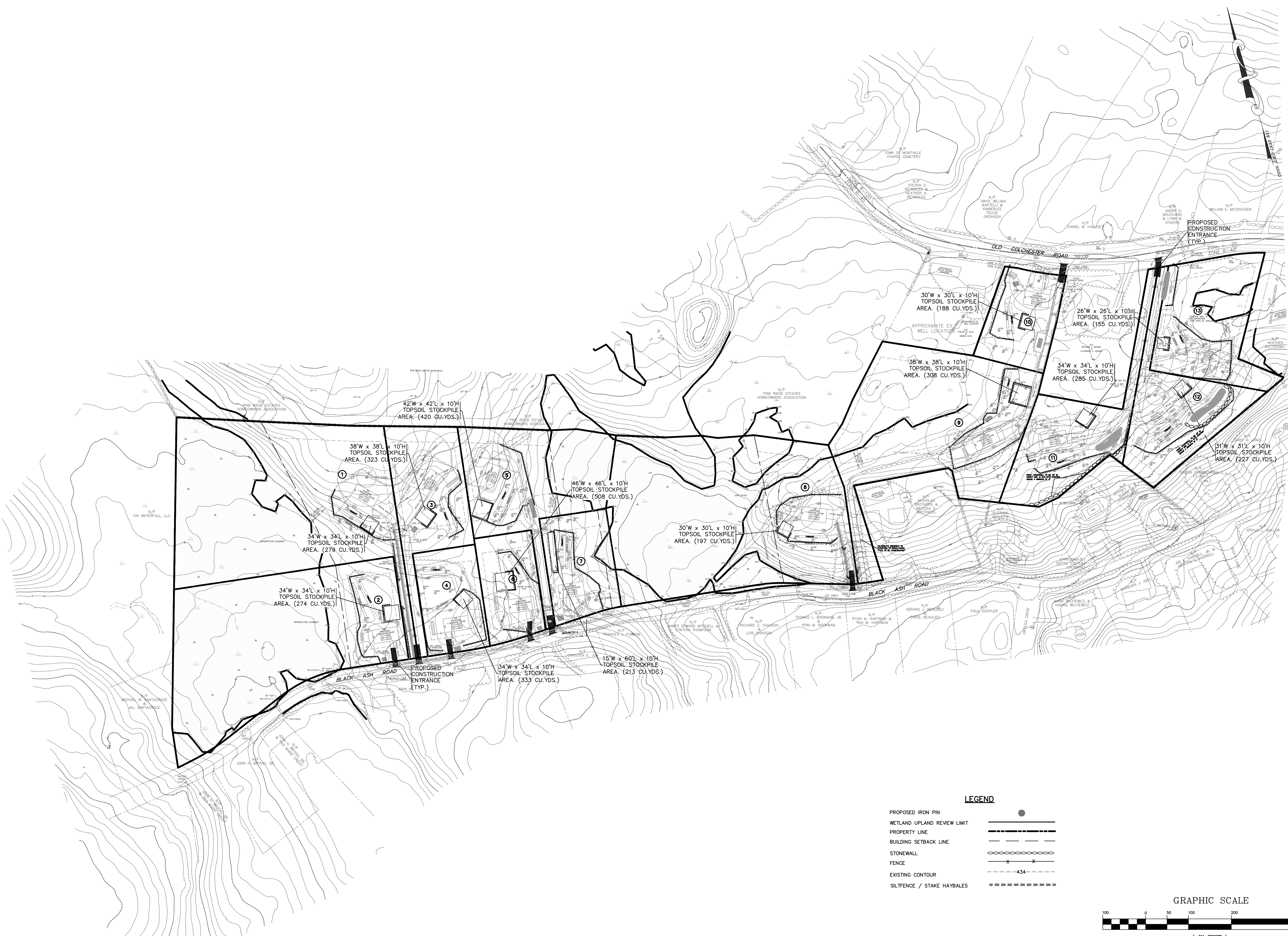
I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

WESLEY J. WENTWORTH
P.E. # 20360

WENTWORTH CIVIL ENGINEERS LLC
177 WEST TOWN ST.
LEBANON, CT 06249
TEL. (860) 642-7255
FAX (860) 642-4794
web: wentworthcivil.com

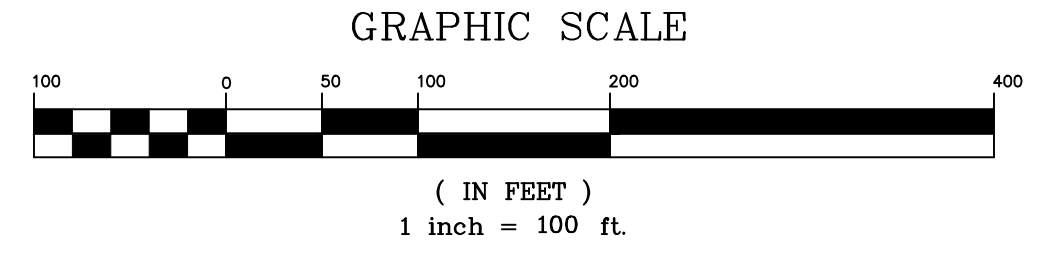
BLACK ASH ESTATES RESUBDIVISION
PREPARED FOR
PACHAUG CAPITAL, LLC
BLACK ASH ROAD & OLD COLCHESTER ROAD
MONTVILLE, CONNECTICUT

REV. 5/28/24 TOWN COMMENTS
DATE: 8-22-23
SCALE: 1"=40'
SHEET 6 OF 12
MAP NO. 23-024-1T



LEGEND

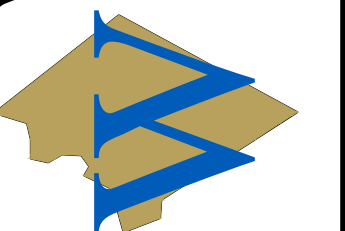
- PROPOSED IRON PIN ●
- WETLAND UPLAND REVIEW LIMIT ———
- PROPERTY LINE ———
- BUILDING SETBACK LINE - - - - -
- STONEWALL ○ ○ ○ ○ ○
- FENCE x x x x x
- EXISTING CONTOUR - - - - - 434
- SILTENCE / STAKE HAYBALES - - - - -



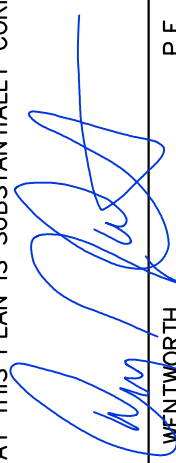
REV. 5/28/24 TOWN COMMENTS

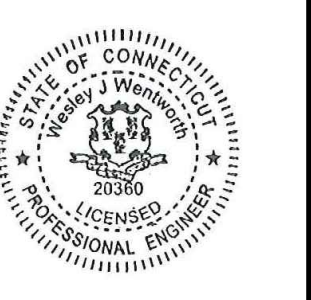
EROSION & SEDIMENTATION CONTROL PLAN
BLACK ASH ESTATES RESUBDIVISION
 PREPARED FOR
PACHAUG CAPITAL, LLC
 BLACK ASH ROAD & OLD COLCHESTER ROAD
 MONTVILLE, CONNECTICUT

DATE: 8-22-23
 SCALE: 1"=100'
 SHEET 7 OF 12
 MAP NO. 23-024-1ES



WENTWORTH CIVIL ENGINEERS LLC
 177 WEST TOWN ST.
 LEBANON, CT 06249
 TEL. (860) 642-7255
 FAX. (860) 642-4794
 web: wentworthcivil.com

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

 WESLEY J. WENTWORTH
 P.E. # 20360



TEST HOLE DATA AS PERFORMED BY THE UNCAS HEALTH DEPARTMENT ON 3/15/05
AND WITNESSED BY BENNETT & SMILAS ENGINEERING, INC.

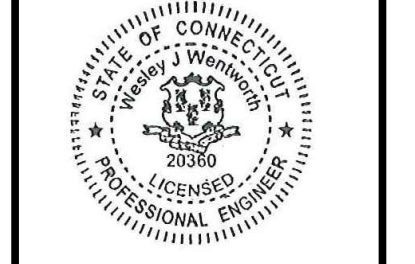
Table of test hole data for the left side of the top section, including holes TP 16A through TP 19D. Each entry lists soil types, depths, and other geological observations.

TEST HOLE DATA AS PERFORMED BY THE UNCAS HEALTH DEPARTMENT ON 5/21/08
AND WITNESSED BY BENNETT & SMILAS ENGINEERING, INC.

Table of test hole data for the middle section, including holes TP 548 through TP 597. Each entry lists soil types, depths, and other geological observations.

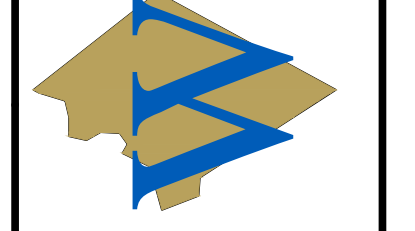
M.L.S.S. AND SEPTIC SYSTEM CALCULATIONS

Table containing septic system calculations for lots 1 through 10, including lot numbers, bedroom counts, and septic tank specifications.



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

WENTWORTH CIVIL ENGINEERS, LLC
177 WEST TOWN ST.
LEBANON, CT 06249
TEL: (860) 642-7255
FAX: (860) 642-7974
web: wentworthcivil.com



SOILS, & SEPTIC DESIGN CALCULATIONS
BLACK ASH ESTATES RESUBDIVISION
PREPARED FOR
PACHAUG CAPITAL, LLC
BLACK ASH ROAD & OLD COLCHESTER ROAD
MONTVILLE, CONNECTICUT

TEST HOLE DATA AS PERFORMED BY THE UNCAS HEALTH DEPARTMENT ON 10/15/08
AND 10/16/08 AND WITNESSED BY BENNETT & SMILAS ENGINEERING, INC.

Table of test hole data for the bottom section, including holes TP 510 through TP 615. Each entry lists soil types, depths, and other geological observations.

VOLUME OF MATERIAL TO BE IMPORTED TO LOTS

LOT 1 DRIVEWAY MATERIAL = 100 C.Y. SEPTIC SYSTEM MATERIAL = 30 C.Y. TOTAL IMPORTED MATERIAL = 130 C.Y.	LOT 8 DRIVEWAY MATERIAL = 70 C.Y. SEPTIC SYSTEM MATERIAL = NONE TOTAL IMPORTED MATERIAL = 70 C.Y.
LOT 2 DRIVEWAY MATERIAL = 30 C.Y. SEPTIC SYSTEM MATERIAL = 60 C.Y. TOTAL IMPORTED MATERIAL = 90 C.Y.	LOT 9 DRIVEWAY MATERIAL = 145 C.Y. SEPTIC SYSTEM MATERIAL = 65 C.Y. TOTAL IMPORTED MATERIAL = 210 C.Y.
LOT 3 DRIVEWAY MATERIAL = 105 C.Y. SEPTIC SYSTEM MATERIAL = 60 C.Y. TOTAL IMPORTED MATERIAL = 165 C.Y.	LOT 10 DRIVEWAY MATERIAL = 30 C.Y. SEPTIC SYSTEM MATERIAL = 30 C.Y. TOTAL IMPORTED MATERIAL = 60 C.Y.
LOT 4 DRIVEWAY MATERIAL = 30 C.Y. SEPTIC SYSTEM MATERIAL = 30 C.Y. TOTAL IMPORTED MATERIAL = 60 C.Y.	LOT 11 DRIVEWAY MATERIAL = 125 C.Y. SEPTIC SYSTEM MATERIAL = 30 C.Y. TOTAL IMPORTED MATERIAL = 155 C.Y.
LOT 5 DRIVEWAY MATERIAL = 165 C.Y. SEPTIC SYSTEM MATERIAL = 75 C.Y. TOTAL IMPORTED MATERIAL = 240 C.Y.	LOT 12 DRIVEWAY MATERIAL = 220 C.Y. SEPTIC SYSTEM MATERIAL = 250 C.Y. TOTAL IMPORTED MATERIAL = 470 C.Y.
LOT 6 DRIVEWAY MATERIAL = 40 C.Y. SEPTIC SYSTEM MATERIAL = 50 C.Y. TOTAL IMPORTED MATERIAL = 90 C.Y.	LOT 13 DRIVEWAY MATERIAL = 55 C.Y. SEPTIC SYSTEM MATERIAL = 30 C.Y. TOTAL IMPORTED MATERIAL = 85 C.Y.
LOT 7 DRIVEWAY MATERIAL = 40 C.Y. SEPTIC SYSTEM MATERIAL = 60 C.Y. TOTAL IMPORTED MATERIAL = 100 C.Y.	

THE SUBDIVISION PLANS SHOW GENERIC DESIGN CONCEPTS FOR EACH LOT TO DEMONSTRATE CONFORMANCE WITH THE TOWN OF MONTVILLE INLAND WETLANDS AND WATERCOURSES REGULATIONS, ZONING REGULATIONS AND SUBDIVISION REGULATIONS. THE INFORMATION SHOWN IN THE ABOVE REFLECTS THE GENERIC DESIGN CONCEPT AND MAY DIFFER IN SIZE AND SCOPE FROM THE ACTUAL DEVELOPMENT.

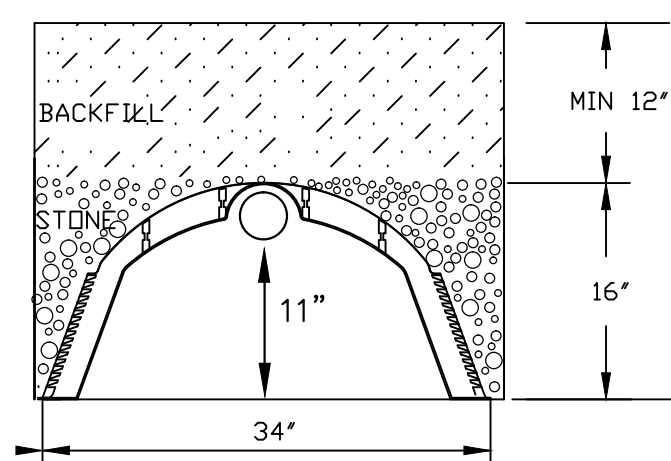
TOPSOIL STOCKPILE AREA CALCULATIONS

LOT 1 DISTURBED AREA = 21,500 SF VOLUME OF TOPSOIL = 279 CY STOCKPILE DIMENSIONS = 34'W x 34'L x 10'H	LOT 9 DISTURBED AREA = 23,781 SF VOLUME OF TOPSOIL = 308 CY STOCKPILE DIMENSIONS = 36'W x 36'L x 10'H
LOT 2 DISTURBED AREA = 21,226 SF VOLUME OF TOPSOIL = 274 CY STOCKPILE DIMENSIONS = 34'W x 34'L x 10'H	LOT 10 DISTURBED AREA = 14,483 SF VOLUME OF TOPSOIL = 188 CY STOCKPILE DIMENSIONS = 30'W x 30'L x 10'H
LOT 3 DISTURBED AREA = 24,917 SF VOLUME OF TOPSOIL = 323 CY STOCKPILE DIMENSIONS = 38'W x 38'L x 10'H	LOT 11 DISTURBED AREA = 22,025 SF VOLUME OF TOPSOIL = 285 CY STOCKPILE DIMENSIONS = 34'W x 34'L x 10'H
LOT 4 DISTURBED AREA = 25,667 SF VOLUME OF TOPSOIL = 333 CY STOCKPILE DIMENSIONS = 34'W x 34'L x 10'H	LOT 12 DISTURBED AREA = 17,501 SF VOLUME OF TOPSOIL = 227 CY STOCKPILE DIMENSIONS = 31'W x 31'L x 10'H
LOT 5 DISTURBED AREA = 32,447 SF VOLUME OF TOPSOIL = 420 CY STOCKPILE DIMENSIONS = 42'W x 42'L x 10'H	LOT 13 DISTURBED AREA = 11,986 SF VOLUME OF TOPSOIL = 155 CY STOCKPILE DIMENSIONS = 26'W x 26'L x 10'H
LOT 6 DISTURBED AREA = 16,445 SF VOLUME OF TOPSOIL = 508 CY STOCKPILE DIMENSIONS = 46'W x 46'L x 10'H	
LOT 7 DISTURBED AREA = 20,098 SF VOLUME OF TOPSOIL = 213 CY STOCKPILE DIMENSIONS = 60'W x 15'L x 10'H	
LOT 8 DISTURBED AREA = 22,947 SF VOLUME OF TOPSOIL = 197 CY STOCKPILE DIMENSIONS = 30'W x 30'L x 10'H	

THE SUBDIVISION PLANS SHOW GENERIC DESIGN CONCEPTS FOR EACH LOT TO DEMONSTRATE CONFORMANCE WITH THE TOWN OF MONTVILLE INLAND WETLANDS AND WATERCOURSES REGULATIONS, ZONING REGULATIONS AND SUBDIVISION REGULATIONS. THE INFORMATION SHOWN IN THE ABOVE REFLECTS THE GENERIC DESIGN CONCEPT AND MAY DIFFER IN SIZE AND SCOPE FROM THE ACTUAL DEVELOPMENT.

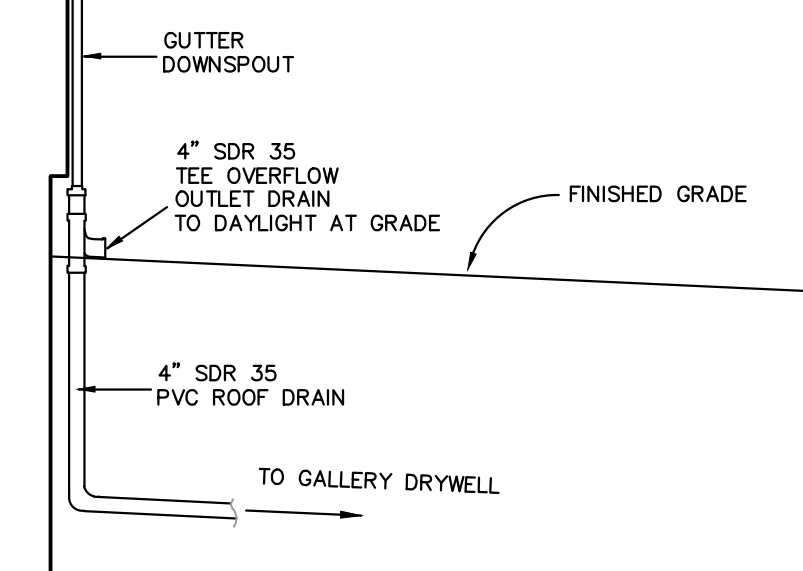
ROOF DRAIN TREATMENT CALCULATIONS FOR TYPICAL LOT

- RAIN VOLUME
ROOF AREA = 2,275 SF
PROVIDE STORAGE FOR 1" OF RAINFALL
 $2,275 \text{ SF} \times 1" \times (1/12") = 190 \text{ CF}$
- DRYWELL SIZING
USE 16" HIGH CAPACITY QUICK 4 INFILTRATORS BACKFILLED WITH STONE
HIGH CAPACITY QUICK 4 INFILTRATORS + STONE = 3.83 CF STORAGE PER LINEAR FOOT
 $190 \text{ CF} \div 3.83 \text{ CF/LF} = 48 \text{ LF OF INFIL. W/ STONE (REQUIRED)}$
PROVIDE 8 INFILTRATOR UNITS W/ STONE (6 LF/CHAMBER) PER LOT.



HI-CAPACITY INFILTRATOR CHAMBERS W/ STONE = 3.83 FT³/LF
INSTALL PER MANUFACTURER'S INSTRUCTIONS
ROOF DRAIN DETAIL
HI-CAPACITY QUICK 4 CHAMBERS WITH STONE
NOT TO SCALE

NOTE: INFILTRATOR UNITS NOT TO EXTEND DEEPER THAN 16" INTO ORIGINAL GRADE



ROOF DRAIN DOWNSPOUT DETAIL
NOT TO SCALE

ADDITIONAL SOILS DATA



SITE INVESTIGATION FOR SUBSURFACE SEWAGE DISPOSAL

Owner: Zachary Wood Location: 970 Old Colchester Road, Montville (Black Ash Estates)

DATE: 5/14/24

Deep Test Hole Data/Soil Descriptions

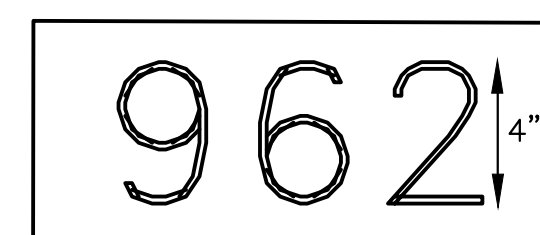
Test Hole # 704	Test Hole # 703	Test Hole # 712	Test Hole # 710
0'-10" Top Soil 10'-28" Brown Sandy Loam 28'-82" Gray Loamy Sand	0'-10" Top Soil 10'-32" Brown Sandy Loam 32'-82" Gray Loamy Sand 82'-85" Groundwater	0'-12" Top Soil 12'-26" Brown Sandy Loam 26'-70" Tan Fine Loamy Sand	0'-10" Top Soil 10'-27" Brown Sandy Loam 27'-90" Gray Loamy Sand 90'-96" Groundwater
Mottling: 28" GW: 81" Ledge: --- Roots: 16" Restrictive: 28"	Mottling: 32" GW: 82" Ledge: --- Roots: 10" Restrictive: 32"	Mottling: 26" GW: --- Ledge: --- Roots: 12" Restrictive: 26"	Mottling: 27" GW: 90" Ledge: --- Roots: 14'-0"-9" Restrictive: 27"

Test Hole # 723	Test Hole # 722	Test Hole # 721	Test Hole # 709
0'-9" Top Soil 9'-27" Brown Fine Sandy Loam 27'-72" Gray Loamy Sand 72'-78" Groundwater	0'-10" Top Soil 10'-27" Brown Sandy Loam 27'-68" Gray Dense Loamy Sand 68'-72" Groundwater	0'-10" Top Soil 10'-26" Brown Sandy Loam 26'-66" Gray Loamy Sand 66'-75" Groundwater	Ledge @ 38" Unsuitable TH
Mottling: 27" GW: 72" Ledge: --- Roots: 15" Restrictive: 27"	Mottling: 27" GW: 68" Ledge: --- Roots: 13" Restrictive: 27"	Mottling: 26" GW: 66" Ledge: --- Roots: 10" Restrictive: 26"	Mottling: --- GW: --- Ledge: 38" Roots: --- Restrictive: 38"

Test Hole # 708	Test Hole # 702	Test Hole # 701	Test Hole # 711
Ledge @ 27" Unsuitable TH	0'-8" Top Soil 8'-21" Brown Sandy Loam 21'-72" Wet Gray Loamy Sand 72'-80" Groundwater	0'-9" Top Soil 9'-20" Brown Sandy Loam 20'-70" Gray Loamy Sand 70'-78" Groundwater	0'-8" Top Soil 8'-24" Brown Sandy Loam 24'-67" Gray Loamy Sand 67'-74" Groundwater
Mottling: --- GW: --- Ledge: 27" Roots: --- Restrictive: 27"	Mottling: 21" GW: 72" Seepage: 35" Roots: 14" Restrictive: 21"	Mottling: 20" GW: 70" Seepage: 32" Roots: 12" Restrictive: 20"	Mottling: 24" GW: 67" Seepage: 44" Roots: 10" Restrictive: 24"

Test Hole # 705	Test Hole # 706	Test Hole # 707	
0'-10" Top Soil 10'-28" Brown Sandy Loam 28'-74" Tan Loamy Sand 74'-84" Groundwater	0'-6" Top Soil (depth varies) 6'-26" Moist Brown Sandy Loam 26'-60" Wet Gray Loamy Sand 60'-72" Groundwater	0'-9" Top Soil 9'-27" Moist Brown Sandy Loam 27'-72" Wet Gray Loamy Sand 72'-80" Groundwater	
Mottling: 28" GW: 74" Seepage: 40" Roots: 27" Restrictive: 28"	Mottling: 26" GW: 60" Seepage: 40" Roots: 16" Restrictive: 26"	Mottling: 27" GW: 72" Seepage: 52" Roots: 15" Restrictive: 27"	Mottling: --- GW: --- Ledge: --- Roots: --- Restrictive: ---

Groundwater Table: Near Max



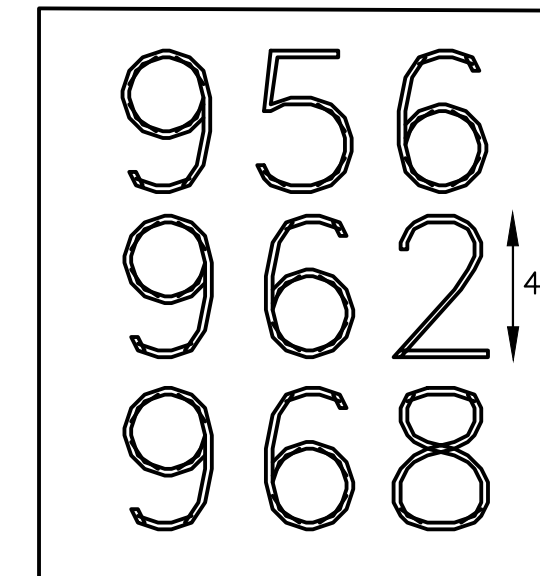
TYPICAL HOUSE NUMBER SIGN
INDIVIDUAL LOT
NOT TO SCALE

NOTES REGARDING HOUSE NUMBERING SIGNS:

SIGNS ARE TO COMPLY WITH MONTVILLE ORDINANCE 0-A-3

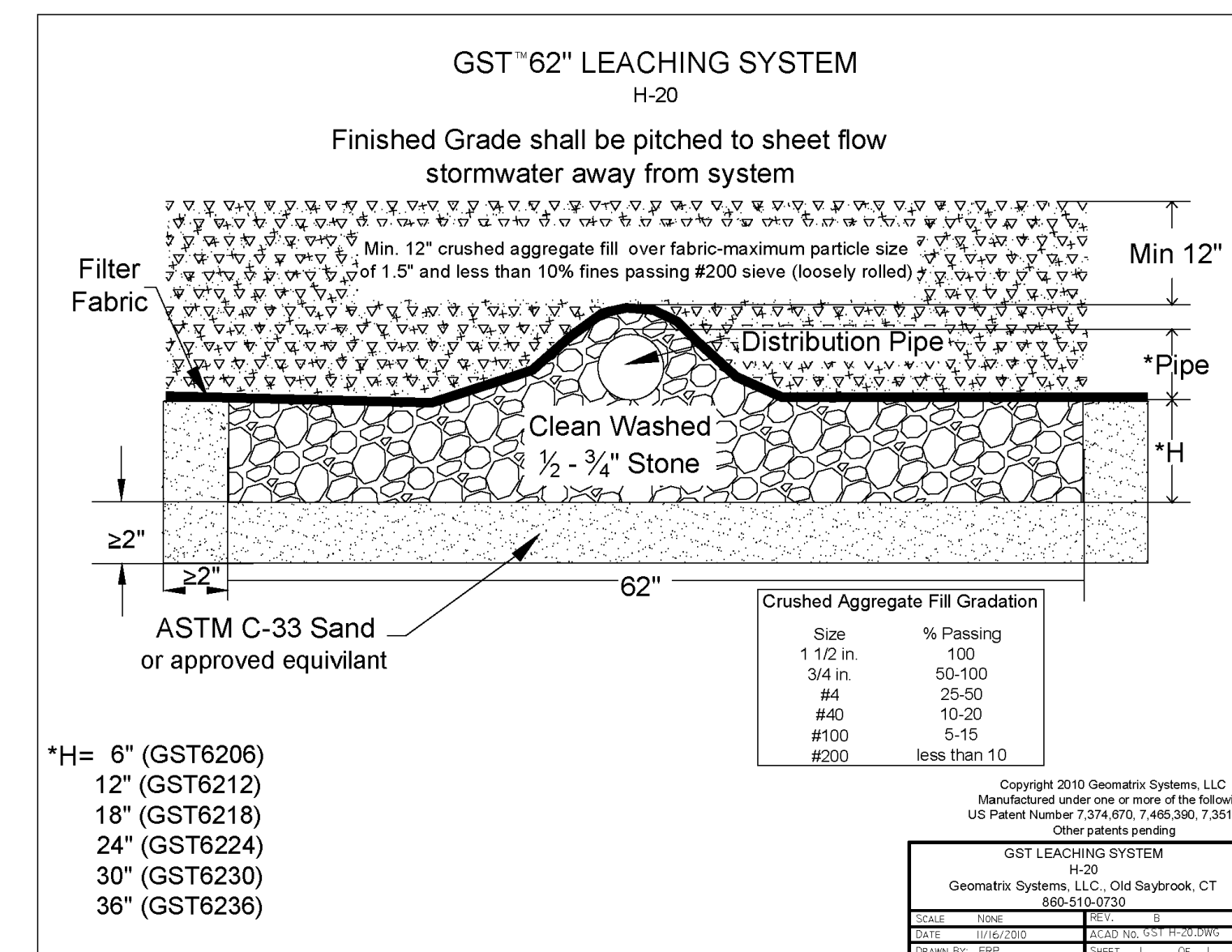
SIGNS ARE TO BE AFFIXED ON THE EXTERIOR FRONT OF BUILDING OR ON A SIGN, POST, MAILBOX OR OTHER DEVICE BETWEEN THE BUILDING AND STREET.

NUMERALS SHALL BE A MINIMUM OF FOUR (4) INCHES HIGH AND BE OF A COLOR CONTRASTING THE BACKGROUND MATERIAL OF SIGN.



TYPICAL HOUSE NUMBER SIGN
COMMON DRIVEWAY ENTRANCE
NOT TO SCALE

ADDITIONAL SEPTIC SYSTEM DESIGN NOTES



*H= 6" (GST6206)
12" (GST6212)
18" (GST6218)
24" (GST6224)
30" (GST6230)
36" (GST6236)

Geomatrix GST™ Leaching System Installation Instructions

This installation procedure serves as a general overview of the installation procedure for Geomatrix GST. The system drawings should be strictly adhered to and an authorized representative of Geomatrix Systems, LLC must be present unless the contractor is certified by Geomatrix Systems.

- 1 Layout system
- 2 Prepare site and remove any trees with a drip line falling within 10 feet of the leaching system.
- 3 Excavate trench to specified elevation and a minimum of 66" wide.
- 4 Rake/scarify sidewall and bottom of trench to address any smearing of fines, and then do not walk in trench bottom.
- 5 Install a minimum of 2" of ASTM C-33 sand in the bottom of the excavation and rake the sand bed level.
- 6 Set string and place wood strips along both sides of system location.
- 7 Set the GST forms on top of wood strips.
- 8 Place ASTM C-33 sand into void space between trench sidewall and GST form, including the area between what will become the stone fingers and uniformly compact.
- 9 Place clean CT DOT #6 stone into the interior of the GST form.
- 10 Pull first form and "leap frog" GST form ahead of last GST form.
- 11 Repeat sequence until desired trench length is installed.
- 12 Install distribution piping on top of, and in the center of, the GST leaching system.
- 13 Place stone around the distribution pipe. Install provided GST inspection port.
- 14 Put approved filter fabric over the system.
- 15 Backfill system to ensure uniform cover exists over the top of the system (a minimum of 6" is required).
- 16 Finish grade over the system should ensure that storm water and sheet flow are diverted away from the leaching system, septic tank and pump tank if present.
- 17 Seed grass over disturbed area.
- 18 Maintain the area to prevent against tree roots from impacting the system.
- 19 Properly service the septic tank every 3 - 5 years or as advised by the regulatory agency or your service provider.
- 20 Fix leaking plumbing fixtures immediately.

*Notes: If the GST is to be installed under an area where vehicle traffic is likely, a minimum of 12" of cover and a load distribution system is recommended to prevent soil compaction adjacent to the infiltrative surface. Discharging a garbage disposal and/or water softener into septic system and GST leach field is NOT recommended. Any questions call Geomatrix Systems 860-663-3993 01/28/08 © 2007 Geomatrix Systems, LLC

NOTES: (THE FOLLOWING NOTES MAY APPLY)
THE LEACHING AREA IS TO BE STRIPPED OF ALL UNSUITABLE SOILS AND FILLED WITH CLEAN SAND, LAID IN SIX INCH LIFTS. FILL TO BE MECHANICALLY COMPACTED TO 90% MAXIMUM DENSITY. A MINIMUM SEPERATION DISTANCE OF 18" BETWEEN THE MOTTLING/GROUND WATER LAYER AND BOTTOM OF THE LEACHING ARE MUST BE MAINTAINED.

INSTALLATION OF ALL SEWAGE DISPOSAL SYSTEMS SHALL NOT OCCUR DURING WET WEATHER TO AVOID SOIL SMEARING.
FILLING OF STRIPPED AREAS SHALL NOT BE PERMITTED WHILE SMEARING OF THE SOILS OCCURS, ALL SMEARED SURFACES SHALL BE RAKED OR PLOWED PRIOR TO ANY FILLING AND AS DIRECTED BY THE TOWN HEALTH DEPARTMENT.

"SELECT FILL MATERIAL" AND "SELECT BACK FILL MATERIAL," PLACED WITHIN AND ADJACENT TO PROPOSED LEACHING AREAS SHALL BE COMPRISED OF CLEAN SAND AND GRAVEL, FREE FROM ORGANIC MATTER AND FOREIGN SUBSTANCES. THE FILL MATERIAL SHALL MEET THE FOLLOWING REQUIREMENTS UNLESS OTHERWISE APPROVED BY A PROFESSIONAL ENGINEER FOR USE WITHIN THE LEACHING AREA:

1. THE FILL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN THREE (3) INCHES.
2. UP TO 45% OF THE DRY WEIGHT OF THE REPRESENTATIVE SAMPLE MAY BE RETAINED ON THE #4 SIEVE (THIS IS THE GRAVEL PORTION OF THE SAMPLE).
3. THE MATERIAL THAT PASSES THE #4 SIEVE IS THEN REWEIGHED AND THE SIEVE ANALYSIS STARTED.
4. THE REMAINING SAMPLE SHALL MEET THE FOLLOWING GRADATION CRITERIA:

SIEVE SIZE	PERCENT PASSING
#4	100
#10	70% - 100%
#40	10% - 50%
#100	0% - 20%
#200	0% - 5%

*NOTE: PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%.

THE RESPONSIBILITY FOR THE PREPARATION OF A LEACHING AREA UTILIZING "SELECT MATERIAL" IS THAT OF THE LICENSED INSTALLER. THE INSTALLER SHALL TAKE THE NECESSARY STEPS TO PROTECT THE UNDERLYING NATURALLY OCCURRING SOILS FROM OVERCOMPACTION AND SILTATION ONCE EXPOSED.

- A. ENDS OF GST TRENCH TO BE CAPPED
- B. NO SOURCES OF POLLUTION WITHIN 75' OF PROPOSED WELL



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.
WESLEY J. WENTWORTH
P.E. # 20360

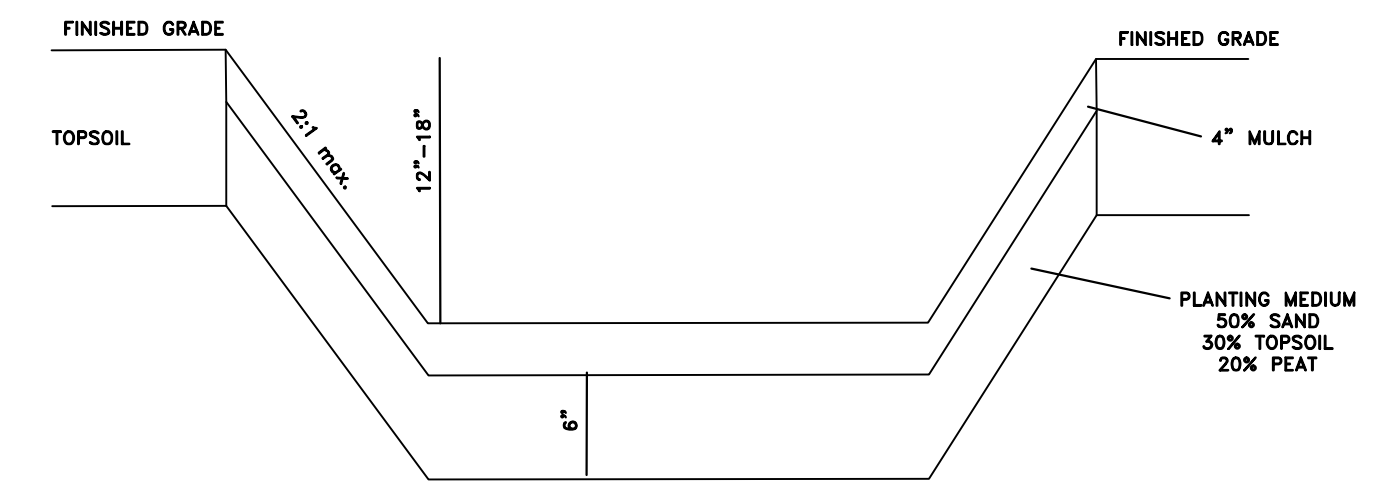
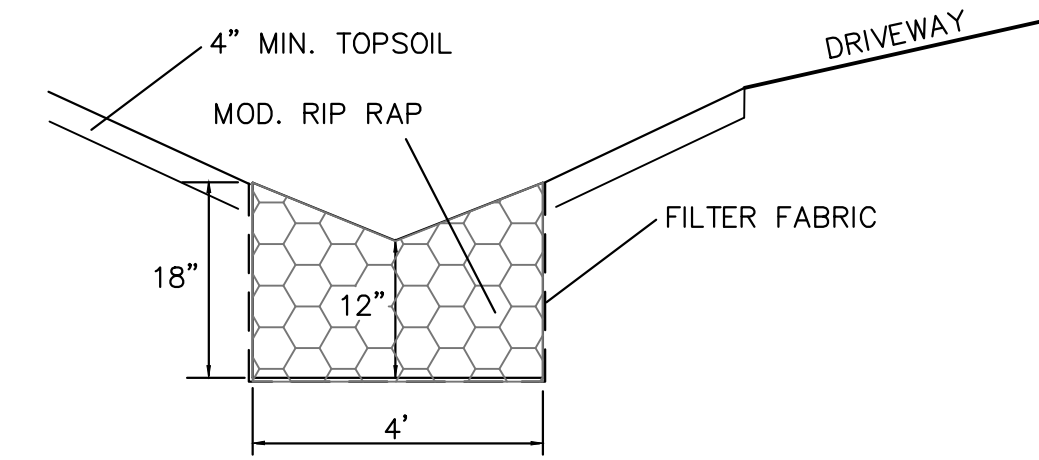
WENTWORTH CIVIL ENGINEERS LLC
177 WEST TOWN ST.
LEBANON, CT 06249
TEL: (860) 642-7355
FAX: (860) 642-4794
web: wentworthcivil.com

NOTES & DETAILS
BLACK ASH ESTATES RESUBDIVISION
PREPARED FOR
PACHAUG CAPITAL, LLC
BLACK ASH ROAD & OLD COLCHESTER ROAD
MONTVILLE, CONNECTICUT

REV: 5/28/24 TOWN COMMENTS
DATE: 8-22-23
SCALE: NONE
SHEET 9 OF 12
MAP NO. 23-024-1N

RAIN GARDEN DESIGN					
LOT	DRAINAGE AREA	IMPERVIOUS AREA	% IMPERVIOUS WITHIN DRAIN. AREA	WATER QUALITY VOLUME	VOL. PROVIDED
1	10500 SF	6500 SF	62%	535 CF	INFILTRATION TRENCH - 4' x 1' x 0.4 voids = 1.6 cf/lf
2	3000 SF	1200 SF	40%	105 CF	105 SF X 12" DEEP
3	3800 SF	1800 SF	47%	150 CF	150 SF X 12" DEEP
4	1400 SF	1200 SF	86%	100 CF	100 SF X 12" DEEP
5	73000 SF	6000 SF	8%	730 CF	500 SF X 18" DEEP
6	7500 SF	1200 SF	16%	120 CF	120 SF X 12" DEEP
7	3700 SF	2150 SF	58%	175 CF	175 SF X 18" DEEP
8	3300 SF	3000 SF	91%	240 CF	INFILTRATION TRENCH - 4' x 1' x 0.4 voids = 1.6 cf/lf
9	7200 SF (FRONT) 3400 SF (REAR)	2700 SF (FRONT) 2000 SF (REAR)	38% (FRONT) 59% (REAR)	240 CF (FRONT) 165 CF (REAR)	240 SF X 12" DEEP (FRONT) 165 SF X 12" DEEP (REAR)
10	7200 SF	2700 SF	38%	240 CF	160 SF X 18" DEEP
*11	25000 sf	3360 SF	13%	350 CF	1280 SF X 18" DEEP
*12 + 13	45500 SF	4480 SF	10%	530 CF	1940 SF X 18" DEEP
*13 FRONT	34300 SF	4050 SF	4%	245 CF	900 SF X 18" DEEP

*NOTE: RAIN GARDENS FOR LOTS 11, 12 & 13 SIZED FOR 10 YEAR (5.5" 24 HOUR PRECIPITATION) RAINFALL EVENTS.

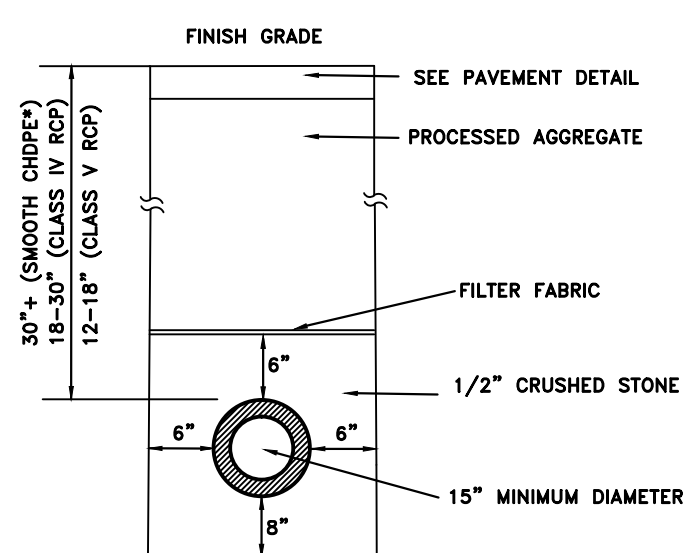


RAIN GARDEN SECTION
NOT TO SCALE

OPERATIONS & MAINTENANCE:

- ROOF LEADER DOWNSPOUT & FOUNDATION DRAIN COLLAR:** - STABILIZE ANY ERODED AREAS BELOW ROOF DRAIN DOWNSPOUT BY REPLANTING DURING GROWING SEASON AND ARMOR AREAS W/ JUTE NETTING AND PLANTINGS OR IF EROSION PERSISTS, CRUSHED STONE / RIP RAP.
- LOT #1 INFILTRATION TRENCH:** - INSPECT BI-ANNUALLY. REMOVE DEBRIS, TRASH AND SEDIMENT AS REQUIRED.
- STABILIZE ANY ERODED AREAS WITHIN TRENCH W/ CRUSHED STONE. STABILIZE ANY ERODED AREAS BELOW INFILTRATION TRENCH BY REPLANTING DURING GROWING SEASON AND ARMOR AREAS W/ JUTE NETTING AND PLANTINGS OR IF EROSION PERSISTS, CRUSHED STONE / RIP RAP.

- RAIN GARDEN:**
- MAINTENANCE OF ALL STORMWATER FACILITIES IS THE RESPONSIBILITY OF THE PROPERTY OWNER. ALL INDIVIDUAL PLOT PLANS SHALL HAVE THE MAINTENANCE PLAN, RAIN GARDEN, DRAINAGE & SEWER SPREADER DETAILS ON FILE.
- FIRST SEASON:**
- WEED (2-3" LAYER OF MULCH WILL LIMIT WEEDS)
 - WATER (GENERAL RULE OF THUMB IS 1" OF WATER PER WEED)
- ANNUAL:**
- EARLY SPRING: CUT AND REMOVE DEAD STALKS AND SEED HEADS FROM
 - LATE SPRING: REMOVE WEEDS AND DEBRIS
 - WED: REMOVE STICKS AND DEBRIS
 - WED: PRUNE SHRUBS IF NECESSARY
 - WED: REMOVE WEEDS AND DEAD PLANTS
 - WED: REMOVE EXCESS TREE LEAVES FROM GARDEN
 - WED: IF FALL IS DRY, WATER PLANTS UNTIL GROUND BEGINS TO FREEZE (EARLY NOVEMBER)
- SPRING AND SUMMER:**
- WED: WATER DURING SEVERE DROUGHT
- FALL:**
- REMOVE WEEDS AND DISEASED PLANTS
 - CUT AND REMOVE DEAD STALKS
 - REMOVE EXCESS TREE LEAVES FROM GARDEN
 - IF FALL IS DRY, WATER PLANTS UNTIL GROUND BEGINS TO FREEZE (EARLY NOVEMBER)



CULVERT DETAIL
NOT TO SCALE

*CHDPE = CORRUGATED HIGH DENSITY POLYETHYLENE PIPE

GENERAL NOTES:

ALL CONSTRUCTION METHODS TO CONFORM TO CONN. D.O.T. FORM 818 AND/OR THE TOWN STANDARD SPECIFICATIONS.

THE LOCATION OF ALL EXISTING UTILITIES SHOWN IS APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE LOCATION OF EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND FOR COORDINATING CONNECTION OF PROPOSED AND EXISTING UTILITIES.

TOWN MAY REQUIRE CHANGES TO THE PLAN TO ADDRESS PROBLEMS THAT MAY RESULT IN ALL UTILITIES TO BE INSTALLED/DIRECTED BY APPROPRIATE AUTHORITIES.

FOUNDATION DRAINS SHALL BE DEPICTED ON ALL PLOT PLANS.

HOUSE SITE DEVELOPMENT:

ALL DRIVEWAY SHOULDERS SHOULD BE STABILIZED IMMEDIATELY UPON COMPLETION OF ROUGH GRADING. DRIVEWAY SHOULDERS SHOULD BE STABILIZED IMMEDIATELY UPON COMPLETION OF ROUGH GRADING. SHOULDERS SHOULD BE STABILIZED IMMEDIATELY UPON COMPLETION OF ROUGH GRADING. SHOULDERS SHOULD BE STABILIZED IMMEDIATELY UPON COMPLETION OF ROUGH GRADING. SHOULDERS SHOULD BE STABILIZED IMMEDIATELY UPON COMPLETION OF ROUGH GRADING. SHOULDERS SHOULD BE STABILIZED IMMEDIATELY UPON COMPLETION OF ROUGH GRADING.

SITE NARRATIVE:

IN GENERAL THIS SITE CONSISTS OF 31.5 ACRES OF LAND TO BE DEVELOPED INTO 13 RESIDENTIAL BUILDING LOTS. HOUSES WILL BE SERVED BY ONSITE PRIVATE WELLS AND ONSITE SUBSURFACE SEPTIC SYSTEMS.

THE NATURE OF THE PROPOSED CONSTRUCTION ACTIVITIES INCLUDE MINIMAL CLEARING AND GRUBBING, TOPSOIL STRIPPING, FOUNDATION EXCAVATION AND INSTALLATION OF DRIVEWAY, SEPTIC SYSTEM & WELL. ALL ACTIVITIES ARE DESIGNED WITH A STRONG FOCUS ON EROSION & SEDIMENTATION CONTROLS.

SOME GENERAL KEYS TO SUCCESSFUL EROSION & SEDIMENTATION CONTROLS ARE AS FOLLOWS:

- KEEP CLEARING AND GRUBBING OF VEGETATION TO AN ABSOLUTE MINIMUM.
- MINIMIZE TIME OF EXPOSURE OF UNPROTECTED SOIL SURFACES.
- STABILIZE ALL GRADED AREAS WITH MULCH AND VEGETATION IMMEDIATELY AFTER GRADING.
- DIVERT RUNOFF AWAY FROM STEEPLY SLOPED & DISTURBED AREAS.
- MONITOR AND MAINTAIN CONTROLS REGULARLY (WEEKLY).

GENERAL:

THESE GUIDELINES SHALL APPLY TO ALL WORK CONSISTING OF ANY AND ALL TEMPORARY AND/OR PERMANENT MEASURES TO CONTROL WATER POLLUTION AND SOIL EROSION AS MAY BE REQUIRED, DURING THE CONSTRUCTION OF THE PROJECT.

IN GENERAL ALL CONSTRUCTION ACTIVITIES SHALL PROCEED IN SUCH A MANNER SO AS NOT TO POLLUTE ANY WETLANDS, WATERCOURSE, WATERBODY, AND CONDUIT CARRYING WATER, ETC. THE CONTRACTOR SHALL LIMIT, INsofar AS POSSIBLE, THE SURFACE AREA OF EARTH MATERIALS EXPOSED BY CONSTRUCTION METHODS, AND IMMEDIATELY PROVIDE PERMANENT AND TEMPORARY POLLUTION CONTROL MEASURES TO PREVENT CONTAMINATION OF ADJACENT WETLANDS, WATERCOURSES AND WATERBODIES, AND TO PREVENT, INsofar AS POSSIBLE, EROSION ON THE SITE.

CONSTRUCTION METHODS, IN GENERAL, SHALL BE IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE STATE OF CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.

LAND GRADING:

GENERAL:

- THE RESHAPING OF THE GROUND SURFACE BY EXCAVATION AND FILLING OR A COMBINATION OF BOTH TO OBTAIN PLANNED GRADES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING BASIC CRITERIA:
 - THE CUT FACE OF EARTH EXCAVATION SHALL NOT BE STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1).
 - THE PERMANENT EXPOSED FACES OF FILLS SHALL NOT BE STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1).
 - THE CUT FACE OF ROCK EXCAVATION SHALL NOT BE STEEPER THAN ONE HORIZONTAL TO FOUR VERTICAL (1:4).
 - NO FILL SHOULD BE PLACED WHERE IT WILL SLIDE, OR WASH UPON THE PREMISES OF ANOTHER OWNER OR UPON ADJACENT WETLANDS, WATERCOURSE OR WATERBODY.
 - INSTALLATION OF SEDIMENT AND EROSION CONTROLS SUCH AS HAY BALES AND SILT FENCES SHALL BE ESTABLISHED PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITIES. ALL SEDIMENT AND EROSION CONTROL STRUCTURES MUST BE MONITORED AND MAINTAINED BY THE CONTRACTOR UNTIL THE SOIL SURFACE IS STABILIZED.
 - IF NECESSARY, LATERAL WATER DIVERSIONS SHALL BE INSTALLED ACROSS THE GRADED ROADWAY TO PREVENT DOWNSLOPE OUTFLOW AND EROSION.
 - HAY BALES SHALL BE STAKED AND SILT FENCES SHALL BE PROPERLY SECURED. SEDIMENT WILL BE REMOVED FROM ALL CATCHMENTS AS NECESSARY.
 - PRIOR TO ANY REGRADING, STONE APRON SHALL BE PLACED BY THE ENTRANCE TO THE WORK AREA IN ORDER TO REDUCE MUD AND OTHER SEDIMENTS FROM LEAVING THE SITE.
 - PROVISIONS SHOULD BE MADE TO CONDUCT SURFACE WATER SAFELY TO STORM DRAINS, TO PREVENT SURFACE RUNOFF FROM DAMAGING CUT FACES AND FILL SLOPES.
 - EXCAVATIONS SHOULD NOT BE MADE SO CLOSE TO PROPERTY LINES AS TO ENDANGER ADJACING PROPERTY WITHOUT PROTECTING SUCH PROPERTY FROM EROSION, SLIDING, SETTLING OR CRACKING.

CONSTRUCTION SCHEDULE	ACTUAL DATE (DAYS)						
	BEGIN CONST. 0	30	60	90	120	150	180
INSTALLATION OF EROSION & SEDIMENTATION CONTROLS	[Bar from 0 to 30]						
INSPECTION & MAINTENANCE OF EROSION & SEDIMENTATION CONTROLS	[Bar from 30 to 210]						
INSTALL SITE CONSTRUCTION ENTRANCE FOR DRIVEWAY	[Bar from 30 to 30]						
CLEARING & GRUBBING	[Bar from 30 to 30]						
STRIP & STOCKPILE TOPSOIL	[Bar from 30 to 30]						
INSTALL DRIVEWAY	[Bar from 30 to 30]						
BUILDING CONSTRUCTION	[Bar from 30 to 210]						
INSTALL WELL & SEPTIC SYSTEM	[Bar from 30 to 210]						
GRADE, TOPSOIL & STABILIZE	[Bar from 30 to 210]						
FERTILIZE, LIME, SEED, & MULCH	[Bar from 30 to 210]						
ESTABLISHMENT OF VEGETATION	[Bar from 30 to 210]						
REMOVE EROSION & SEDIMENT CONTROLS	[Bar from 210 to 210]						

NOTES: BEGIN CONST. 0 (DAYS)

CONST. STARTING DATE DEPENDS ON APPROVAL DATE OF PROJECT, BONDING & WEATHER CONDITIONS. SHOULD BE PLANTED BETWEEN: 4-15 & 6-15 OR 8-15 & 9-15 (FOR PERMANENT) IF NOT MULCH WITH STRAW & MULCH NETS 3-1 & 6-15 OR 8-1 & 10-1 (FOR TEMPORARY) IF NOT MULCH WITH STRAW & MULCH NETS

TEMPORARY VEGETATIVE COVER:

GENERAL:

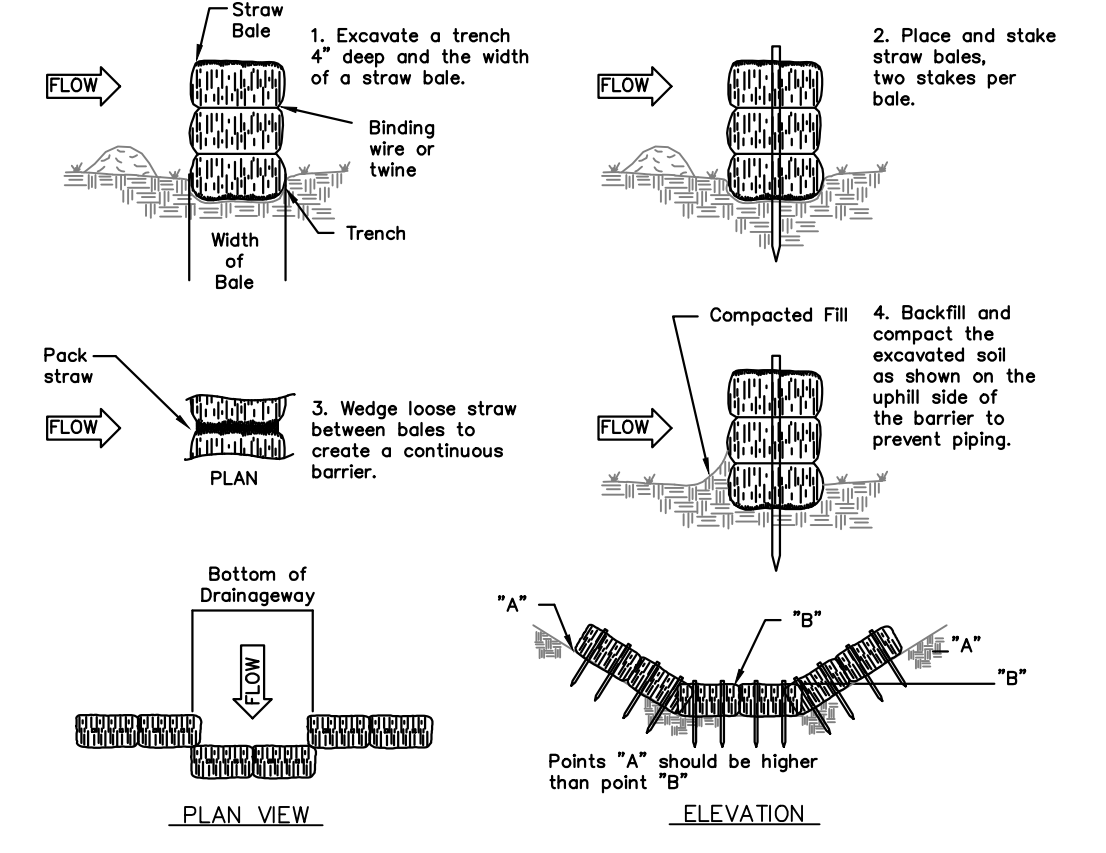
- TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL UNPROTECTED AREAS THAT PRODUCE SEDIMENT. AREAS WHERE FINAL GRADING HAS BEEN COMPLETED AND AREAS WHERE THE ESTIMATED PERIOD OF BARE SOIL EXPOSURE IS LESS THAN 12 MONTHS.

SITE PREPARATION:

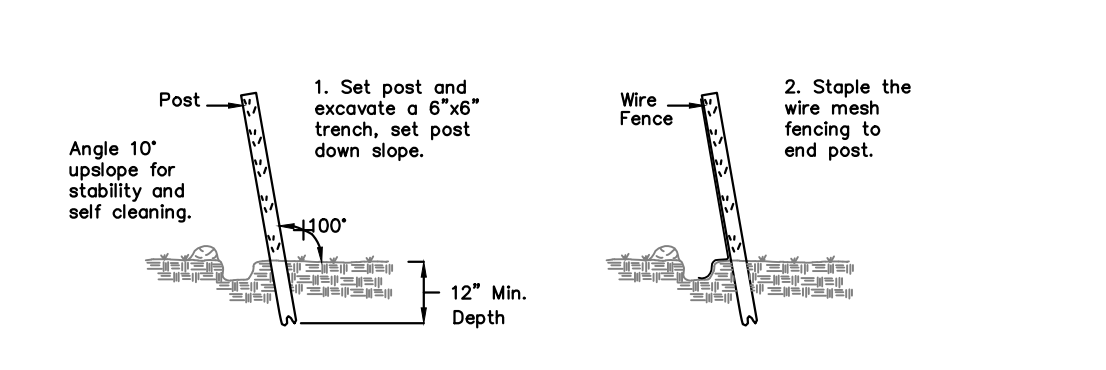
- INSTALL REQUIRED SURFACE WATER CONTROL MEASURES.
- REMOVE LOOSE ROCK, STONE, AND CONSTRUCTION DEBRIS FROM AREA.
- APPLY LIME ACCORDING TO SOIL TEST OR AT A RATE OF ONE (1) TON OF GROUND DOLOMITIC LIMESTONE PER ACRE (5 LBS. PER 100 SQUARE FEET).
- APPLY FERTILIZER ACCORDING TO SOIL TEST OR AT THE RATE OF 300 LBS. OF 10-10-10 PER ACRE (7 LBS. PER 1,000 SQUARE FEET).
- UNLESS HYDROSEEDING, WORK IN LIME AND FERTILIZER TO A DEPTH OF FOUR (4") INCHES USING A DISK OR ANY SUITABLE EQUIPMENT.
- TILLAGE SHOULD ACHIEVE A REASONABLY UNIFORM, LOOSE SEEDBED. WORK ON CONTOUR IF SITE IS SLOPING.

ESTABLISHMENT:

- USE ANNUAL RYEGRASS AT A RATE OF 40 LBS./AC. OR SUITABLE EQUIVALENT AS SPECIFIED IN THE "GUIDELINES".
- SEEDING TO BE DONE FROM APRIL 1ST TO JUNE 15 OR AUGUST 1ST TO OCTOBER 1ST. WINTER STABILIZATION PLANTINGS TO BE NO LATER THAN OCTOBER 1ST. THIS INCLUDES STOCKPILE AREAS.
- APPLY SEED UNIFORMLY ACCORDING TO THE RATE INDICATED BY BROADCASTING, DRILLING, OR HYDRAULIC APPLICATION.
- UNLESS HYDROSEEDING, COVER RYEGRASS SEEDS WITH NOT MORE THAN 1/4 INCH OF SOIL WITH SUITABLE EQUIPMENT. COVER SUBGRASS AND SMALL GRASS WITH 1/2 INCH SOIL.
- MULCH IMMEDIATELY AFTER SEEDING, IF REQUIRED, ACCORDING TO THE GUIDELINES IN THE "GUIDELINES".



Source: U.S. Department of Agriculture, Soil Conservation Service, Storrs, Connecticut



Source: U.S. Department of Agriculture, Soil Conservation Service, Storrs, Connecticut

SUNNY TO PARTIALLY SUNNY SITES:

LBS./ACRE	LBS./1000 SF.
KENTUCKY BLUEGRASS	20 0.50
CREeping RED FESCUE	20 0.50
PERENNIAL RYEGRASS	05 0.10
TOTAL	45 1.10

SHADY SITES:

LBS./ACRE	LBS./1000 SF.
CREeping RED FESCUE	50 1.00
PERENNIAL RYEGRASS	05 0.10
TOTAL	55 1.10

DROUGHY SITES:

LBS./ACRE	LBS./1000 SF.
CREeping RED FESCUE	40 1.00
TALL FESCUE	20 0.50
TOTAL	60 1.50

GENERAL:

- ALL WINDBLOWN SEDIMENTS SHALL BE CONTROLLED AT ALL TIMES. THE SITE CONTRACTOR IS RESPONSIBLE FOR APPLYING DUST CONTROL AS OFTEN AS NEEDED TO PREVENT ANY WINDBLOWN SEDIMENTS FROM LEAVING THE SITE. PREDETERMINED TRAFFIC ROUTES FOR ALL TRAFFIC SHALL BE ESTABLISHED BY THE SITE CONTRACTOR TO STABILIZED ROUTES. TEMPORARY AND PERMANENT MULCHING AND TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE USED TO MINIMIZE THE NEED FOR DUST CONTROL. MECHANICAL SWEEPERS SHALL BE USED ON ALL PAVED SURFACES TO PREVENT DUST BUILD UP DURING THE COURSE OF SITE WORK.

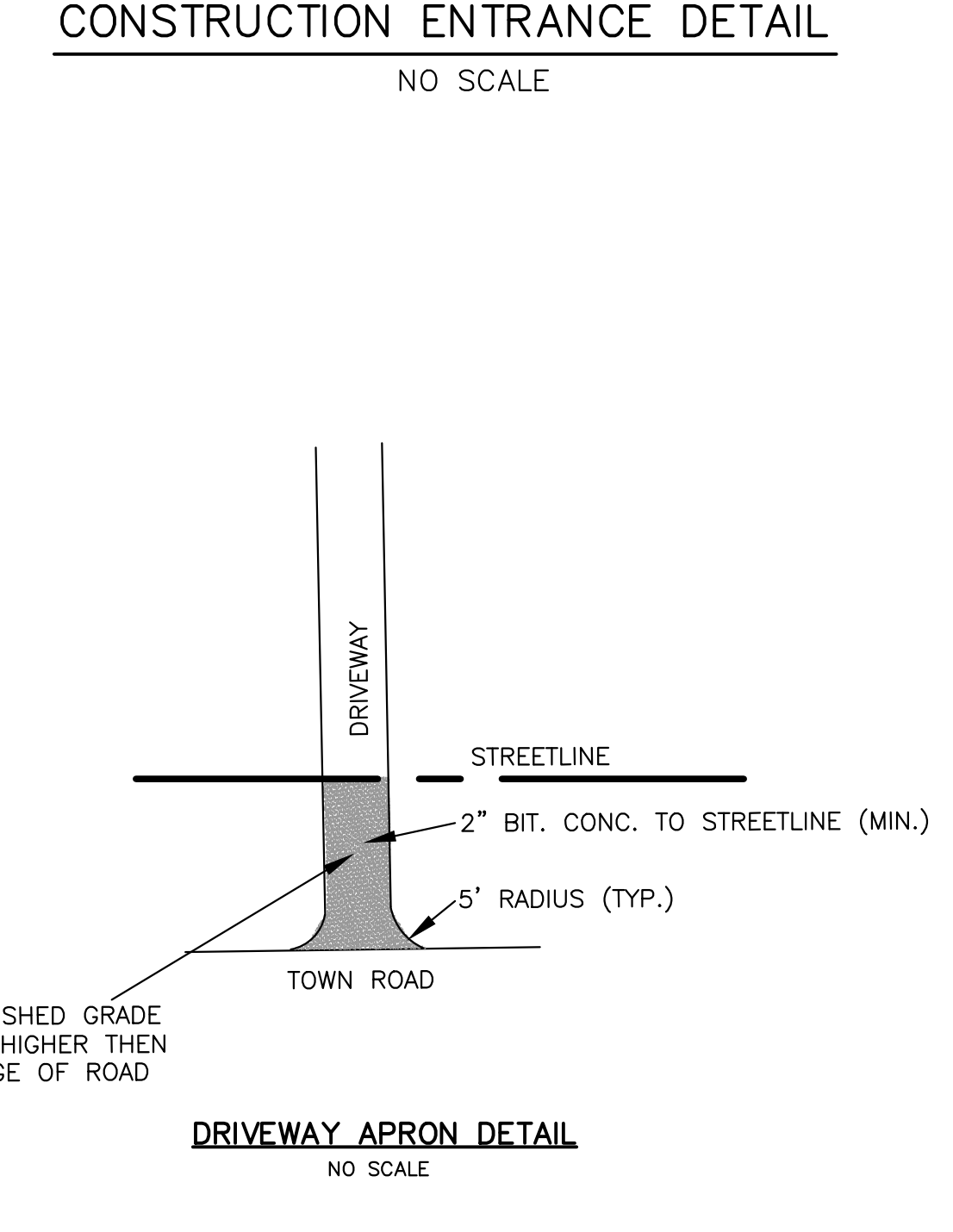
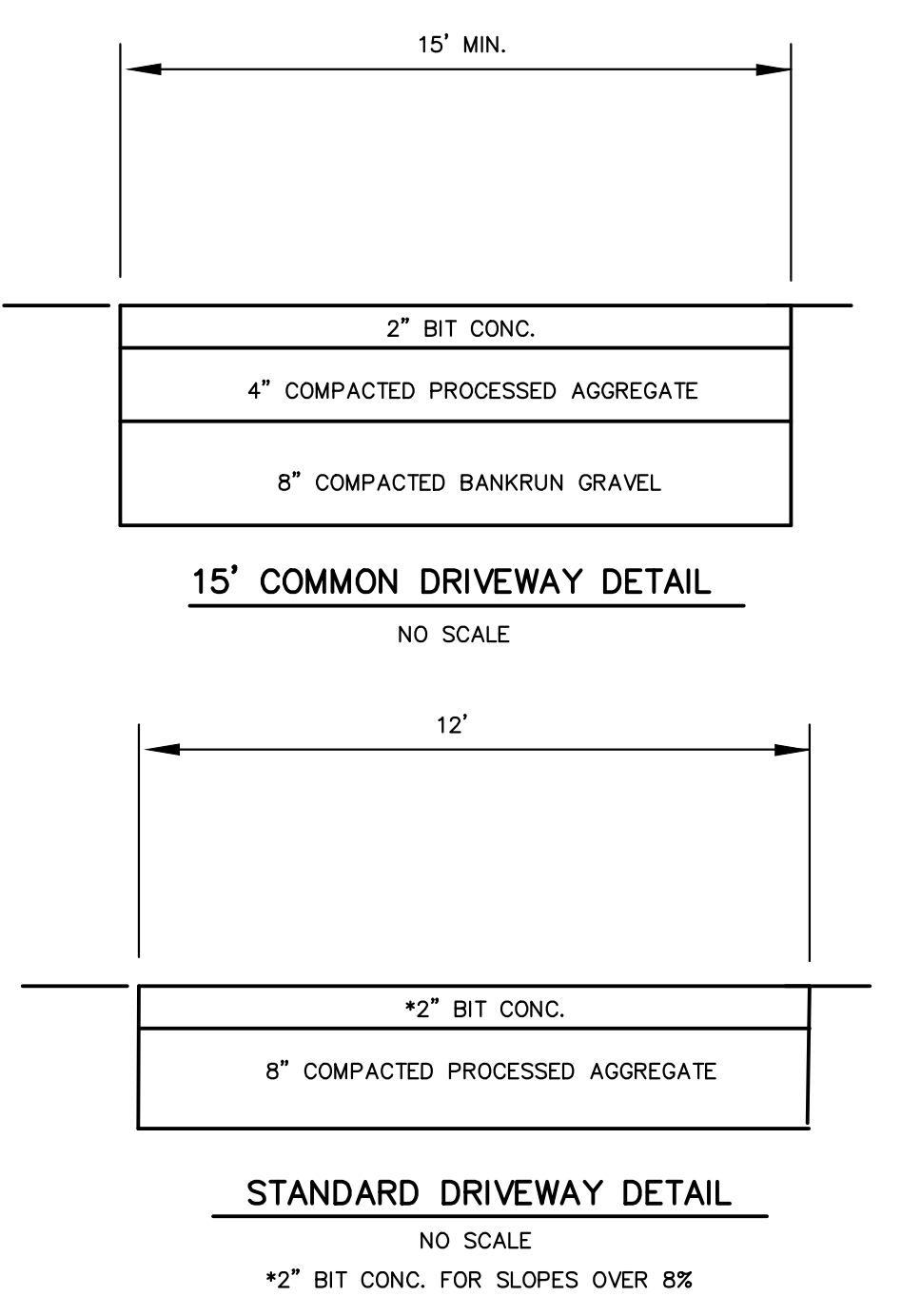
FINAL SEEDING SHALL TAKE PLACE PRIOR TO OCTOBER 1ST AS SEEDING AFTER THIS DATE RUNS A DISTINCT CHANCE OF FAILURE DUE TO ADVERSE WEATHER. ANY AREAS THAT ARE DISTURBED BETWEEN OCTOBER 1ST AND APRIL 1ST SHALL BE STABILIZED BY NON-VEGETATIVE MEANS SUCH AS HEAVY MULCHING WITH A BINDER OR JUTE MATTING WHICH WILL HAVE TO BE REMOVED BEFORE FINAL SEEDING AND THEN REPLACED AFTER FINAL SEEDING.

APPLY SEED UNIFORMLY ACCORDING TO RATE INDICATED, BY BROADCASTING, DRILLING, OR HYDRAULIC APPLICATION.

COVER GRASS AND LEGUME SEEDS WITH NOT MORE THAN 1/4 INCH OF SOIL WITH SUITABLE EQUIPMENT (EXCEPT WHEN HYDROSEEDING).

MULCH IMMEDIATELY AFTER SEEDING, IF REQUIRED, ACCORDING TO THE GUIDELINES IN THE "GUIDELINES".

USE PROPER INOCULANT ON ALL LEGUME SEEDINGS, USE FOUR (4) TIMES NORMAL RATE WHEN HYDROSEEDING.



STATE OF CONNECTICUT
LICENSED PROFESSIONAL ENGINEER
NO. 20360

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

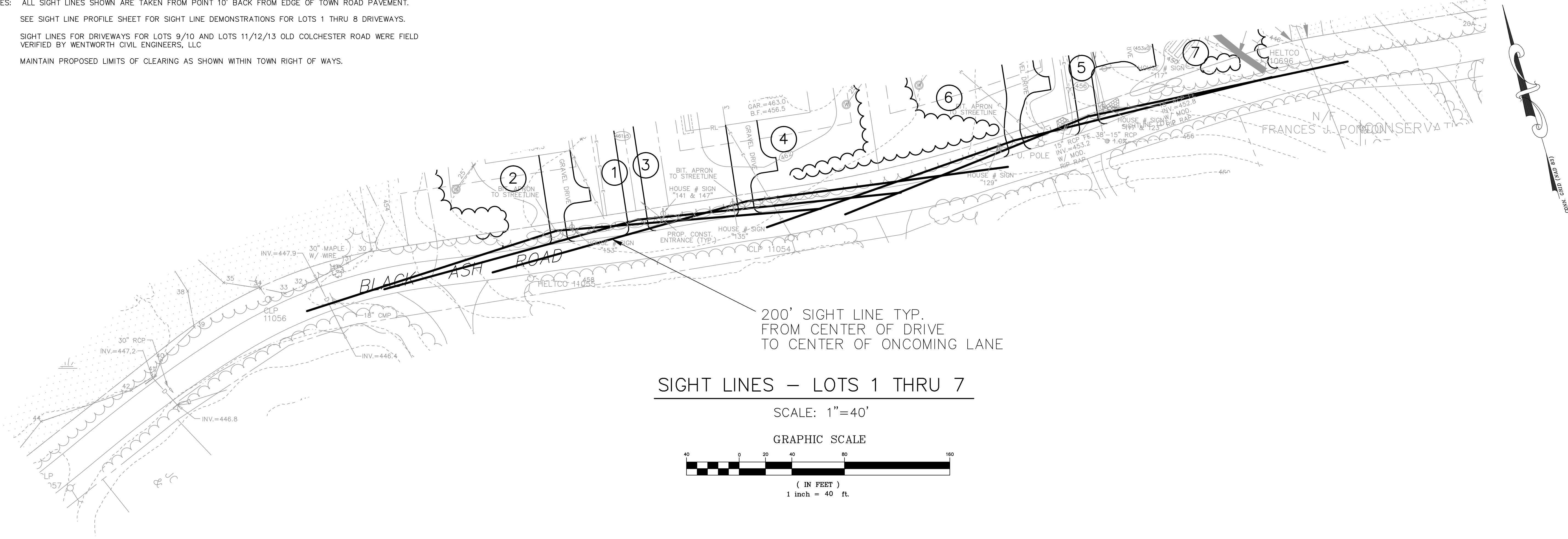
WENTWORTH CIVIL ENGINEERS, LLC
177 WEST TOWN ST.
LEBANON, CT 06249
TEL. (860) 642-7255
FAX (860) 642-4794
web: wentworthcivil.com

WENTWORTH CIVIL ENGINEERS, LLC
NOTES & DETAILS
BLACK ASH ESTATES RESUBDIVISION
PREPARED FOR
PACHAUG CAPITAL, LLC
BLACK ASH ROAD & OLD COLCHESTER ROAD
MONTVILLE, CONNECTICUT

REV. 5/28/24 TOWN COMMENTS

DATE: 8-22-23
SCALE: NONE
SHEET 10 OF 12
MAP NO. 23-024-1N

NOTES: ALL SIGHT LINES SHOWN ARE TAKEN FROM POINT 10' BACK FROM EDGE OF TOWN ROAD PAVEMENT.
 SEE SIGHT LINE PROFILE SHEET FOR SIGHT LINE DEMONSTRATIONS FOR LOTS 1 THRU 8 DRIVEWAYS.
 SIGHT LINES FOR DRIVEWAYS FOR LOTS 9/10 AND LOTS 11/12/13 OLD COLCHESTER ROAD WERE FIELD VERIFIED BY WENTWORTH CIVIL ENGINEERS, LLC
 MAINTAIN PROPOSED LIMITS OF CLEARING AS SHOWN WITHIN TOWN RIGHT OF WAYS.

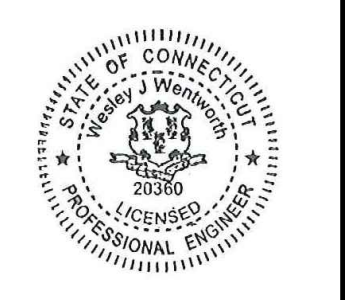
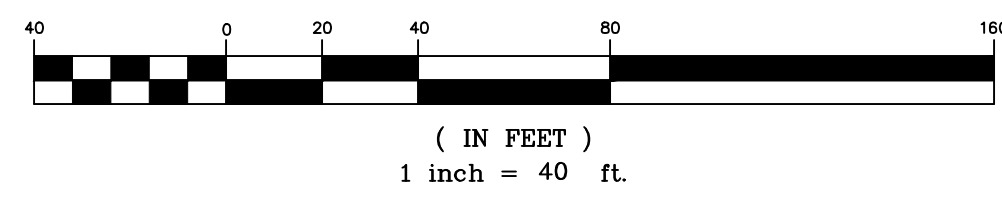


200' SIGHT LINE TYP.
 FROM CENTER OF DRIVE
 TO CENTER OF ONCOMING LANE

SIGHT LINES – LOTS 1 THRU 7

SCALE: 1"=40'

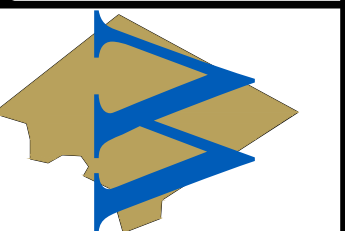
GRAPHIC SCALE



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

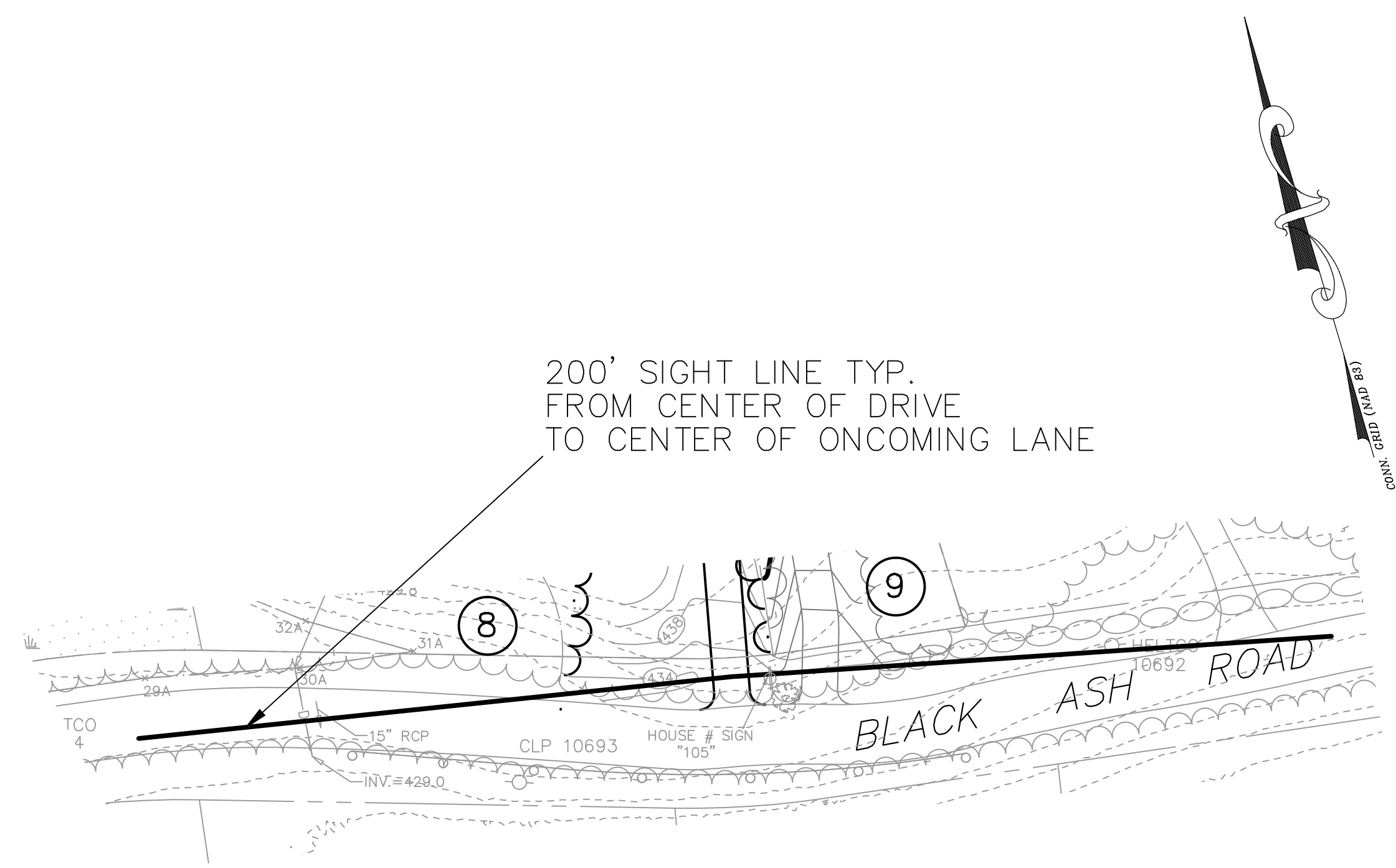
Wesley J. Wentworth
 WESLEY J. WENTWORTH
 P.E. # 20360

WENTWORTH CIVIL ENGINEERS LLC
 177 WEST TOWN ST.
 LEBANON, CT 06249
 TEL. (860) 642-7255
 FAX. (860) 642-4794
 web: wentworthcivil.com



DRIVEWAY SIGHT LINE DEMONSTRATION PLAN
BLACK ASH ESTATES RESUBDIVISION
 PREPARED FOR
PACHAUG CAPITAL, LLC
 BLACK ASH ROAD & OLD COLCHESTER ROAD
 MONTVILLE, CONNECTICUT

DATE: 8-22-23
 SCALE: 1"=40'
 SHEET 11 OF 12
 MAP NO. 23-024-1ES

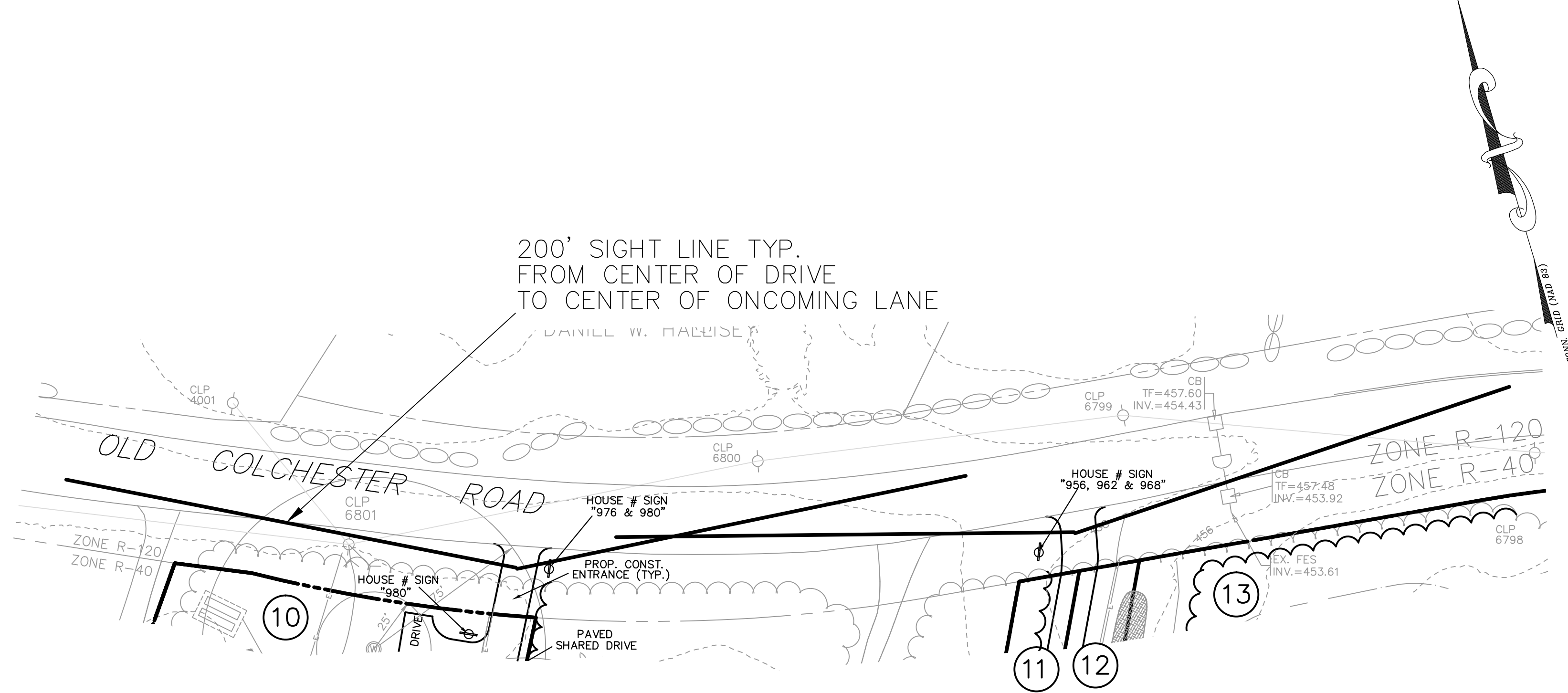
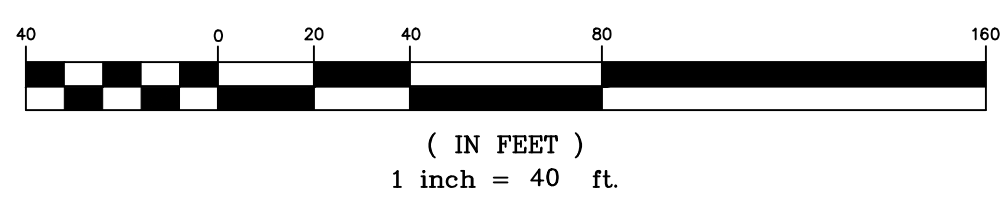


200' SIGHT LINE TYP.
 FROM CENTER OF DRIVE
 TO CENTER OF ONCOMING LANE

SIGHT LINES – LOT 8

SCALE: 1"=40'

GRAPHIC SCALE

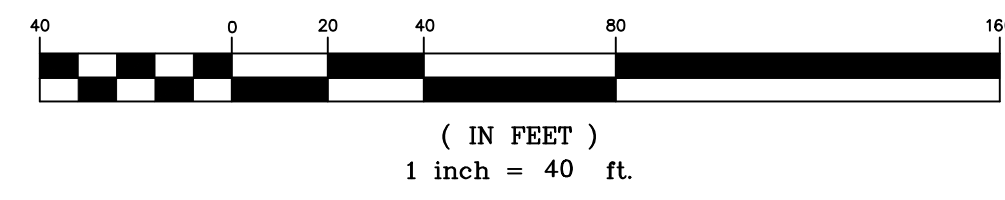


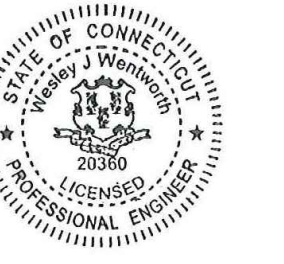
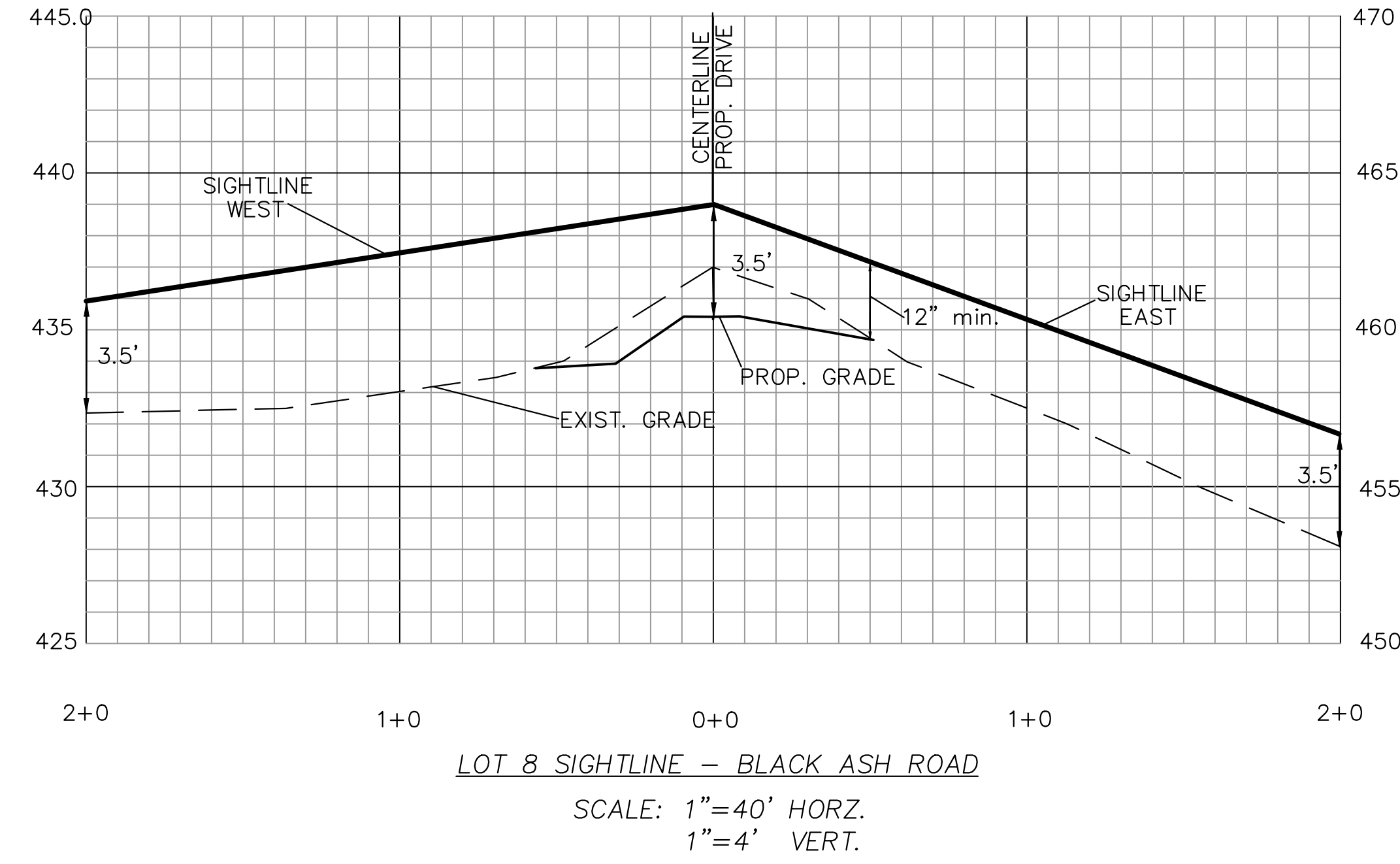
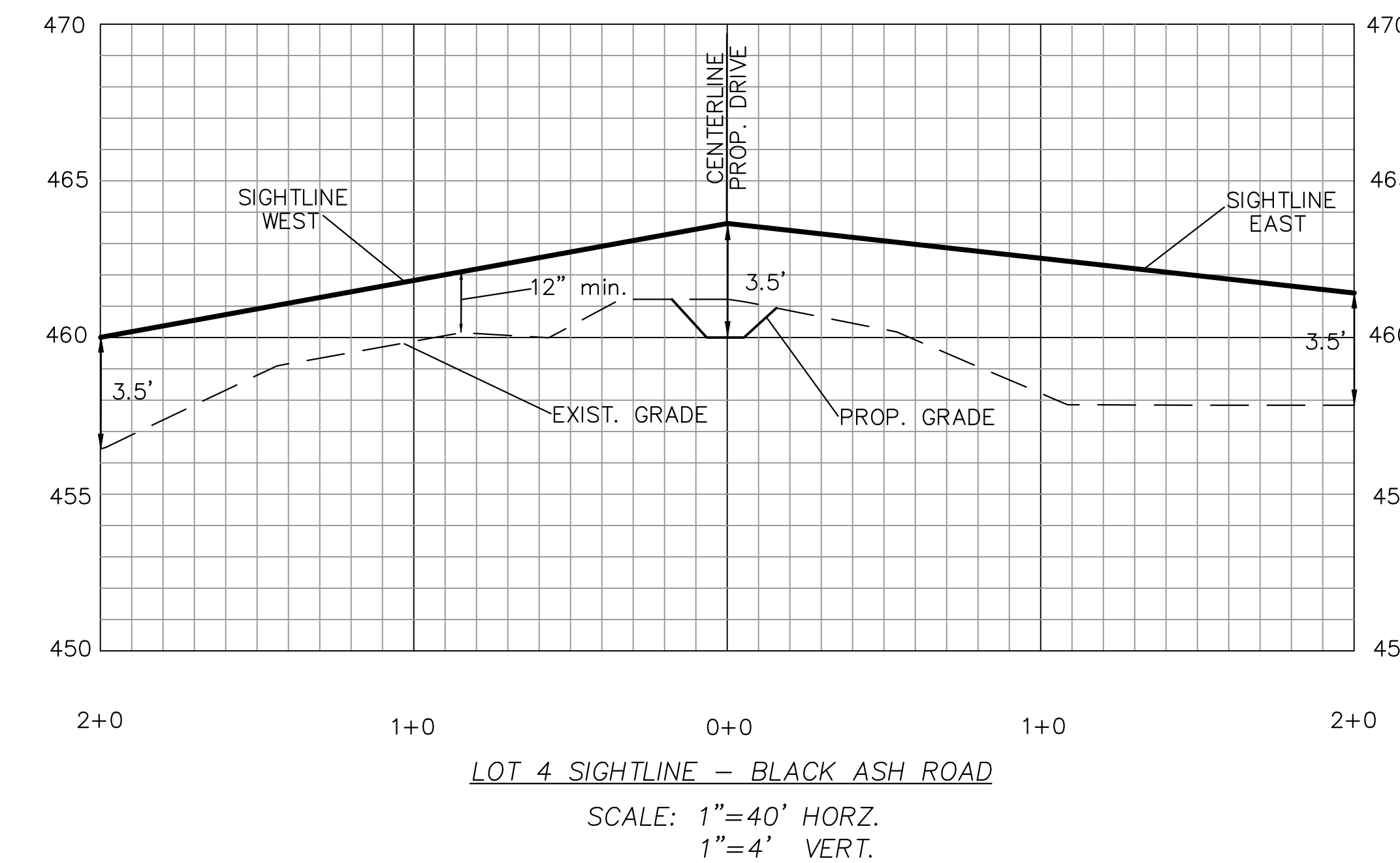
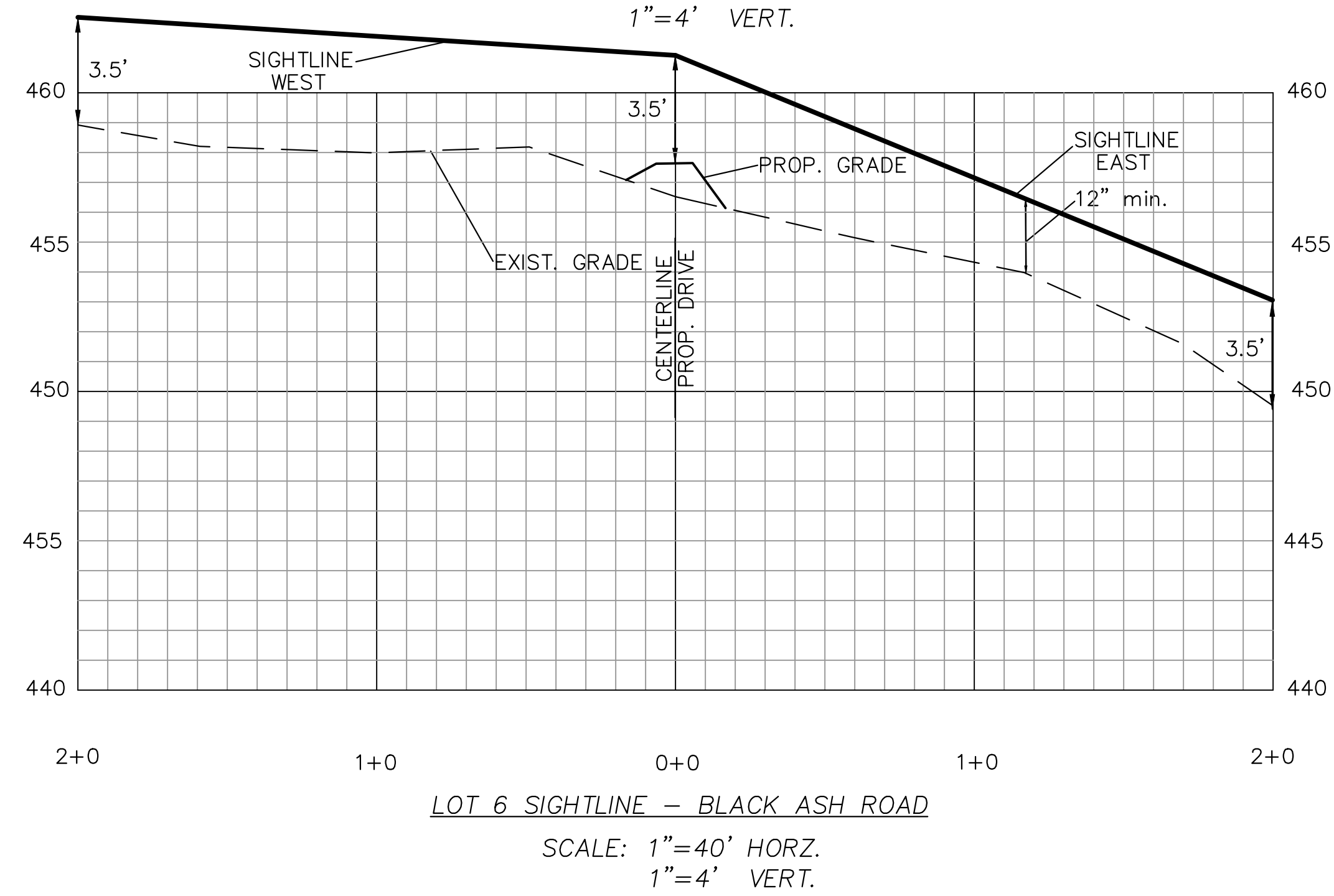
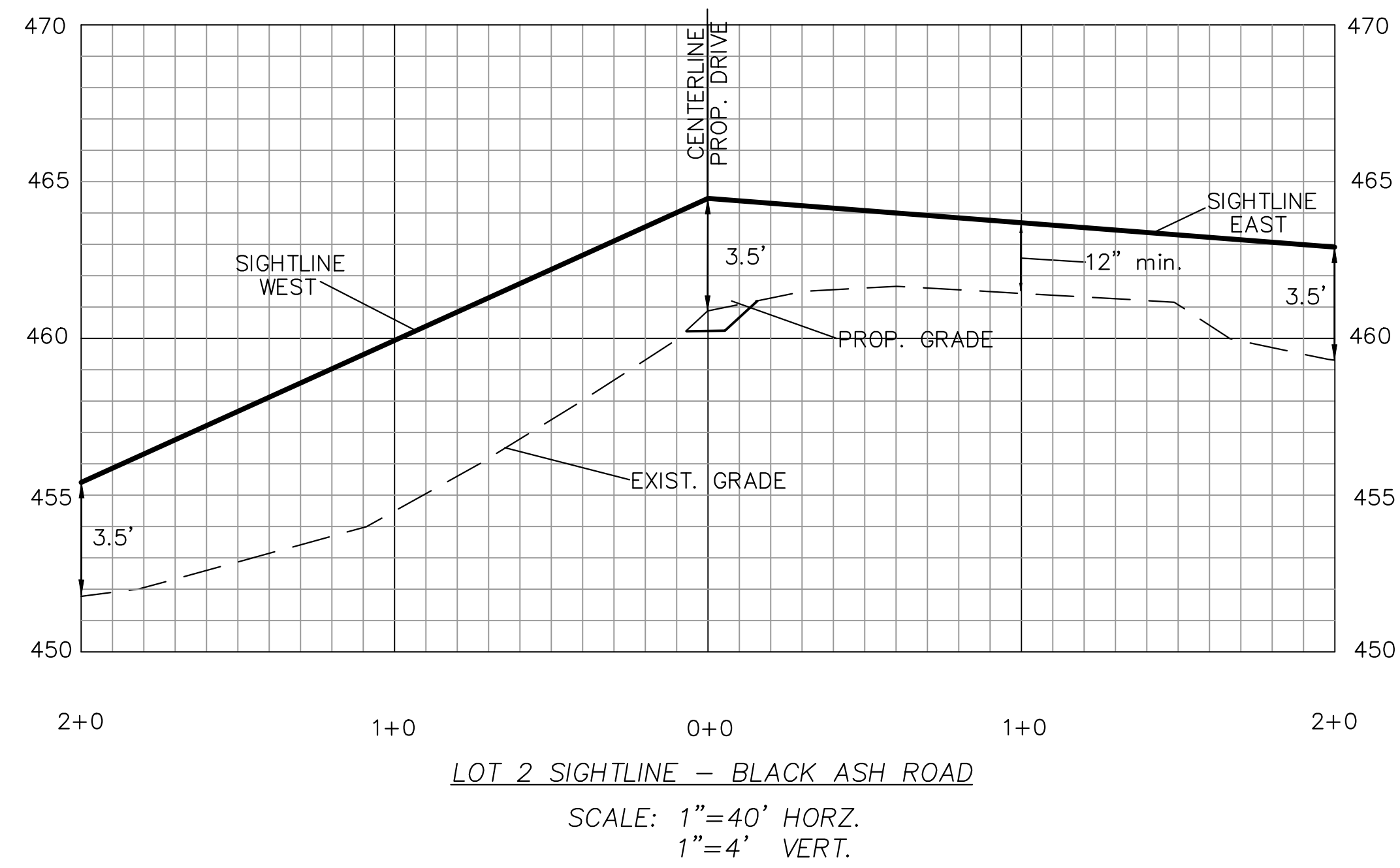
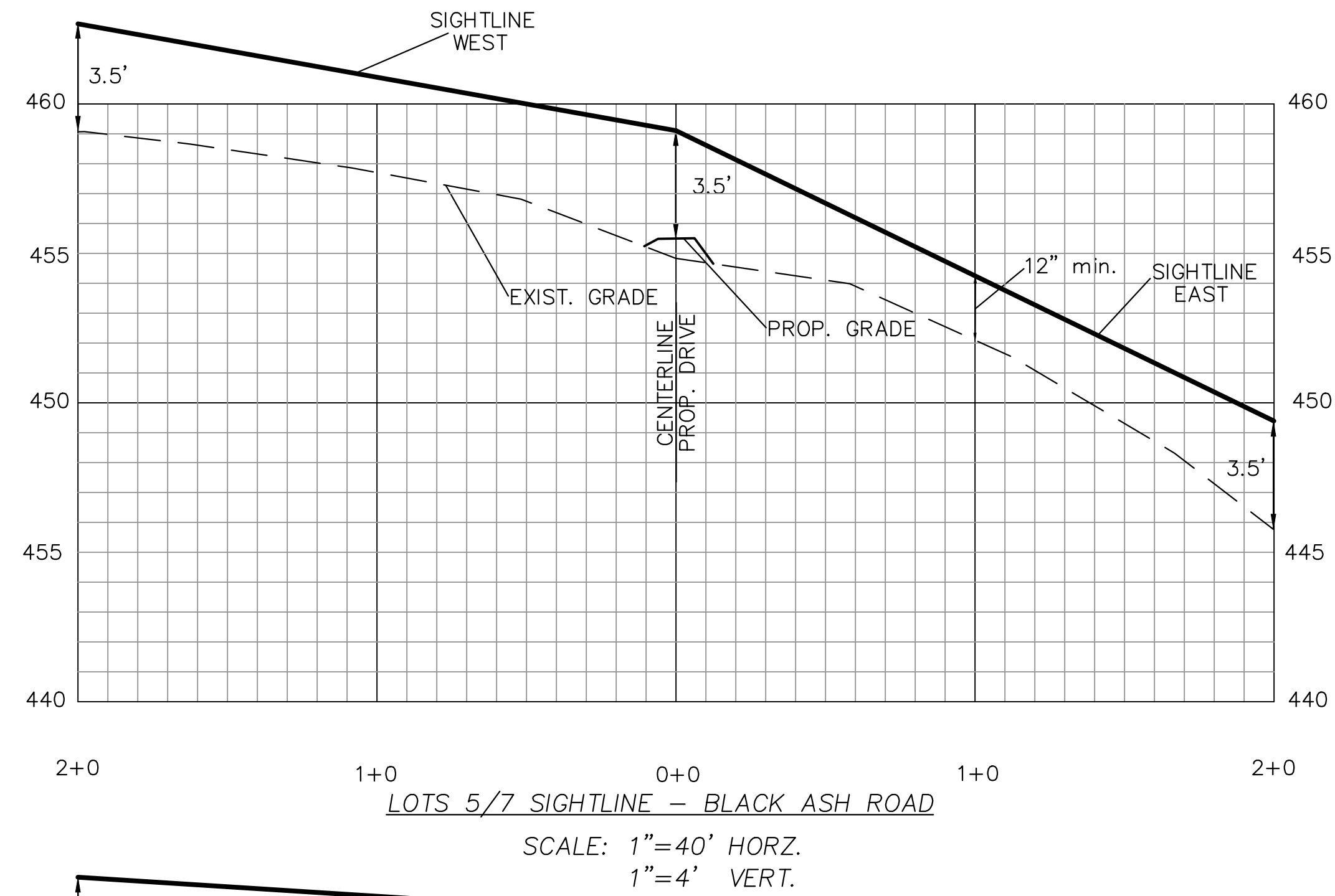
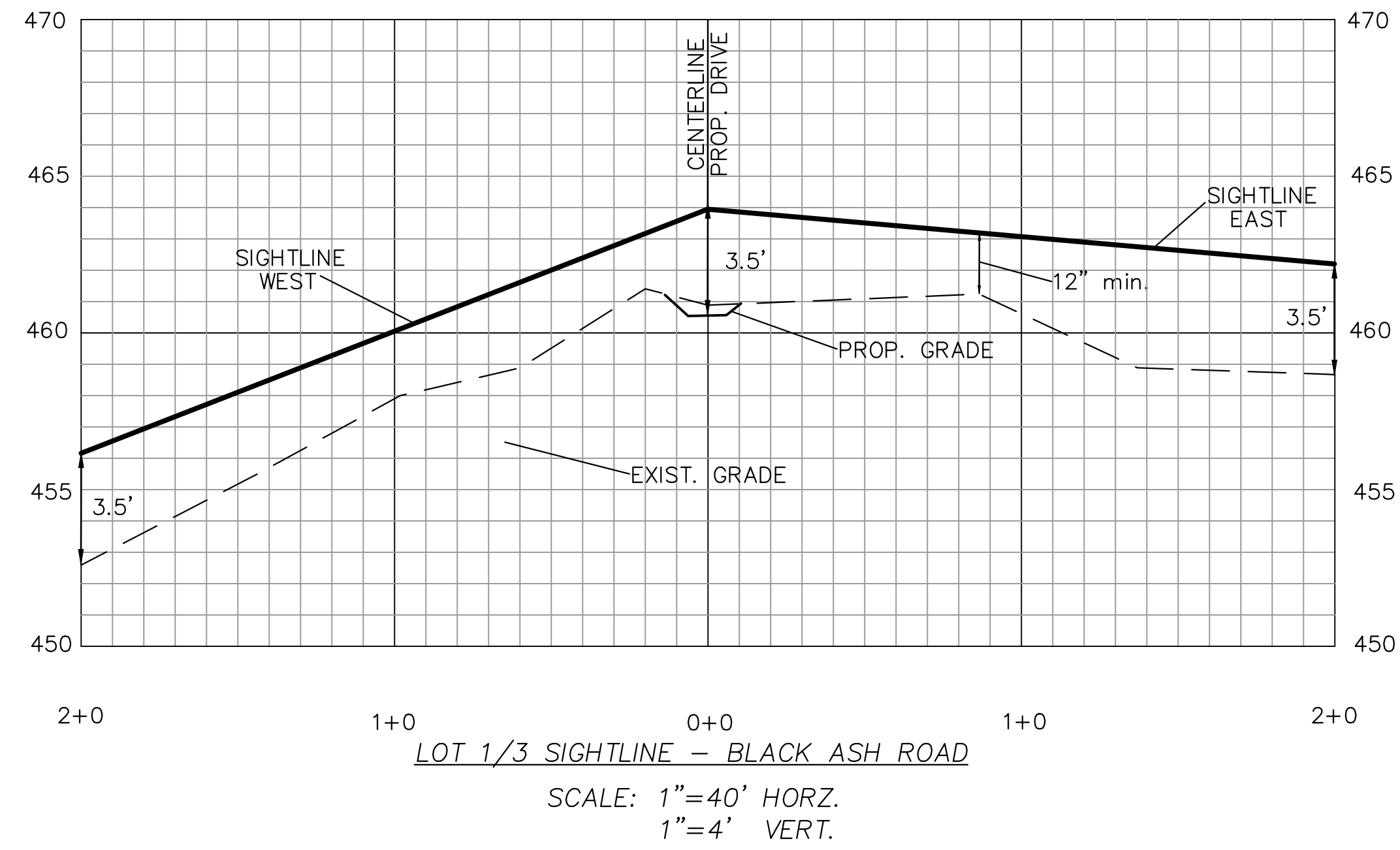
200' SIGHT LINE TYP.
 FROM CENTER OF DRIVE
 TO CENTER OF ONCOMING LANE

SIGHT LINES – LOTS 9 THRU 13

SCALE: 1"=40'

GRAPHIC SCALE

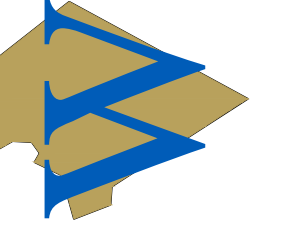




I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

WESLEY J. WENTWORTH
P.E. # 20360

WENTWORTH CIVIL ENGINEERS LLC
177 WEST TOWN ST.
LEBANON, CT 06249
TEL: (860) 642-7255
FAX: (860) 642-4794
web: wentworthcivil.com



DRIVEWAY SIGHT LINE PROFILES
BLACK ASH ESTATES RESUBDIVISION
PREPARED FOR
PACHAUG CAPITAL, LLC
BLACK ASH ROAD & OLD COLCHESTER ROAD
MONTVILLE, CONNECTICUT